

GARAGE FOR
ROLLA RESIDENCE
 69 HERNANDEZ ST.
 LOS GATOS, CALIFORNIA 95030

PROPERTY OWNER

PHIL ROLLA
 69 HERNANDEZ ST.
 LOS GATOS, CA. 95030

CONSULTANTS

ARCHITECT:

STUDIO 528 ART & ARCHITECTURE, INC.
 MICHAEL TINSLEY, ARCHITECT
 105 LOCUST ST., STE. D
 SANTA CRUZ, CA 95060
 PH: (408) 705-6763

STRUCTURAL ENGINEER:

ROCA3 ENGINEERING
 JOEY ROCA, PE
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 PO BOX 362100
 MILPITAS, CA 95036
 PH: (408) 821-1335

SURVEYOR:

LEA & BRAZE ENGINEERING
 GREGORY BRAZE, SURVEYOR
 2495 INDUSTRIAL PARKWAY WEST
 HAYWARD, CA 94545
 PH: (510) 887-4086

PROJECT INFORMATION

ADDRESS:

69 HERNANDEZ ST.
 LOS GATOS, CA. 95030

PARCEL NUMBER:

51041015

ZONING:

R-1-B

TYPE CONSTRUCTION:

V-B

OCCUPANCY:

R3 / U

PARKING:

2 COVERED

FIRE ZONE:

NO

LOT AREA:

5561 SQ. FT.

REQUIRED SETBACKS:

18'-0" STREET
 2'-0" EXISTING
 5'-0" REAR

MAX. HEIGHT:

30'-0"

MAX. FLOOR AREA
 GARAGE:

$= 0.10 - ((A-51) \times .07)$
 $\frac{25}{25}$
 $= 0.10 - ((5.6-51) \times .07)$
 $\frac{25}{25}$
 $= 0.10 - (0.024 \times .07)$
 $= 0.10 - 0.0017$
 $= 0.10$
 $0.10 (5561) = 547 \text{ sq.ft.}$

- A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 4.504.2.4
- B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.

DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.408.5

PRIOR TO FINAL OCCUPANCY ALL EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCRACH ONTO ADJACENT PROPERTIES. ALL LIGHTING SHALL UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES. NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY.

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CALGREEN MANDATORY MEASURES

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SITE PLAN

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FLOOR PLAN, ROOF PLAN, SCHEDULES

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SECTION, EXTERIOR ELEVATIONS

E1.0

M.P.E. NOTES, ELECTRICAL PLAN

S1.0

FOUNDATION PLAN
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SD1

STRUCTURAL NOTES

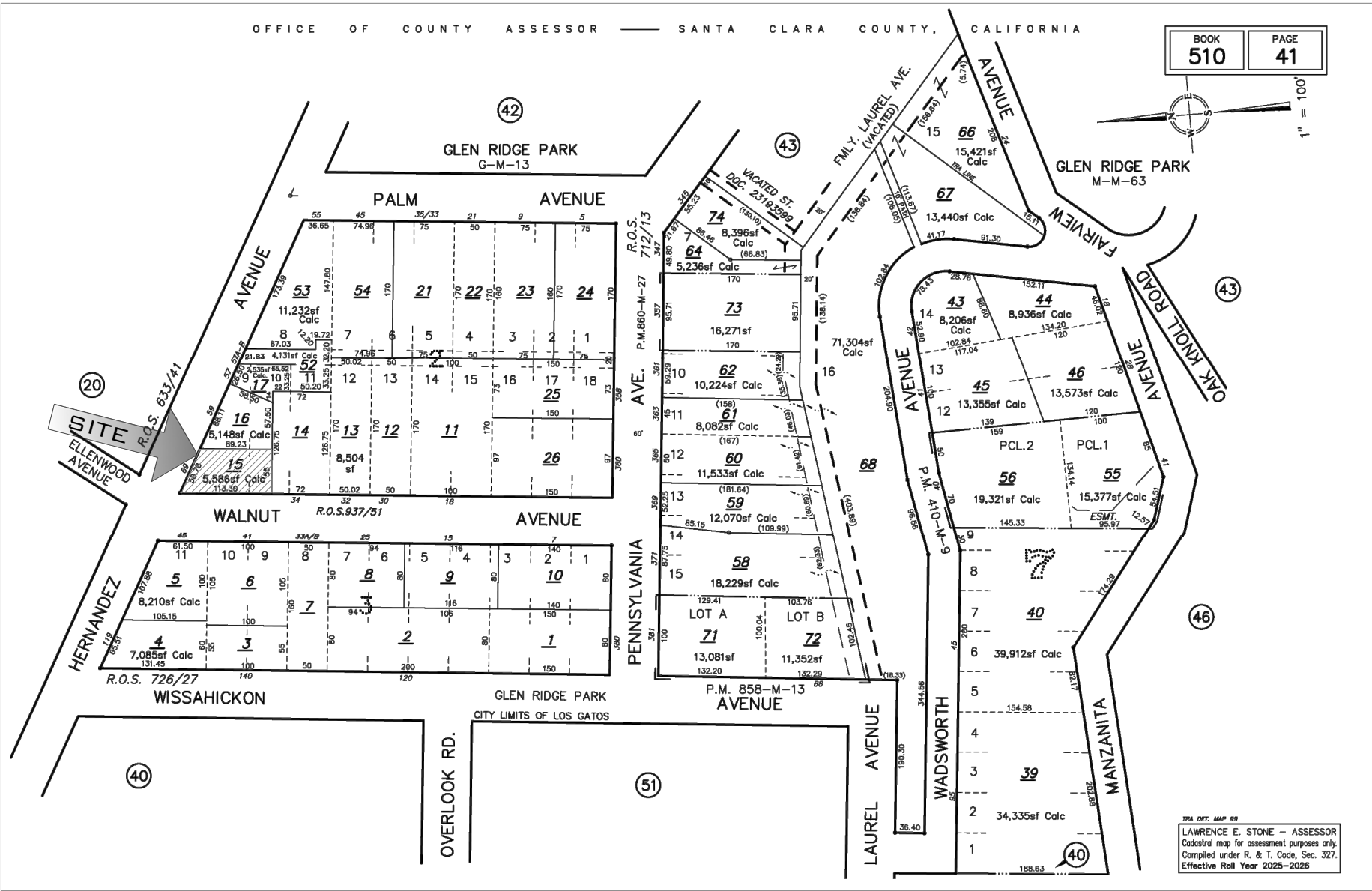
SD2

STRUCTURAL DETAILS

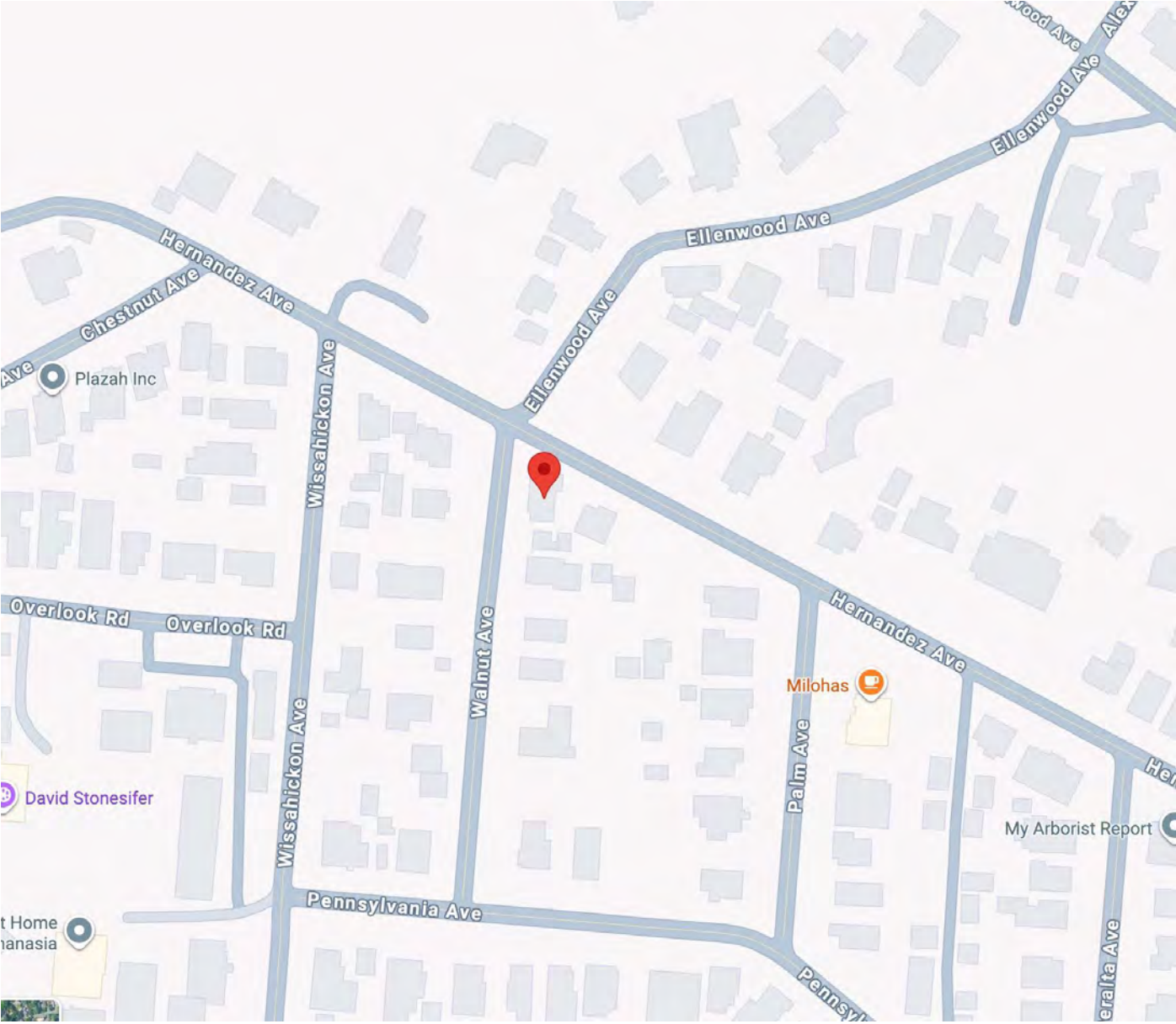
SD3

STRUCTURAL DETAILS

PARCEL MAP



VICINITY MAP



SUPPORTING DOCUMENTS:

STRUCTURAL CALCULATIONS

SCOPE OF WORK
 DEMOLISH EXISTING GARAGE, CONSTRUCT NEW 547sq.ft. GARAGE IN EXISTING LOCATION

APPLICABLE CODES:

THESE PLANS CONFORM TO THE:
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRIC CODE
 2022 CALIFORNIA GREEN STANDARDS
 2022 CALIFORNIA ENERGY STANDARDS
 TOWN OF LOS GATOS AMENDMENTS

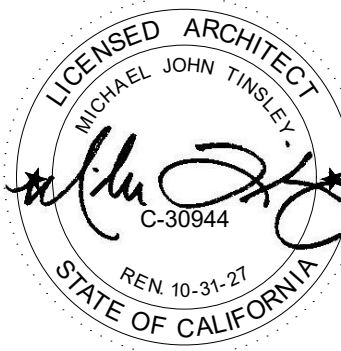
DEFERRED SUBMITTALS:

N/A

CONTRACTOR SHALL COORDINATE AND CONDUCT PRECONSTRUCTION GREEN BUILDING CONFERENCE



105 Locust Ave. ste D
 Santa Cruz, CA. 95060
 408/705.6763
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MINOR
 RESIDENTIAL
 APPLICATION

NO.	DATE	REVISION

PROPOSED REMODEL:

**THE
 ROLLA
 RESIDENCE**

69 HERNANDEZ AVE
 LOS GATOS, CA 95030

A.P.N. 51041015

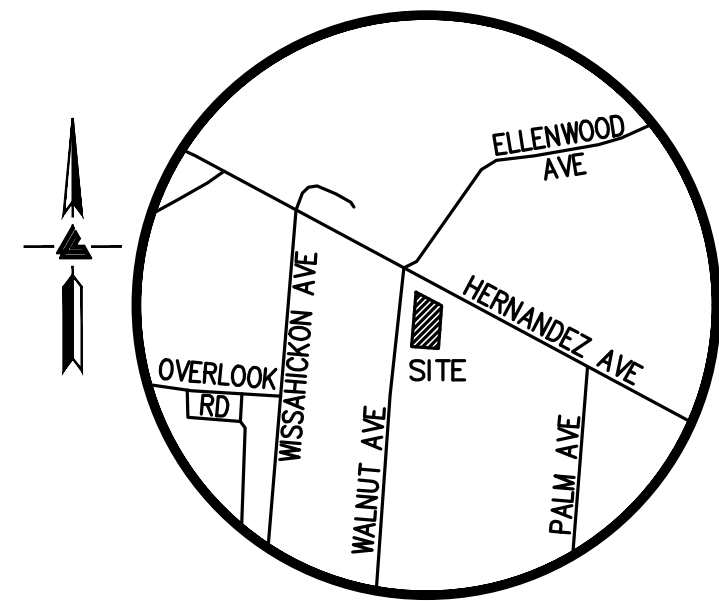
SHEET TITLE:

COVER SHEET

ISSUE DATE: 12/15/2025

SCALE: AS NOTED

AA1



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- BRIDGE OVERHEAD LINE
- BUILDING OVERHANG LINE
- TV/T CABLE TV/TELEPHONE OVERHEAD LINE
- ETC ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- E ELECTRICAL OVERHEAD LINE
- X FENCE LINE
- SS FLOW LINE
- SD SANITARY SEWER LINE
- SD STORM DRAIN LINE
- A/C AIR CONDITIONING UNIT
- AD AREA DRAIN
- BW BENCHMARK
- CB CATCH BASIN
- EM ELECTRICAL METER
- FF FINISH FLOOR
- FL FIRE HYDRANT
- INV FLOW LINE
- ICV IRRIGATION CONTROL VALVE
- JP JOINT POLE
- M- MULTI-TRUNK TREE
- MB MAIL BOX
- RP ROOF PEAK
- SSMH SANITARY SEWER MAINTENANCE HOLE
- SDMH STORM DRAIN MAINTENANCE HOLE
- TC TOP OF CURB
- TOS TOP OF SLAB
- TW TOP OF RETAINING WALL
- WV WATER VALVE
- XXX.XX SPOTGRADE

- ASPHALT
- BRICK
- CONCRETE
- GRAVEL
- LAWN
- PAVERS
- RIVER ROCK
- WOOD

FEMA FLOOD NOTE

FLOOD ZONE: X (SHADED)
AREA OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100-YEAR (1% ANNUAL CHANCE) AND 500-YEAR FLOODS (0.2% ANNUAL CHANCE) AND OUTSIDE OF THE SPECIAL FLOOD HAZARD AREA (SFHA)

FEMA FLOOD INSURANCE RATE MAP
NO.: 06085C0376H
MAP REVISED: MAY 18, 2009

EASEMENT NOTE

NO EASEMENTS ARE LISTED IN PRELIMINARY TITLE REPORT ISSUED BY STEWART TITLE COMPANY ORDER NO. 2497279 DATED APRIL 18, 2025

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING).
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
THE AREA OF THE SURVEYED LOT IS 5,561± SQUARE FEET / 0.128± ACRES

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

UTILITY NOTE

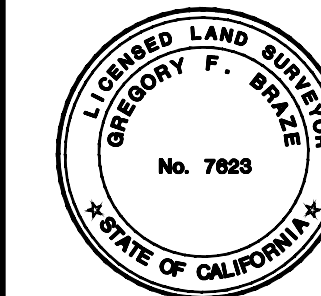
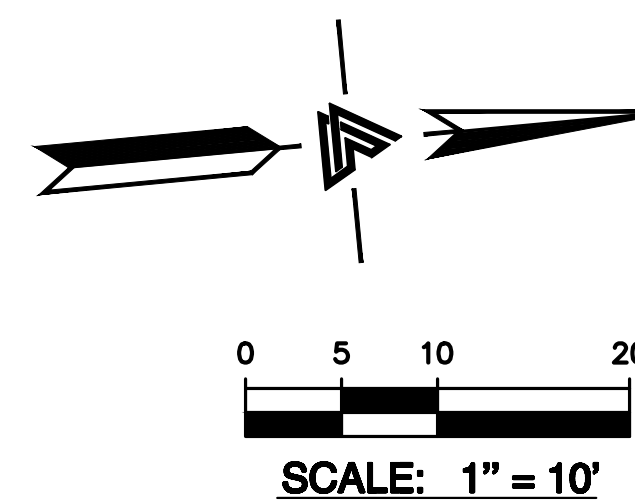
ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

BENCHMARK

CITY OF LOS GATOS
BENCHMARK MS14
LOCATED AT THE INTERSECTION OF RIDGECREST AVENUE AND OAKHURST DRIVE
ELEVATION = 487.83'
(ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 541.08'
(ADJUSTED TO NAVD 88 DATUM)



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
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69 HERNANDEZ AVENUE
LOS GATOS
CALIFORNIA

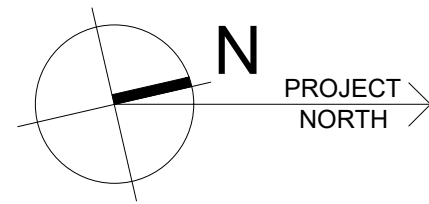
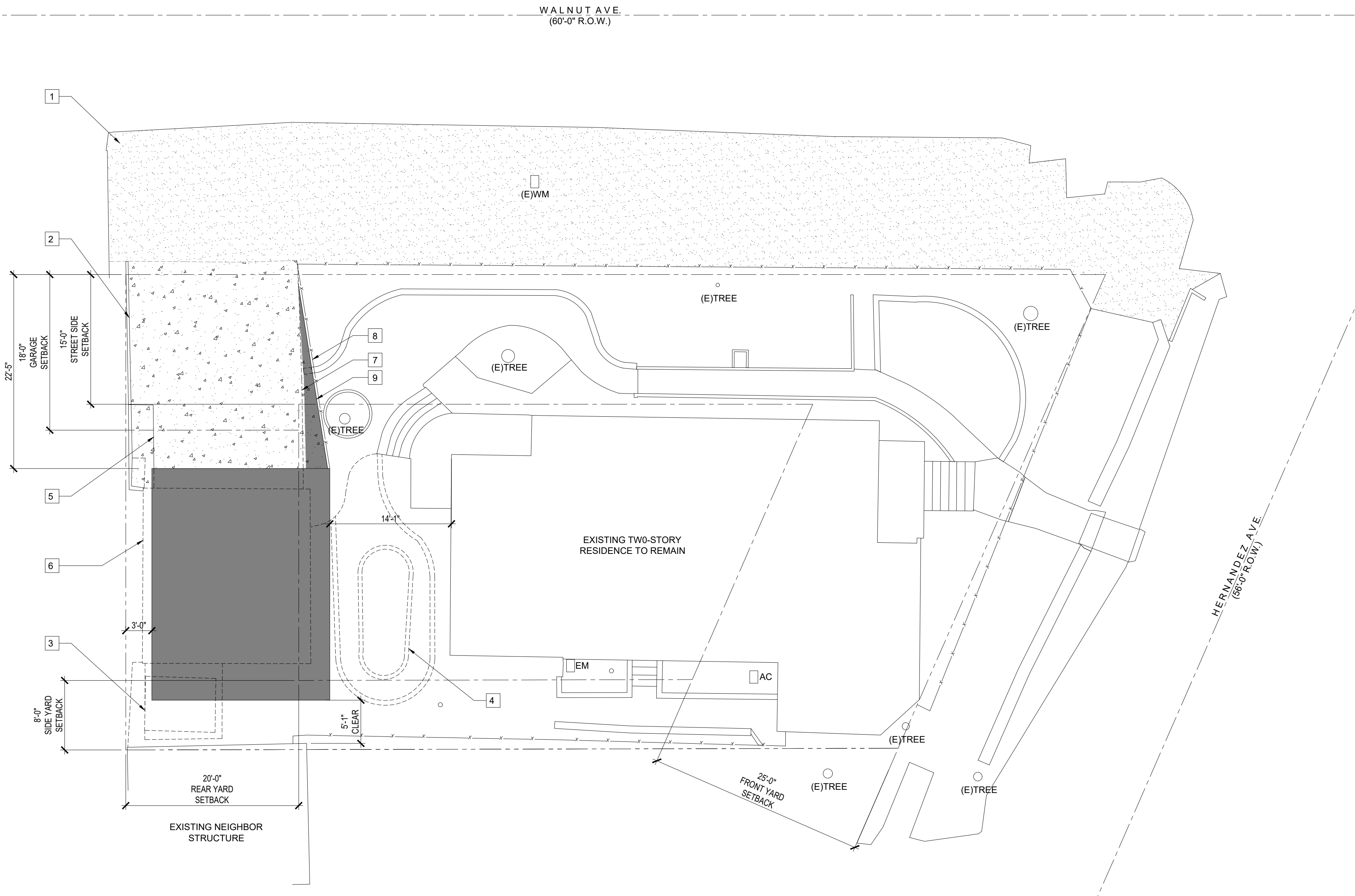
APN: 510-41-015

SANTA CLARA COUNTY

TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO: 2251092	
DATE: 7-10-25	
SCALE: 1"=10'	
BNDY BY: KR	
FIELD BY: JC	
DRAWN BY: JP	
SHEET NO:	

SU1



SITE PLAN

1/8" = 1'-0"

SITE PLAN NOTES

1. NO EXISTING DRAINAGE ISSUES HAVE BEEN OBSERVED AT OR NEAR THE SITE. NO ISSUES OR ADVERSE IMPACTS TO NEIGHBORING PROPERTIES, ROADWAYS, DRAINAGE PATHWAYS ARE ANTICIPATED RESULTING FROM THE PROPOSED IMPROVEMENTS.

SITE PLAN KEYNOTES

- 1 (E) R.O.W. GRAVEL TO REMAIN
2 (E) CONCRETE DRIVEWAY
3 (E) SHED TO BE REMOVED
4 (E) PLANTER TO BE REMOVED
5 (E) TRASH ENCLOSURE TO REMAIN
6 (E) GARAGE TO BE REMOVED
7 (E) FENCE TO BE REMOVED
8 (N) FENCE TO MATCH (E)
9 SHADED AREA INDICATES (N) DRIVEWAY PAVING TO MATCH (E)



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PERMIT SET

NO.	DATE	REVISION

PROPOSED REMODEL:

THE ROLLA RESIDENCE

69 HERNANDEZ AVE
LOS GATOS, CA 95030

A.P.N. 51041015

SHEET TITLE:

SITE PLAN

ISSUE DATE: 9/13/2025

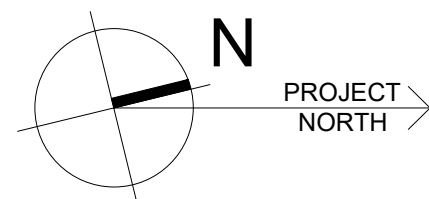
SCALE: AS NOTED

A1.0

1. COORDINATION: THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FIELD CONDITIONS PRIOR TO COMMENCEMENT OF ANY RELATED WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THIS OFFICE, OR THE OWNER.
2. DIMENSIONS SHOWN ARE TO FACE OF STUDS, OR CONCRETE, UNLESS NOTED OTHERWISE
3. PROVIDE MIN. 3'-0" LANDINGS OUTSIDE ALL EXTERIOR DOORS PER C.B.C. LANDINGS SHALL BE NOT MORE THAN 7'-3/4" BELOW INSIDE FINISHED FLOORS AT IN-SWING DOORS, AND 1'-1/2" OUTSWING DOORS
4. OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES SHALL BE FIRE-BLOCKED WITH NON-COMBUSTIBLE MATERIALS PER C.B.C.
5. ALL INTERIOR FINISHES, FIXTURES, APPLIANCES, AND EQUIPMENT TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.

- 1 3'-0" CONC. LANDING. SLOPE AWAY FROM BLDG $\frac{3}{8}$ " : 12"
- 2 BUILT-IN GARAGE CABINETS w/ UPPER CABINETS ABOVE. PROVIDE BLOCKING AS NECESSARY
- 3 UTILITY SINK

	2x6 WALL FRAMING
	2x4 WALL FRAMING
	1-HR RATED WALL, 2x6 WALL FRAMING


$$1/4" = 1'-0"$$

- 1 G.I. OGEE GUTTER w/ DEBRIS GUARD, PAINT
- 2 SHADED AREA INDICATES 1-HR RATED EAVE. SEE DTL. 1/A2.1
- 3 OUTLINE OF BUILDING BELOW, TYP.
- 4 CLASS 'A' ASPHALTIC SHINGLES. CERTAINTED 'LANDMARK TL' o/ 30# ROOF FELT. INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 5 ROOF VENT: MASTERFLOW 60 sq.in. NPVA, TYP. OF (4)

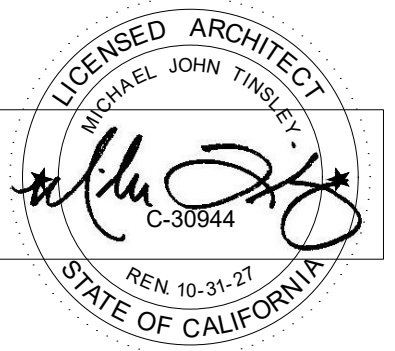
AFFECTED AREA TO BE VENTED: 517 sq.ft.
 REQUIRED VENTILATION: $517 \div 150 = 3.44$ sq.ft. = 496.32 sq.in.
 PROVIDED VENTILATION:
 ROOF VENT: (4 VENTS) @ 60 sq.in. NFVA = 240.00
 EAVE VENT: (3) 3"Ø VENTS HOLES PER BAY = (3) 7.065 = 21.19 sq.in./BAY
 (14 BAYS) 21.19 sq.in./BAY = 296.66 sq.in.

A diagram showing a circle with a shaded sector. A horizontal line with an arrow pointing right is labeled "PROJECT NORTH". A vertical line with an arrow pointing up is labeled "N". The shaded sector is bounded by the "PROJECT NORTH" line and a line extending from the center to the circle's edge at approximately 15 degrees above the horizontal.

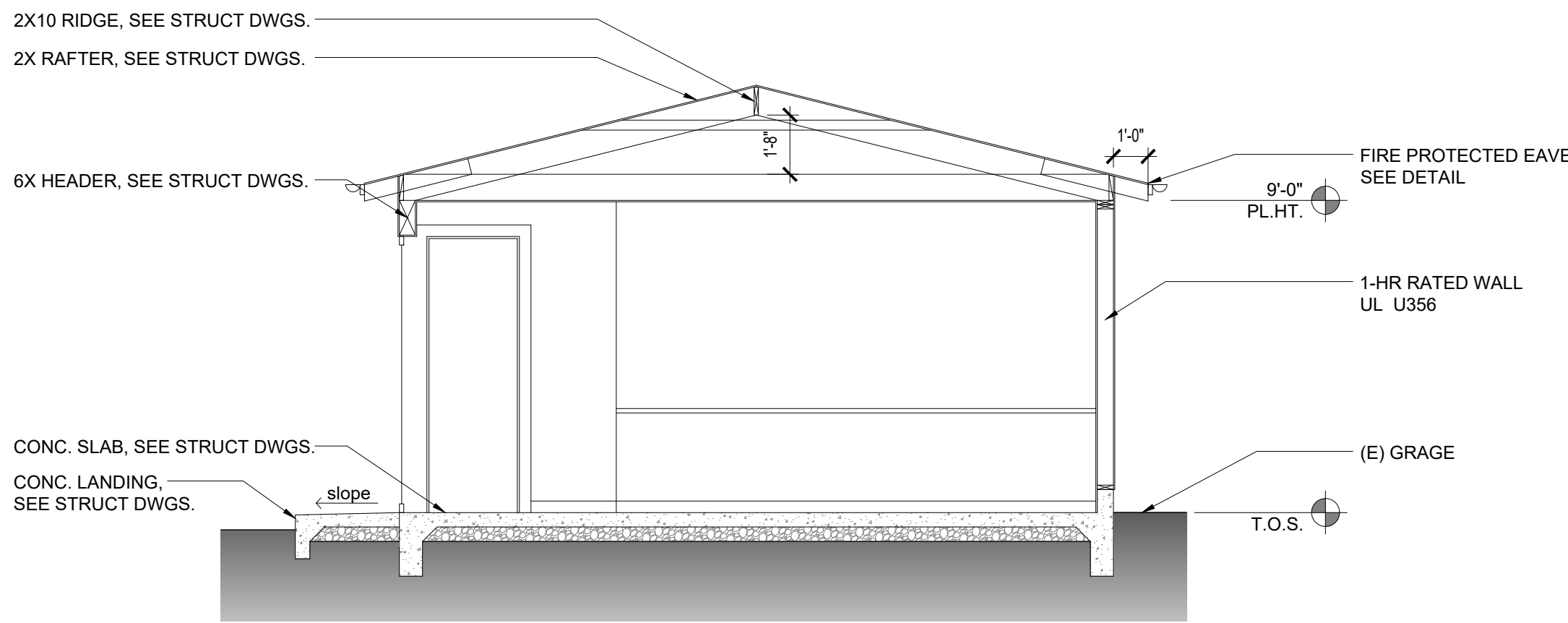
$$1/4'' = 1'-0''$$

Technical drawings of four window types (A, B, C, D) with dimensions:

- TYPE A:** Four-pane window. Total width: 16'-0". Height: 8'-0".
- TYPE B:** Four-pane window. Total width: 15'-0". Height: 8'-0".
- TYPE C:** Single-pane window. Width: 2'-8". Height: 8'-0".
- TYPE D:** Single-pane window. Width: 6'-0". Height: 8'-0".



A2.0

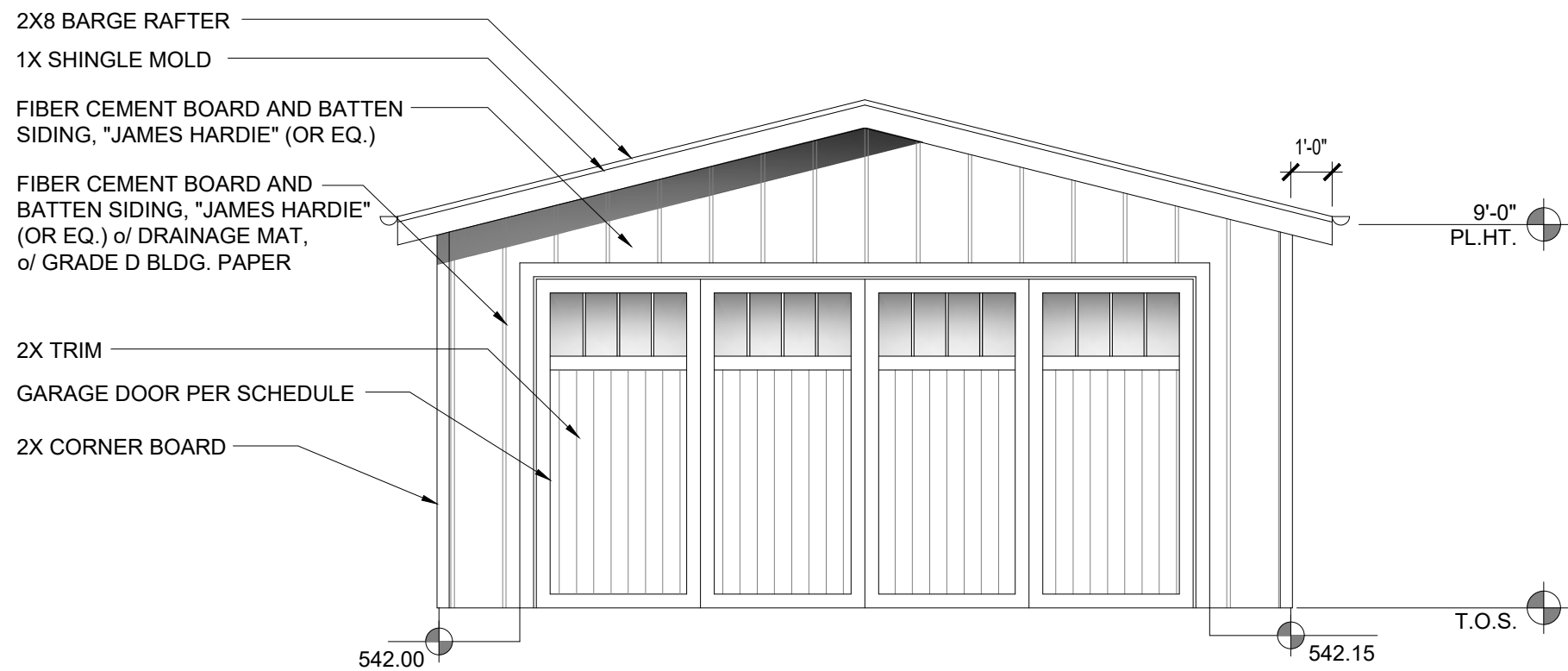


A SECTION

1/4" = 1'-0"

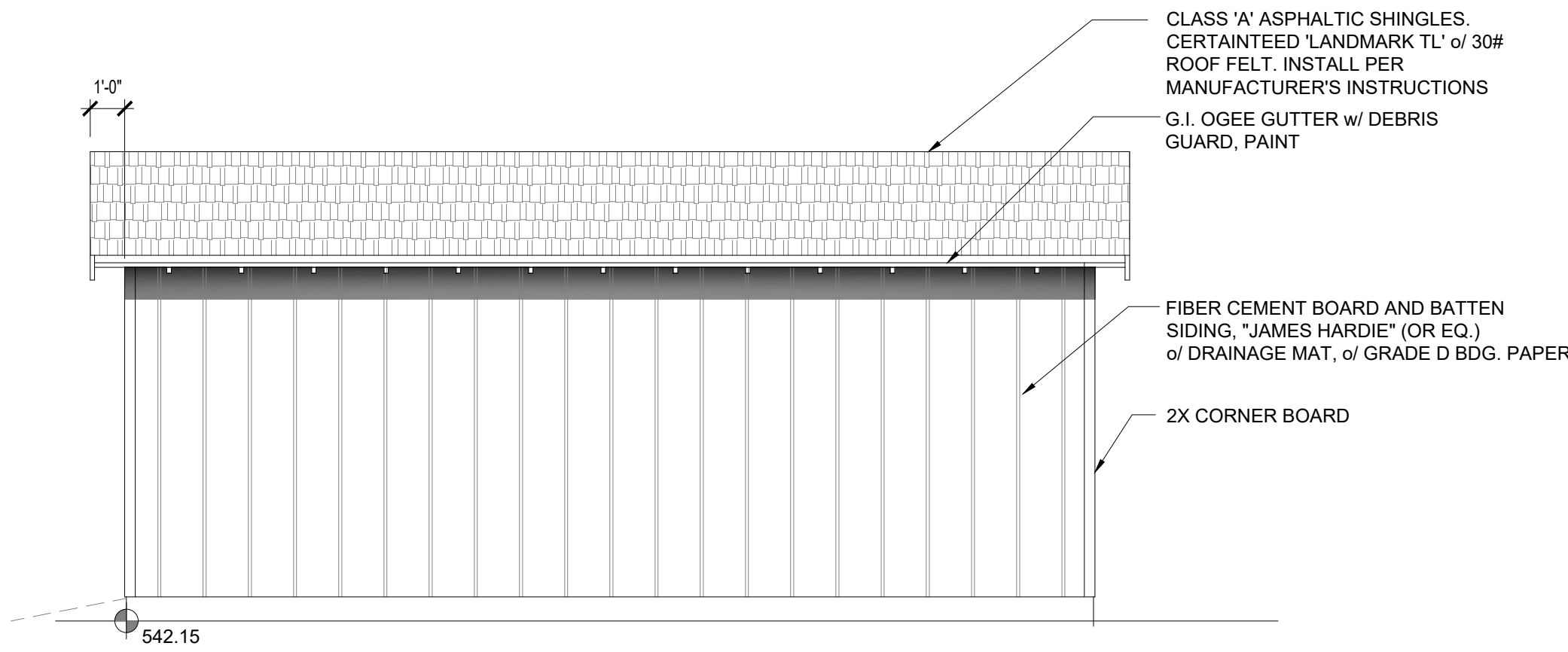


1 EXISTING STREET ELEVATION



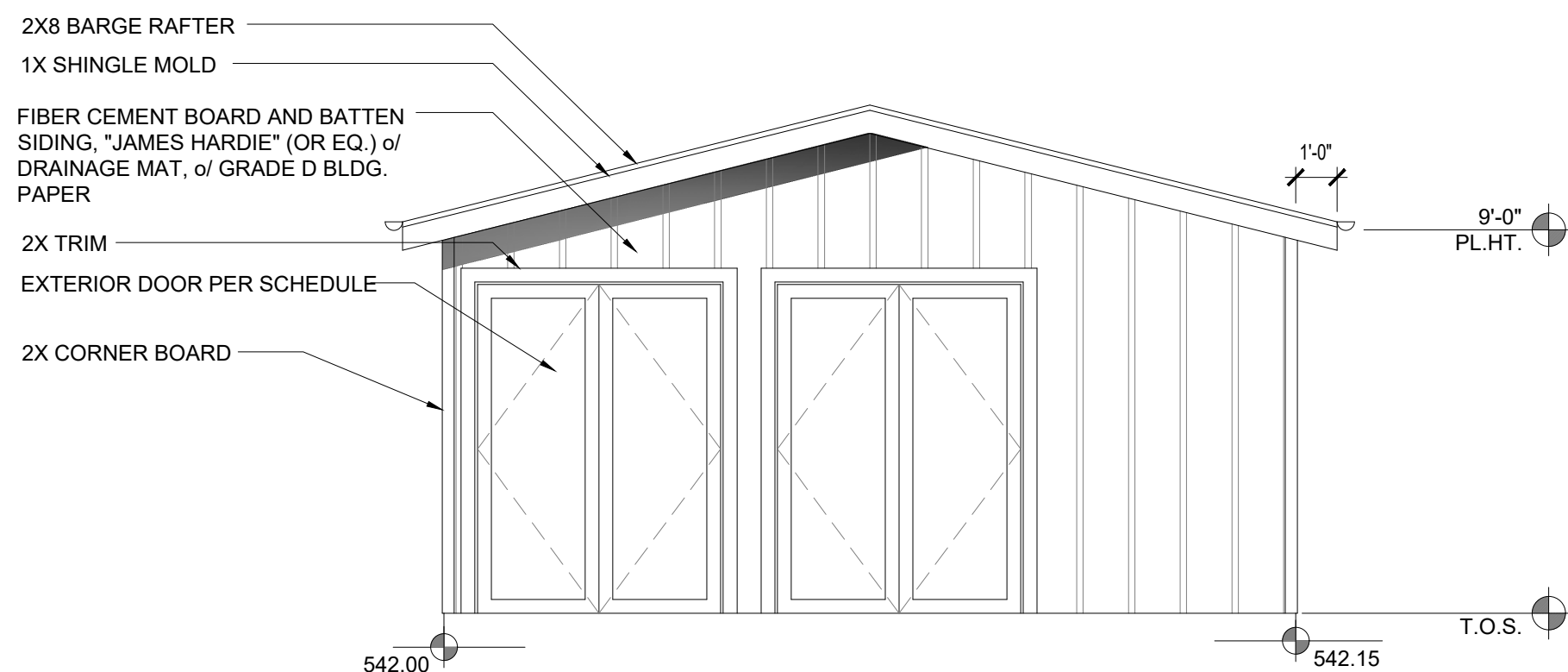
EAST ELEVATION

1/4" = 1'-0"



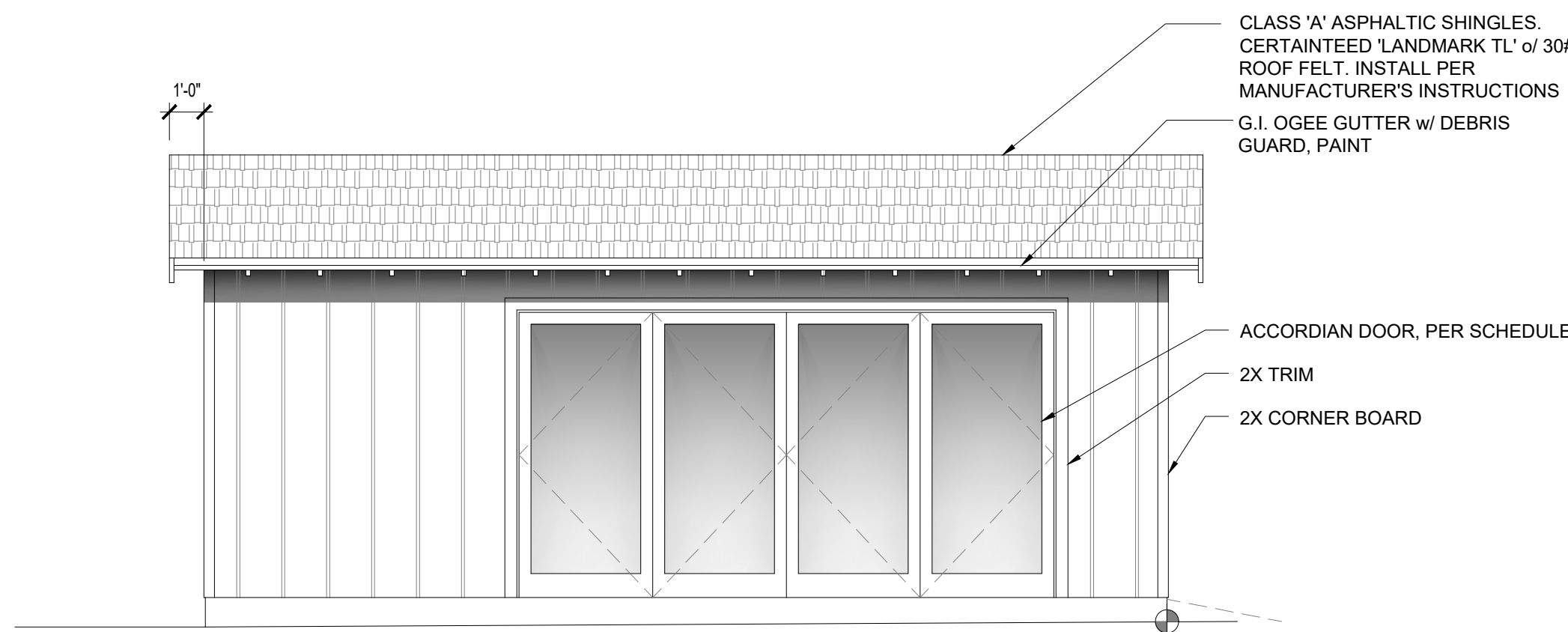
SOUTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

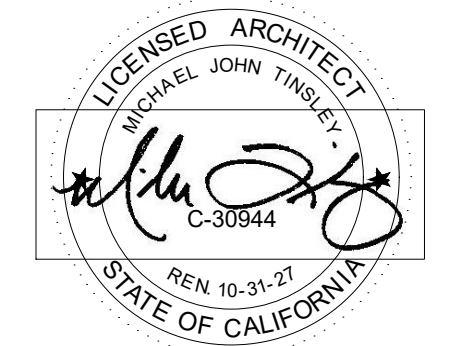


NORTH ELEVATION

1/4" = 1'-0"



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LOS GATOS, CA 95030
A.P.N. 51041015

SHEET TITLE:
**SECTION
EXTERIOR
ELEVATIONS**

ISSUE DATE: 12/15/2025
SCALE: AS NOTED

A3.0