

PROJECT DIRECTORY

VICINITY MAP

OWNER SILICON VALLEY PROP LP
16400 LARK AVENUE
LOS GATOS, CA 95032
CONTACT: ALI
EMAIL: alimoayed@msn.com

CIVIL WOOD RODGERS, INC.
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PLEASANTON, CA 94566
CONTACT: COLET ALVERNIAZ, PRINCIPAL
PH: 925.347.1556

ARCHITECT ANDERSON ARCHITECTS INC.
120W. CAMPBELL AVENUE, SUITE D
CAMPBELL, CA 95008
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LANDSCAPE ARCHITECT THE GUZZARDO PARTNERSHIP, INC.
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SAN FRANCISCO, CA 94111
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PH: 415.433.4672 X 23

ARBORIST CALYX TREE + LANDSCAPE
CONSULTING
CONTACT: DEANNE ECKLUND
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Fax: 408.371.1276

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Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032

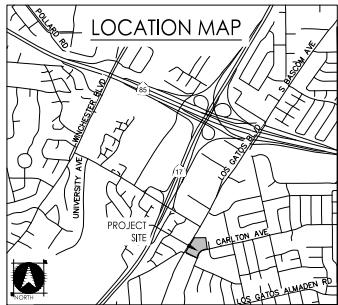
PLANNING SUBMITTAL

THE ARYA
(NEW CONSTRUCTION
- FOR SALE CONDOMINIUMS)

PROJECT DATA

SHEET LIST

Area Schedule (Gross Building) - Cover Sheet	
Name	Total Area (SF)
1) Garage III - Residential (Below Grade)	59,522.8 SF
Garage III - Residential	59,522.8 SF
2) Garage II - Residential (Below Grade)	59,522.8 SF
Garage II - Residential	59,522.8 SF
3) Garage I - Commercial (Below Grade)	62,487.4 SF
Garage I - Commercial	62,487.4 SF
4) 1st Floor Commercial	37,862.0 SF
Commercial	37,862.0 SF
5) 1st Floor Commercial - II (Accessory Areas)	5,401.1 SF
Building Support	5,401.1 SF
Electrical Meters	745.9 SF
Ramp - R-C	1,603.7 SF
Service Area	3,749.6 SF
	11,500.3 SF
6) 1st Floor Residential	1,654.0 SF
Ramp - R-I	2,679.1 SF
Residential	4,333.1 SF
7) 2nd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
8) 3rd Floor Residential	46,361.7 SF
Residential	46,361.7 SF
9) 4th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
10) 5th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
11) 6th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
12) 7th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
13) 8th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
14) 9th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
15) 10th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
16) 11th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
17) 12th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
18) 13th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
19) 14th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
20) 15th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
21) 16th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
22) 17th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
23) 18th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
24) 19th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
25) 20th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
26) 21st Floor Residential	46,361.6 SF
Residential	46,361.6 SF
27) 22nd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
28) 23rd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
29) 24th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
30) 25th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
31) 26th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
32) 27th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
33) 28th Floor Residential	46,361.6 SF
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34) 29th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
35) 30th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
36) 31st Floor Residential	46,361.6 SF
Residential	46,361.6 SF
37) 32nd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
38) 33rd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
39) 34th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
40) 35th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
41) 36th Floor Residential	46,361.6 SF
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42) 37th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
43) 38th Floor Residential	46,361.6 SF
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44) 39th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
45) 40th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
46) 41st Floor Residential	46,361.6 SF
Residential	46,361.6 SF
47) 42nd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
48) 43rd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
49) 44th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
50) 45th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
51) 46th Floor Residential	46,361.6 SF
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52) 47th Floor Residential	46,361.6 SF
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60) 55th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
61) 56th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
62) 57th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
63) 58th Floor Residential	46,361.6 SF
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64) 59th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
65) 60th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
66) 61st Floor Residential	46,361.6 SF
Residential	46,361.6 SF
67) 62nd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
68) 63rd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
69) 64th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
70) 65th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
71) 66th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
72) 67th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
73) 68th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
74) 69th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
75) 70th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
76) 71st Floor Residential	46,361.6 SF
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77) 72nd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
78) 73rd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
79) 74th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
80) 75th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
81) 76th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
82) 77th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
83) 78th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
84) 79th Floor Residential	46,361.6 SF
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85) 80th Floor Residential	46,361.6 SF
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86) 81st Floor Residential	46,361.6 SF
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87) 82nd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
88) 83rd Floor Residential	46,361.6 SF
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89) 84th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
90) 85th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
91) 86th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
92) 87th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
93) 88th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
94) 89th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
95) 90th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
96) 91st Floor Residential	46,361.6 SF
Residential	46,361.6 SF
97) 92nd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
98) 93rd Floor Residential	46,361.6 SF
Residential	46,361.6 SF
99) 94th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
100) 95th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
101) 96th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
102) 97th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
103) 98th Floor Residential	46,361.6 SF
Residential	46,361.6 SF
104) 99th Floor Residential	46,361.6 SF
Residential	46,361



TENTATIVE SUBDIVISION MAP FOR CONDOMINIUM PURPOSES

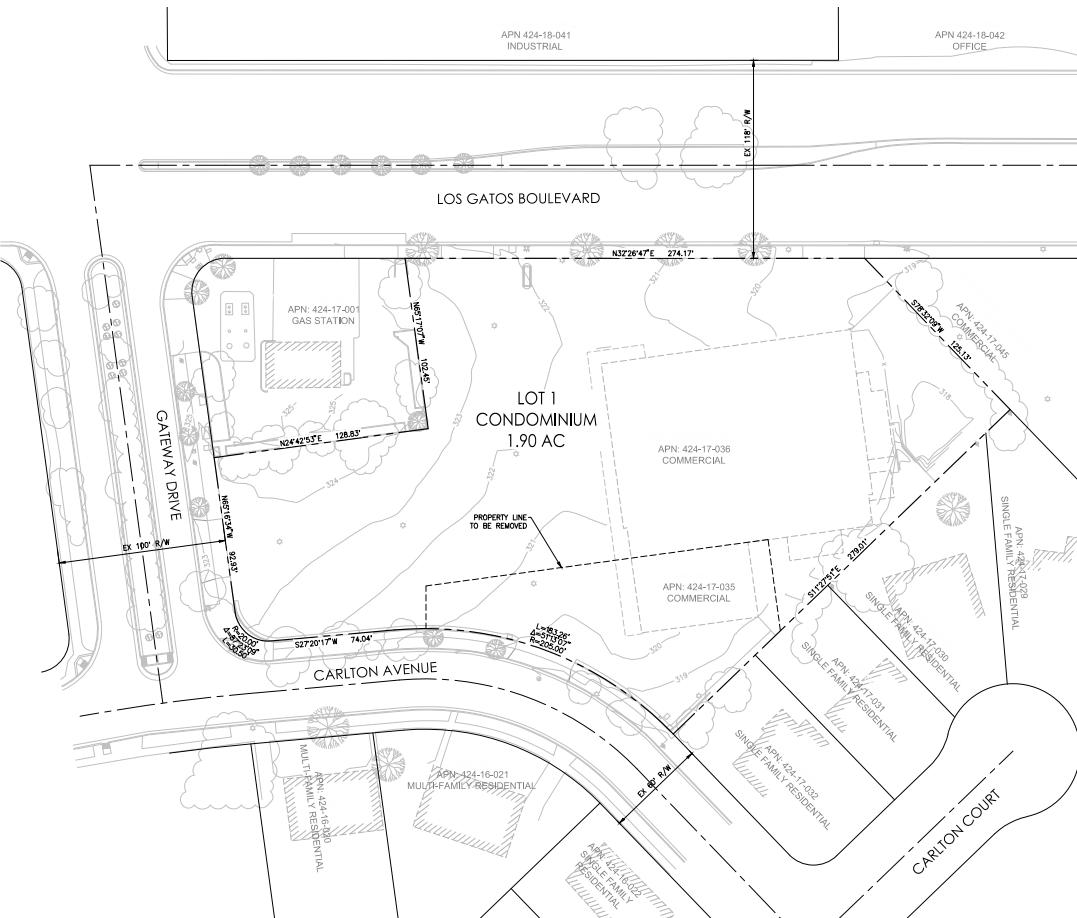
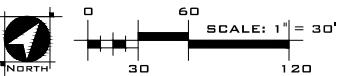
ARYA

TOWN OF LOS GATOS, SANTA CLARA COUNTY, CALIFORNIA
MARCH 2025

LEGEND	
PROPOSED	EXISTING
PROJECT BOUNDARY	EASEMENT LINE
EASEMENT LINE	EASEMENT LINE
CURB & GUTTER	BURNT LINE
BURNT LINE	STORM DRAIN LINE
STORM DRAIN LINE	STORM DRAIN MANHOLE
STORM DRAIN MANHOLE	STORM DRAIN LINE
STORM DRAIN LINE	CATCH BASIN
CATCH BASIN	WATER MAIN
WATER MAIN	FIRE HYDRANT
FIRE HYDRANT	WATER METER
WATER METER	DDCA
DDCA	CONCRETE
CONCRETE	BUILDING
BUILDING	TRANSFORMER
TRANSFORMER	DECORATIVE PAVING (SEE LANDSCAPE PLANS)

ABBREVIATIONS

AC	ACRE
APN	ASSESSOR'S PARCEL NUMBER
BL	BASIS LEVEL
BMP	BEST MANAGEMENT PRACTICE
BDNY	BOUNDARY
CFS	CUBIC FEET PER SECOND
CF	CURB & GUTTER
CY	CUBIC YARDS
DDCA	DOUBLE CHECK DETECTOR ASSEMBLY
DMA	DRINKING WATER MANAGEMENT AREA
DWY	DRIVEWAY
EX	EXISTING
FC	FACE OF CURB
FDC	FIREFIGHTER DRAIN CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
L/S	LAWNSCAPE
MH	MANHOLE
NO.	NUMBER
NTS	NOT TO SCALE
P	PAVEMENT
PC	PIPE CONNECTION
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SP	SANITARY PIPE
SSMH	SANITARY SEWER
STD	STANDARD
S/W	SIDEWALK
T.O.G.	TOP OF GUTTER
T.O.G.	TOWN OF LOS GATOS
TYP	Typical
W	WATER
WM	WATER METER
WS	WATER SERVICE



PROJECT NOTES

APPLICANT/OWNER
ARYA PROPERTIES LLC
1640 LAKE AVENUE
LOS GATOS, CA 95032
CONTACT: ALMAGAYED
PHONE: (408) 515-4699

PLANNER/ENGINEER
WOOD RODGERS, INC.
4670 WILLOW ROAD, SUITE 125
PLEASANTON, CA 94568
CONTACT: PAUL MEUSER | COLT ALVERAZ
PHONE: (925) 847-1549 | (925) 932-2811

ARCHITECT
ANDERSON ARCHITECTS INC.
120 W CAMPBELL AVE, SUITE D
CAMPBELL, CA 95008
CONTACT: RUST ANDERSON
PHONE: (408) 371-1267

ASSESSOR'S PARCEL NO.
424-17-035 & 424-17-036

ADDRESS
15300-15330 LOS GATOS BOULEVARD

AREA
1.94 ACRES GROSS / 1.94 ACRES NET

PARKING SPACE COUNT

47 GARAGE SPACES

9 OPEN SPACES

UNIT COUNT

181 CONDOMINIUMS

COMMERCIAL AREA

42,383 SF

DENSITY

95 DU/AC. GROSS

EXISTING USE

COMMERCIAL

PROPOSED USE

MIXED USE

EXISTING ZONING

NEIGHBORHOOD COMMERCIAL / HOUSING ELEMENT OVERLAY ZONE

EXISTING GENERAL PLAN

MIXED USE COMMERCIAL

PARK DISTRICT

TOWN OF LOS GATOS

FIRE PROTECTION

SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRICT

SCHOOL DISTRICT

LOS GATOS UNIFIED SCHOOL DISTRICT

SEWER

WEST VALLEY SANITATION DISTRICT

STORM DRAIN

SANTA CLARA COUNTY

WATER

SAN JOSE WATER COMPANY

ELECTRICITY

PG & E

GAS

PG & E

FLOOD ZONE INFORMATION

TOWN E: AREA OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINS AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES, DAMS, OR CHAMBERS

SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE MAP, MAP NUMBER 06985C037H DATE: MAY 18, 2009

Kurt B. Anderson, AIA
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Client:
Arya Properties LLC

1640 Lake Ave.
Los Gatos, CA 95032

Project:
Arya

15300-15330 Los Gatos Blvd.
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:
WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
3075 HOYWARD AVENUE, SUITE 345 • 925.847.1596
PLACENTIA, CA 92870 • 800.333.1792 • FAX: 714.871.1792



Issued For

No.	Description	Date
0	STORY SUBMITTAL	1/15/2021
1	PLANNING SUBMITTAL	05/09/2024
2	PLANNING RESUBMITTAL	08/09/2024
3	PLANNING RESUBMITTAL	11/26/2024
4	PLANNING RESUBMITTAL	03/14/2025
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Initial Submittal Date: 05/09/2024

Scale:

Drawn By: MY

Checked By: CRA

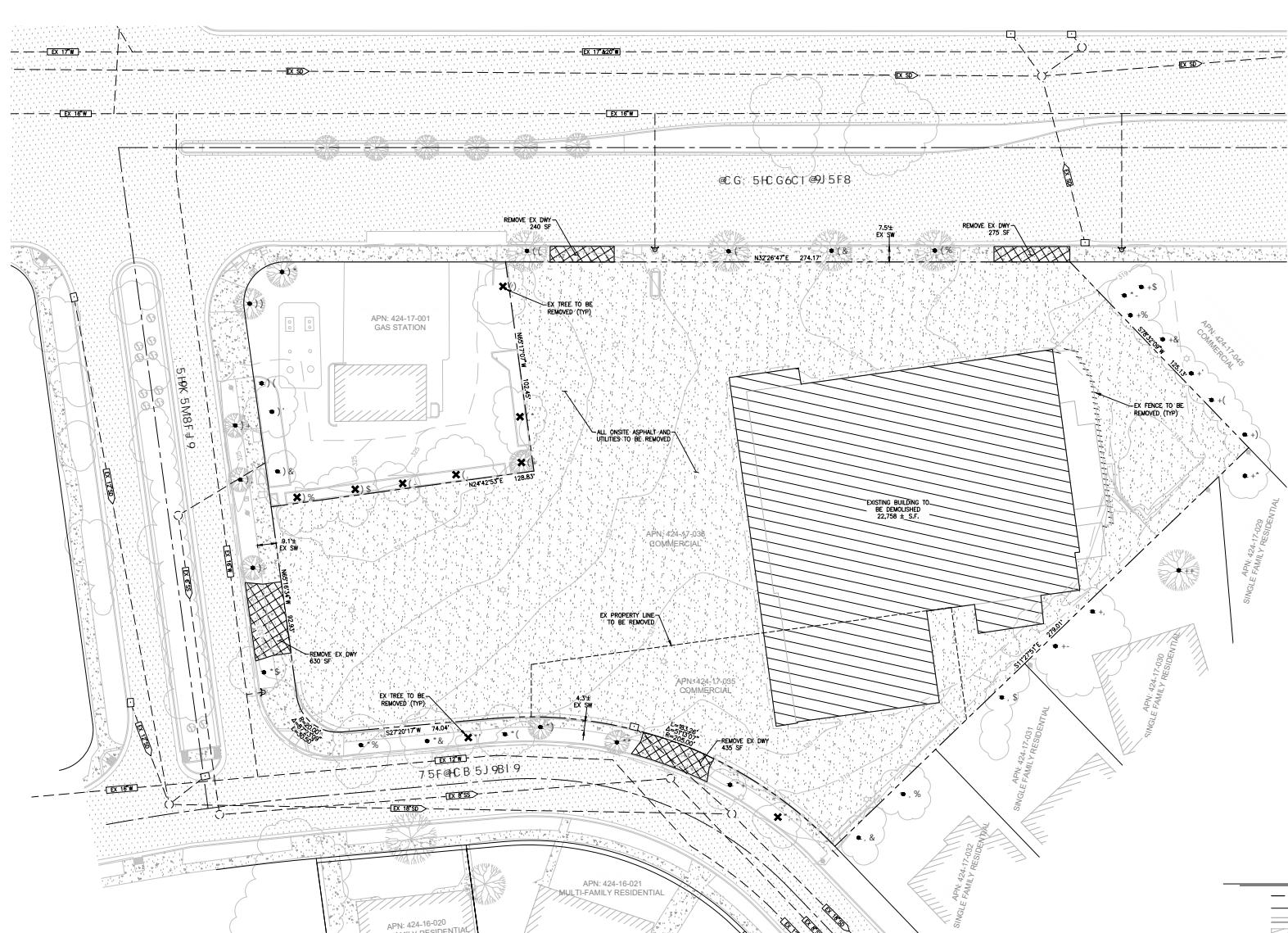
Sheet Title:

**TENTATIVE MAP FOR
CONDOMINIUM PURPOSES**

Sheet No.:

C0.0

File: J-100-094 Los Gatos Ace Job: 43944 Los Gatos Ace



TREE INFORMATION											
TAG NUMBER	SPECIES	DIAMETER (IN)	STATUS	TAG NUMBER	SPECIES	DIAMETER (IN)	STATUS	TAG NUMBER	SPECIES	DIAMETER (IN)	STATUS
41	LONDON PLANE	11.5	REMAIN	55	MEXICAN FAN PALM	23.2	REMAIN	69	PURPLE LEAF PLUM	3.5, 2.2, 2.1, 1.5	REMAIN
42	LONDON PLANE	11.0	REMAIN	56	MEXICAN FAN PALM	23.6	REMAIN	70	PURPLE LEAF PLUM	2.3, 2.2, 2.1, 1.5	REMAIN
43	LONDON PLANE	8.1	REMAIN	57	GLOSSY PRIVET	5.3, 4.9, 4.0	REMAIN	71	HOLLYWOOD JUNIPER	15.1, 7, 6.1, 4.9	REMAIN
44	LONDON PLANE	9.0	REMAIN	58	SWAMP MAHOGANY	6.3	REMAIN	72	HOLLYWOOD JUNIPER	16.6, 7.6, 7.5	REMAIN
45	AFRICAN SUMAC	14.8	REMOVE	59	GLOSSY PRIVET	9.7	REMAIN	73	HOLLYWOOD JUNIPER	14.8, 6.1, 5.2	REMAIN
46	CAMPHOR	11.3, 10.9	REMOVE	60	COAST LIVE OAK	10.2	REMAIN	74	SOUTHERN MAGNOLIA	5.1	REMAIN
47	CAMPHOR	8.1	REMOVE	61	COAST LIVE OAK	17.6	REMAIN	75	HOLLYWOOD JUNIPER	13, 5.8, 3.7	REMAIN
48	CAMPHOR	16.2	REMOVE	62	COAST LIVE OAK	10.4	REMAIN	76	COAST LIVE OAK	~12	REMAIN
49	CAMPHOR	9.8	REMOVE	63	COAST LIVE OAK	5.0	REMOVE	77	MEXICAN FAN PALM	~18	REMAIN
50	CAMPHOR	12.7	REMOVE	64	COAST LIVE OAK	11.5	REMAIN	78	PINUS SP.	~24	REMAIN
51	CAMPHOR	12.3	REMAIN	65	HOLLYWOOD JUNIPER	7.9	REMAIN	79	COAST LIVE OAK	~20	REMAIN
52	CAMPHOR	7.1	REMAIN	66	GLOSSY PRIVET	8.5	REMAIN	80	AVOCADO	~10	REMAIN
53	CAMPHOR	11.8	REMAIN	67	GLOSSY PRIVET	11.6	REMAIN	81	MAGNOLIA	~18	REMAIN
54	CAMPHOR	15.6	REMAIN	68	GLOSSY PRIVET	11.6	REMOVE	82	AVOCADO	~15	REMAIN

LEGEND

- PROJECT BOUNDARY
- RIGHT OF WAY
- EXISTING CURB & GUTTER
- EXISTING BUILDING
- EXISTING PAVEMENT
- EXISTING CONCRETE
- EXISTING OVERHEAD LINE
- EXISTING CONTOUR
- (CONT)

EXISTING ONSITE UTILITY NOTE
ALL EXISTING PRIVATE ONSITE UTILITIES ARE TO BE REMOVED AND CAPPED AT THE PROPERTY LINE.

EXISTING TREE NOTE
ALL EXISTING TREES WITHIN THE PROJECT BOUNDARY SHALL BE REMOVED WITH THIS DEVELOPMENT. SEE SHEET L-5.1.

Sheet No.:

C1.0

Issued For		
1	Description	Date
2	SRSS SUBMITTAL	11/05/21
3	PLANNING SUBMITTAL	05/09/24
4	PLANNING RESUBMITTAL	08/09/24
5	PLANNING RESUBMITTAL	11/26/2024
6	PLANNING RESUBMITTAL	03/14/2025
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Initial Submittal Date: 05/09/2024

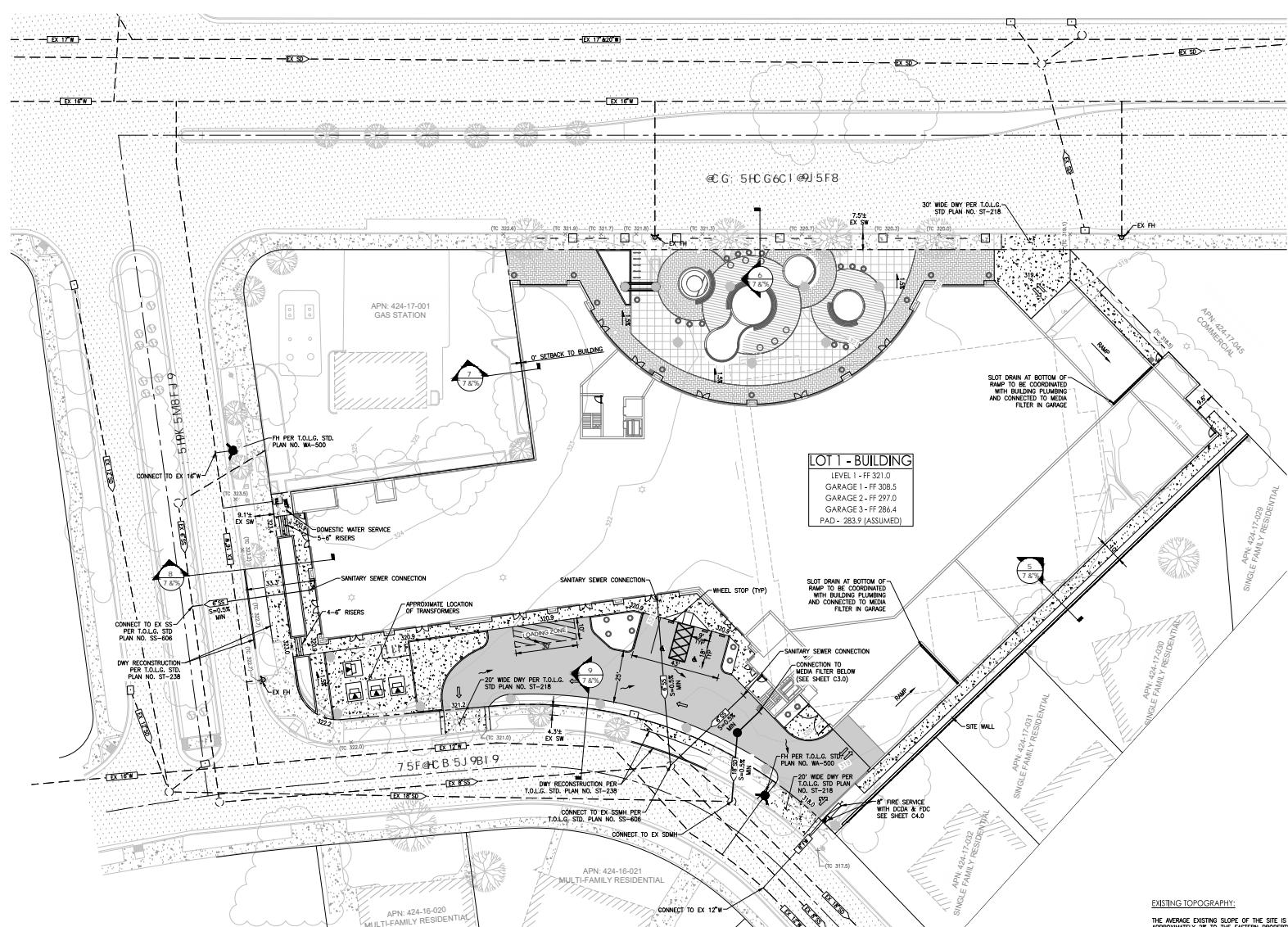
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Sheet Title:

EXISTING CONDITIONS PLAN



EARTHWORK SUMMARY		
DESCRIPTION	CUT (CY)	FILL (CY)
GRADE EXCAVATION	98,000	0
ROUGH GRADE (GROUND LEVEL)	500	500
TOTAL	98,500	500
NET	98,000	

EARTHWORK NOTES:

1. QUANTITIES SHOWN ARE APPROXIMATE. ACTUAL AMOUNT OF EARTHWORK IS VARIABLE DEPENDENT ON COMPACTION, CONSTRUCTION METHODS, REWORKS, AND THE CONTRACTOR'S METHOD OF OPERATION.
2. BUILDING FOUNDATIONS ARE ASSUMED TO BE 30" THICK.
3. TOTAL LAND DISTURBED = 1.9 ACRES.

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 Fax: 408.371.1276
 www.andarchinc.com

Kurt B. Anderson, AIA
 The use of these plans and specifications shall be restricted to the specific use for which they were prepared and publication thereof shall be restricted to the extent necessary to protect the interests of the owner by any method, in whole or in part, is prohibited. Failure to do the plans and specifications in accordance with these plans and specifications shall constitute prima facie evidence of the acceptance of the construction.

Arya Properties LLC
 16400 Lark Ave.
 Los Gatos, CA 95032

Proj:

ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:
WOOD ROODERS
 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
 3079 HOPKINS RD., STE 345 • 925.847.1596
 PALO ALTO, CA 94303 • FAX: 925.847.1597
 Stamp:



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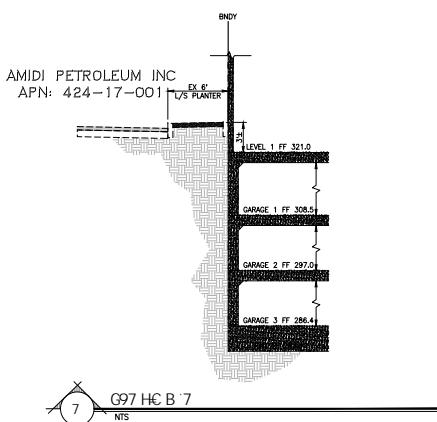
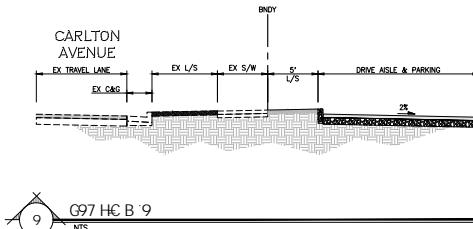
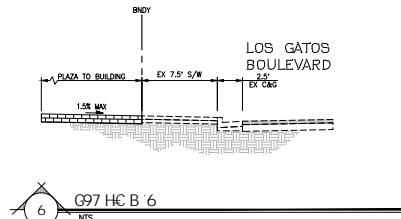
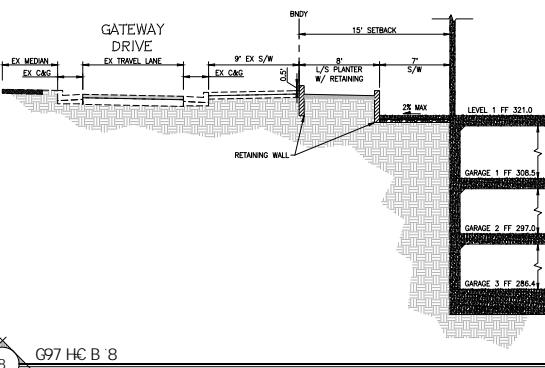
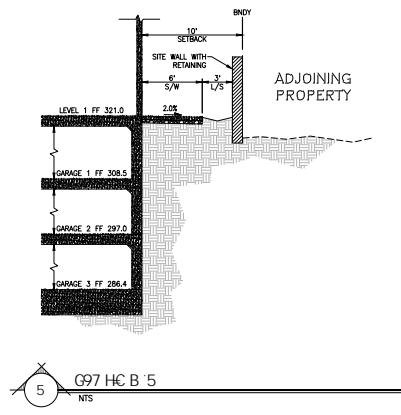
Sheet Title:

PRELIMINARY GRADING,
DRAINAGE & UTILITY PLAN

Sheet No.:

C2.0

File: J-108-4394 Los Gatos Ace Job: 4394 Los Gatos Ace



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Tel: 408.371.1269
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Clerk:
Arya Properties LLC
16400 Lake Ave.
Los Gatos, CA 95032

Project:
Arya
15360-15330 Los Gatos Blvd.
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:
WOOD ROODERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
3079 HOPKINS AVE., STE 349 • 925.847.1596
PO BOX 1000, SAN JOSE, CA 95148 • FAX: 408.295.1590



Issued For		
No.	Description	Date
0	SKETCH SUBMITTAL	11/03/21
1	PLANNING SUBMITTAL	05/09/24
2	PLANNING RESUBMITTAL	08/26/24
3	PLANNING RESUBMITTAL	11/26/2024
4	PLANNING RESUBMITTAL	03/14/2025
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Initial Submittal Date: 05/09/2024

Scale:

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Checked By: CRA

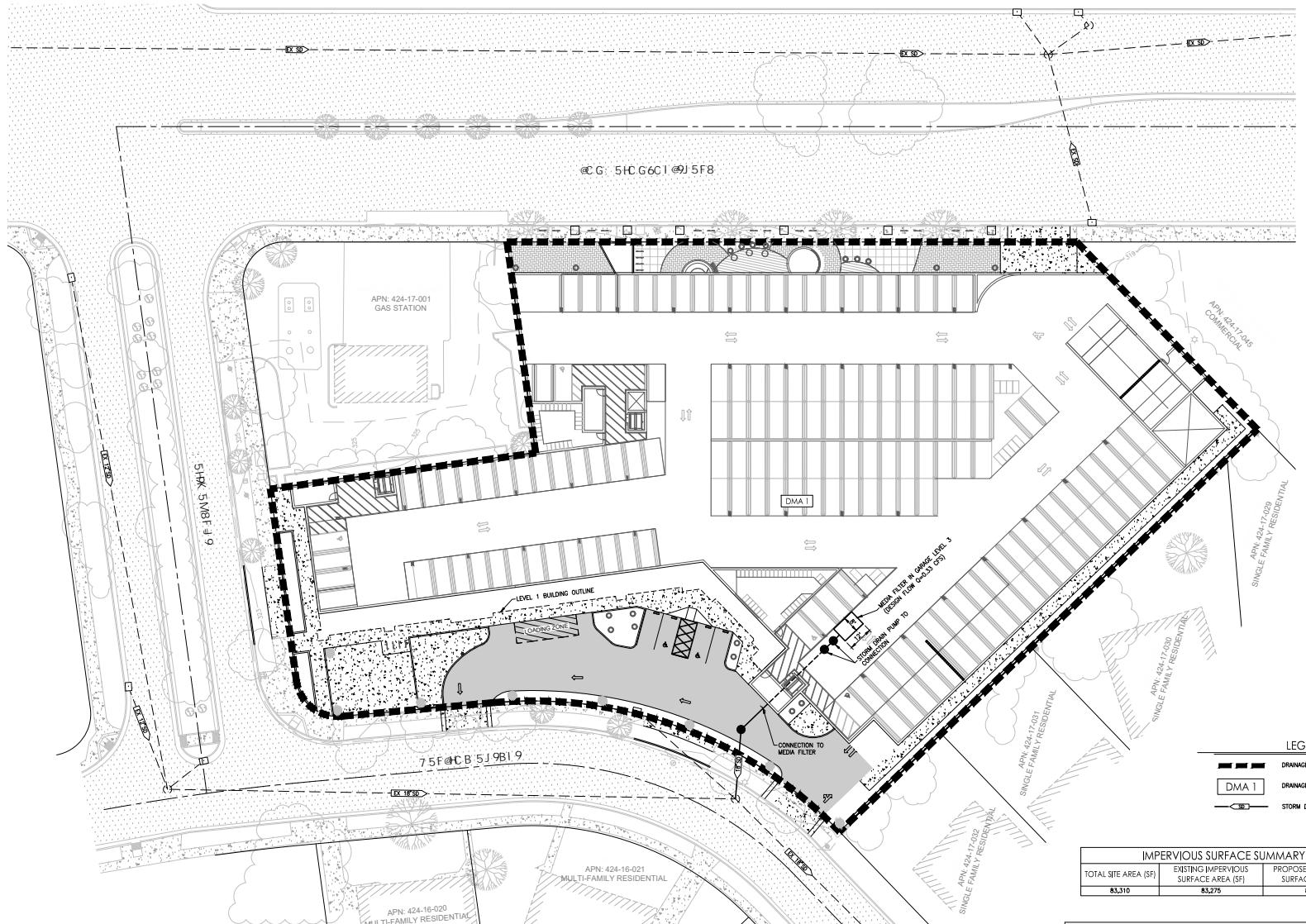
Sheet Title:

GRADING SECTIONS

Sheet No.:

C2.1

File: J-108-4394 Los Gatos Ace Job: 4394 Los Gatos Ace



2. Project X		3. Total Lead Time (including Planning, Construction, and Testing)			
Total Lead Time	Lead Time (in days)	Planning	Construction	Testing	Lead Time (in days)
Project Details		Total Existing (Per project, items in \$)	Existing Total (in \$)	Existing Total (in \$)	Total Lead Time (in days)
Assumptions (Total)					
Total items	100	80,275	10	80,285	80,285
Total cost	\$0	\$0	\$0	\$0	\$0
Total project PDI	10	80,275	10	80,285	80,285
Total items (Total)	100	80,275	10	80,285	80,285
Total cost (Total)	\$0	\$0	\$0	\$0	\$0
Total project PDI (Total)	10	80,275	10	80,285	80,285
Total Lead Time	25				2,650
Total cost	\$0				\$0
Total project PDI	25				2,650
Total items (Total)	100				80,285
Total cost (Total)	\$0				\$0
Total project PDI (Total)	100				80,285
Project Requirements (Total)	80,285				80,285

STORMWATER CONTROL PLAN NOTES:
THIS PROJECT PROPOSES TO MEET THE SCWRPPP SPECIAL PROJECT
CATEGORY "B" QUALIFICATIONS AND IS PROPOSING 100% NON-LID
WATER QUALITY TREATMENT VIA MEDIA FILTER TO BE LOCATED IN
LOWEST LEVEL OF THE BUILDING STRUCTURE (GARAGE LEVEL 3). SEE
SEPARATE C3 CALCULATIONS AND FORMS.

PRELIMINARY STORMWATER CONTROL CALCULATIONS

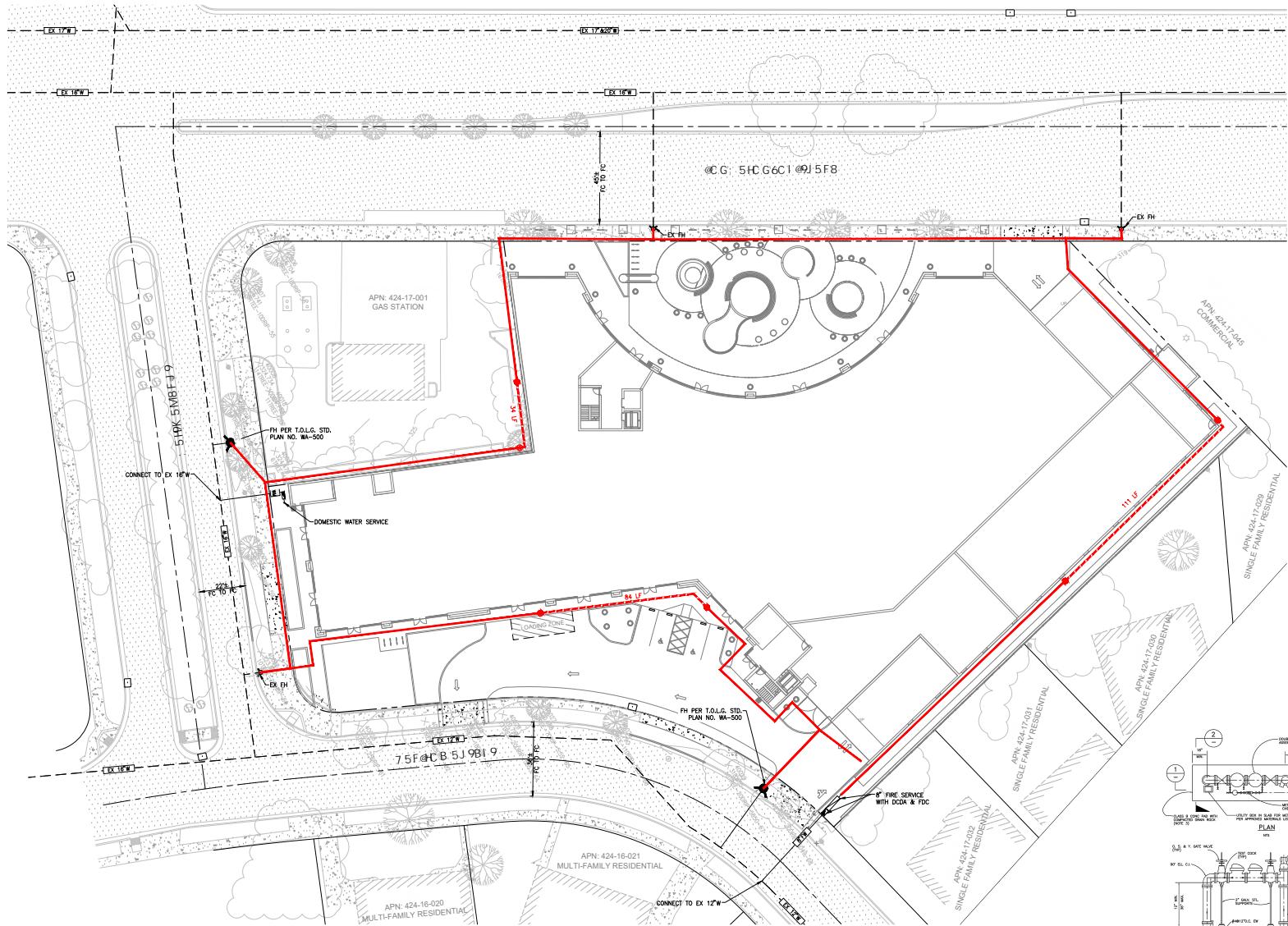
AREA ID	SURFACE	IMPERVIOUS AREA (SF)	BMP USED	DESIGN FLOW (CFS)
PWA-1	ROOF/Hardscape	80,660	MEDIA FILTER	0.11

PRELIMINARY STORMWATER CONTROL PLAN

10

C3.0

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ABBREVIATIONS

CFC CALIFORNIA FIRE CODE
EX EXISTING
FH FIRE HYDRANT
GPM GALLONS PER MINUTE
PSI POUNDS PER SQUARE INCH
W WATER

LEGEND

- PROPOSED FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- 150' HOSE PULL
- PATH EXCEEDING 150' HOSE PULL

FIRE FLOW DATA

THE MINIMUM REQUIRED FIRE FLOW FOR THIS PROJECT IS 4,500 GPM AT 20 PSI RESIDUAL PRESSURE. THIS FIRE FLOW ASSUMES A 75% REDUCTION FOR THE INSTALLATION OF AUTOMATIC FIRE SPRINKLERS PER CFC SECTION 903.3.1.3

DEFERRED SUBMITTALS

1. STANDPIPES SYSTEM DESIGN IS DEFERRED WITH THIS PLANNING SUBMITTAL AND WILL BE PROVIDED PRIOR TO BUILDING PERMIT.
2. TWO-WAY COMMUNICATION SYSTEM DESIGNED IS DEFERRED AND WILL BE PROVIDED PRIOR TO BUILDING PERMIT.



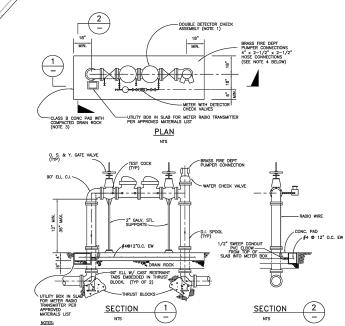
<p>kanderson@andarchinc.com Cell 408.202.5462</p> <p>120 W. Campbell Ave, Suite D Campbell, CA 95008</p>	 	<p>Kurt B. Anderson, AIA Principal</p> <p>Tel. 408.371.1269 Fax. 408.371.1276</p>
		<p>www.andarchinc.com</p>

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Client:
Arya Properties LLC
16400 Lark Ave.
Los Gatos, CA 95032

Project:
Arya
15300 15320 1

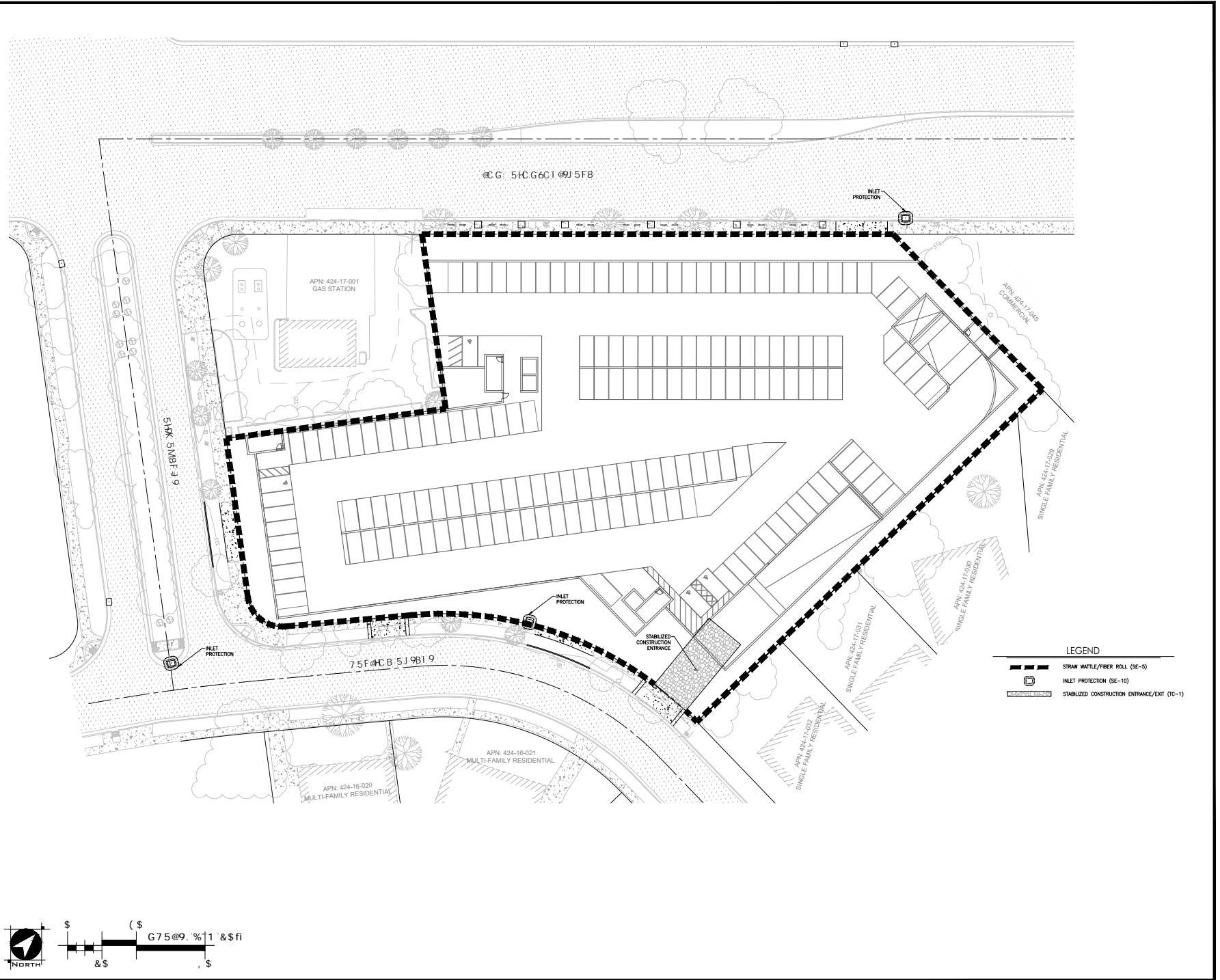
ENTITLEMENT SUBMITTAL



8" DOUBLE DETECTOR CHECK

Sheet No.:

C4.0



kanderson@andarchinc.com

Kurt B. Anderson, AIA

120 W. Campbell Ave, Suite 100

Tel: 408.371.1269

Fax: 408.371.1276

www.andarchinc.com

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Client:

Arya Properties LLC

16400 Lark Ave.

Los Gatos, CA 95032

Project:

Arya

15360-15330 Los Gatos Blvd.

Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:

WOOD ROODERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
3079 HOPKINS ROAD, SUITE 345 • 925.847.1596
PARKER, CALIFORNIA 94589 • FAX: 925.847.1597

Stamp:

REGISTERED PROFESSIONAL ENGINEER
No. 0575740
Exp. 06-30-26

No.	Description	Date
0	SKETCH SUBMITTAL	11/05/23
1	PLANNING SUBMITTAL	05/09/24
2	PLANNING RESUBMITTAL	08/09/24
3	PLANNING RESUBMITTAL	11/26/2024
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Initial Submittal Date: 05/09/2024

Scale: MV

Down By: _____

Checked By: _____

Sheet Title: _____

PRELIMINARY EROSION CONTROL PLAN

Sheet No.: C5.0

File: J:\Jobs\4394 Los Gatos Ace Job: 4394 Los Gatos Ace

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Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032

Stamp:

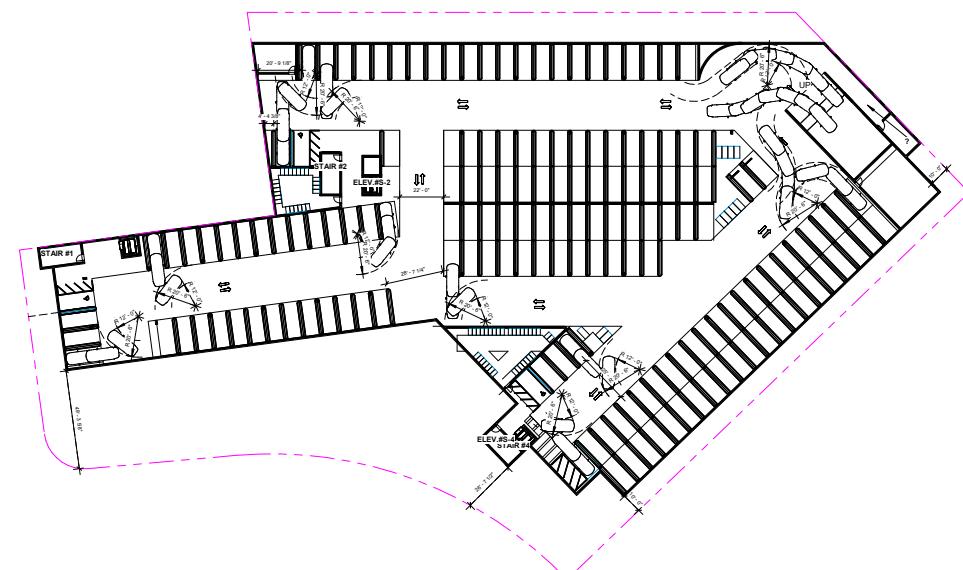
KURT B. ANDERSON
C-1524
EXP 10/31/24
STATE OF CALIFORNIA

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No.	Description	Date
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0	Planning Submittal	05/09/24
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05/06/24		
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Author		
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Checker		
Sheet Title:		
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Sheet No.:		

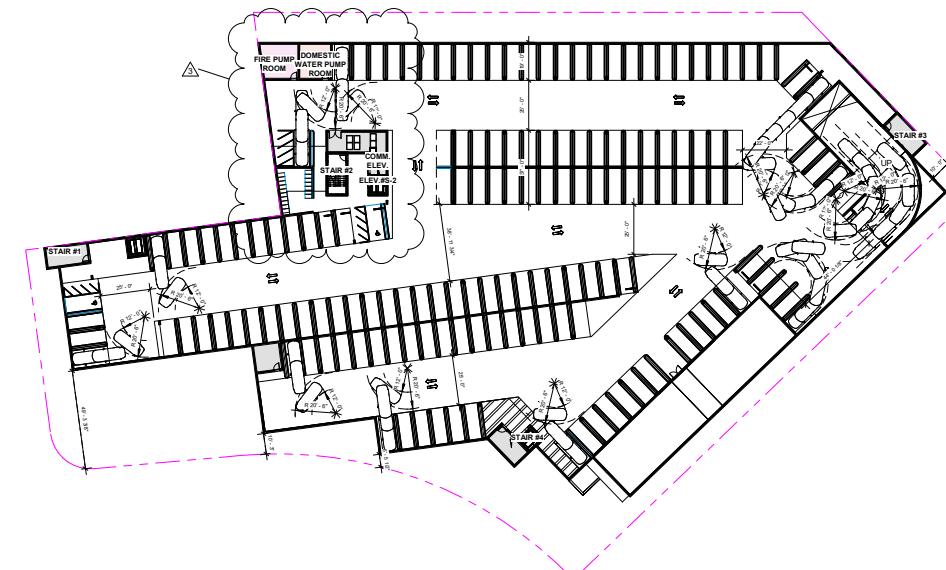
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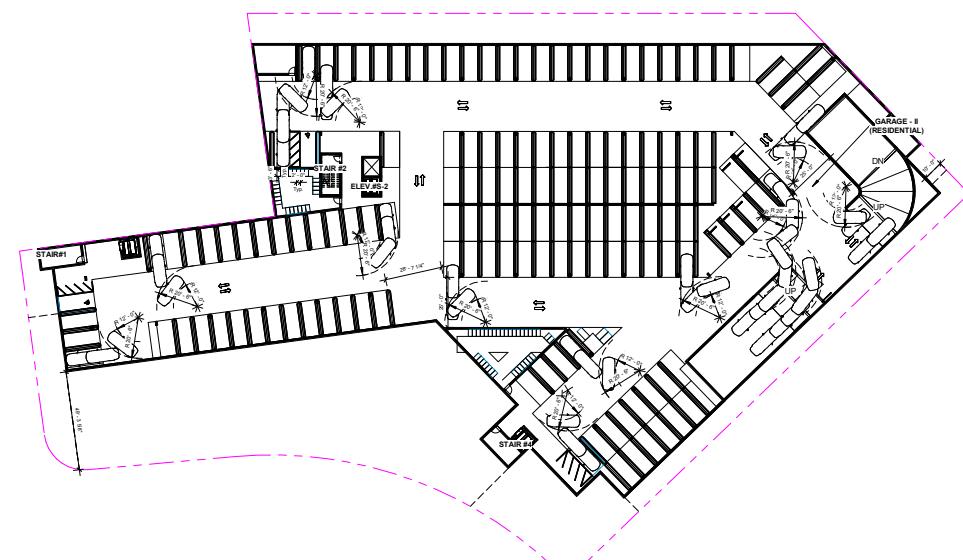
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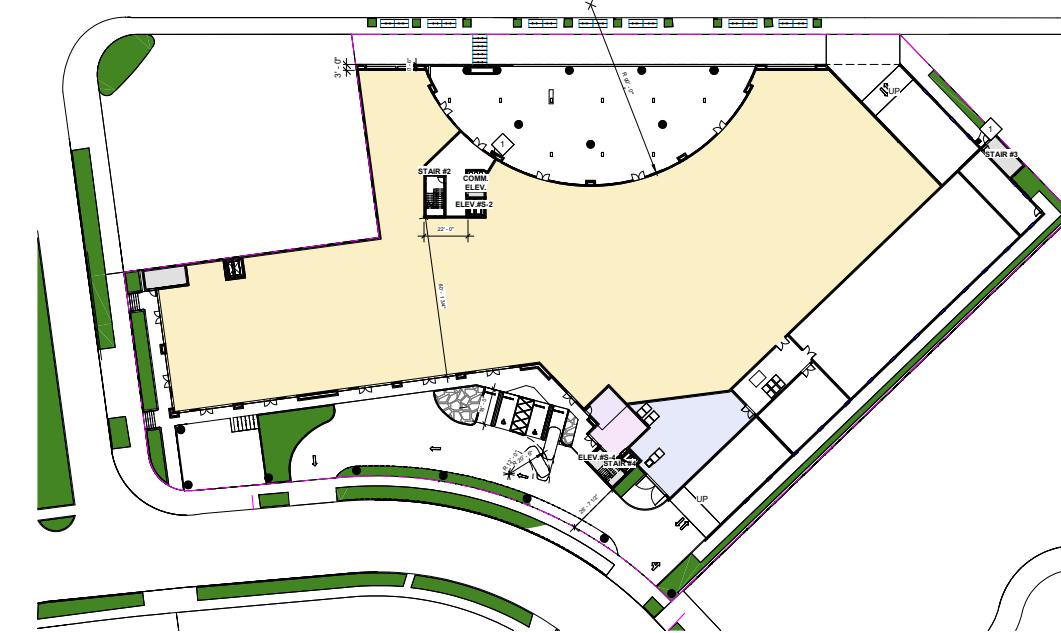
CA - Garage III - Residential Turning
④ Radius
1/32" = 1'-0"



② CA - Garage I - Commercial
1/32" = 1'-0"



CA - Garage II - Residential Turning
③ Radius
1/32" = 1'-0"



① CA - 1st Floor
1/32" = 1'-0"



OBJECTIVE DESIGN STANDARDS - Facade Design and Articulation - COMPLIANCE

1. LOS GATOS BOULEVARD FACING FAÇADE
 - * BALCONIES OR HABITABLE PROJECTIONS WITH A MINIMUM DEPTH OF TWO FEET FOR A MINIMUM OF 20 PERCENT LENGTH OF THE STREET FACING FAÇADE. PER BUILDING STANDARDS B.4.1b WE ARE COMPLIANT WITH THIS STANDARD ON LOS GATOS BOULEVARD FAÇADE WHERE THE PROJECTIONS ARE AT 43.2% OF THE TOTAL LENGTH OF THE FAÇADE WHICH IS MORE THAN REQUIRED 20%. SEE 2/A1.3
 - * THE USE OF AT LEAST TWO DIFFERENT MATERIALS, EACH COVERING A MINIMUM OF 20 PERCENT OF THE STREET FACING FAÇADE. PER BUILDING STANDARDS B.4.1d WE HAVE USED STUCCO AND STONE AS THE TWO MATERIALS FOR OUR PROJECT . THE STONE COVERS 38.4% OF THE STREET FAÇADE LENGTH . SEE 1/A40
 - * THE UPPER FLOOR SHALL IMPLEMENT A FAÇADE HEIGHT THAT IS MIN. 2'-0" GREATER THAN THE FAÇADE HEIGHT OF THE FLOOR BELOW PER BUILDING STANDARDS B.4.1e THE UPPER FLOOR HEIGHT IS 12'-0" WHICH IS 2'-0" GREATER THAN THE FLOOR BELOW AT 10'-0". THE FAÇADE HEIGHT IS SELF-EVIDENT WITH TALLER WINDOWS PROVIDED . SEE ALL ELEVATION SHEETS A4.1 AND A4.2
2. GATEWAY DRIVE FACING FAÇADE
 - * BALCONIES OR HABITABLE PROJECTIONS WITH A MINIMUM DEPTH OF TWO FEET FOR A MINIMUM OF 20 PERCENT LENGTH OF THE STREET FACING FAÇADE. PER BUILDING STANDARDS B.4.1b WE ARE COMPLIANT WITH THIS STANDARD ON GATEWAY DRIVE FAÇADE WHERE THE PROJECTIONS ARE AT 37.6% OF THE TOTAL LENGTH OF THE FAÇADE WHICH IS MORE THAN REQUIRED 20%. SEE 1/A1.3
 - * THE USE OF AT LEAST TWO DIFFERENT MATERIALS, EACH COVERING A MINIMUM OF 20 PERCENT OF THE STREET FACING FAÇADE. PER BUILDING STANDARDS B.4.1d WE HAVE USED STUCCO AND STONE AS THE TWO MATERIALS FOR OUR PROJECT . THE STONE COVERS 38.9% OF THE STREET FAÇADE LENGTH . SEE 2/A4.1
 - * THE UPPER FLOOR SHALL IMPLEMENT A FAÇADE HEIGHT THAT IS MIN. 2'-0" GREATER THAN THE FAÇADE HEIGHT OF THE FLOOR BELOW PER BUILDING STANDARDS B.4.1e THE UPPER FLOOR HEIGHT IS 12'-0" WHICH IS 2'-0" GREATER THAN THE FLOOR BELOW AT 10'-0". THE FAÇADE HEIGHT IS SELF-EVIDENT WITH TALLER WINDOWS PROVIDED , SEE ALL ELEVATION SHEETS A4.1 AND A4.2
3. CARRINGTON AVENUE FACING FAÇADE
 - * BALCONIES OR HABITABLE PROJECTIONS WITH A MINIMUM DEPTH OF TWO FEET FOR A MINIMUM OF 20 PERCENT LENGTH OF THE STREET FACING FAÇADE PER BUILDING STANDARDS B.4.1b WE ARE COMPLIANT WITH THIS STANDARD ON CARRINGTON AVENUE FAÇADE WHERE THE PROJECTIONS ARE AT 71.8% AND 26.4% OF THE RESPECTIVE TOTAL LENGTH OF THE FAÇADE WHICH IS MORE THAN REQUIRED 20%. SEE 2/A1.3
 - * THE USE OF AT LEAST TWO DIFFERENT MATERIALS, EACH COVERING A MINIMUM OF 20 PERCENT OF THE STREET FACING FAÇADE. PER BUILDING STANDARDS B.4.1d WE HAVE USED STUCCO AND STONE AS THE TWO MATERIALS FOR OUR PROJECT . THE STONE COVERS 34.4% AND 60.5% OF THE STREET FAÇADE LENGTH , SEE 1 AND 3/A4.1
 - * THE UPPER FLOOR SHALL IMPLEMENT A FAÇADE HEIGHT THAT IS MIN. 2'-0" GREATER THAN THE FAÇADE HEIGHT OF THE FLOOR BELOW PER BUILDING STANDARDS B.4.1e THE UPPER FLOOR HEIGHT IS 12'-0" WHICH IS 2'-0" GREATER THAN THE FLOOR BELOW AT 10'-0". THE FAÇADE HEIGHT IS SELF-EVIDENT WITH TALLER WINDOWS PROVIDED , SEE ALL ELEVATION SHEETS A4.1 AND A4.2

FLOOR PLAN NOTES

FLOOR PLAN KEYNOTES

- ① CEILING HEIGHT IS 11' - 0", WHICH MEETS THE MINIMUM 7'-0" REQUIREMENT AS PER THE OBJECTIVE DESIGN STANDARD. A.3.4a.
- ② AS PER OBJECTIVE DESIGN STANDARD, A.3.4c, LONG TERM CYCLE PARKING SPACES SHALL BE SERVED BY AN AISLE WITH A MINIMUM WIDTH OF SIX FEET. REFER TO DIMENSION HIGHLIGHTED IN PURPLE.
- ③ AS PER OBJECTIVE DESIGN STANDARD, A.3.2, ONE LONG TERM CYCLE SPACE IS REQUIRED PER DWELLING UNIT.
 - TOTAL NUMBER OF DWELLING UNITS = 175
 - TOTAL NUMBER OF LONG TERM CYCLE PARKING PROVIDED + GARAGE III = 113 (46 + 68)
GARAGE II = 114 (46 + 68)

1/16" = 1'-0"

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checked By: _____ Checker _____

Meet Title:

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For more information, contact the Office of the Vice President for Research and the Office of the Vice President for Student Affairs.

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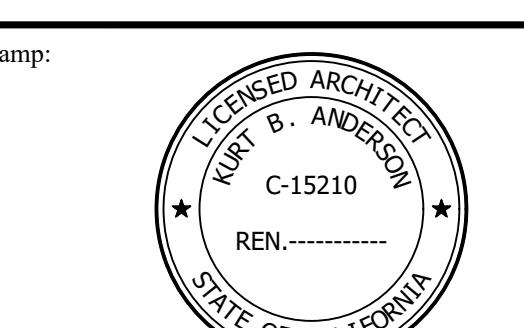
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Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 AND 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032



City Revisions

No.	Description	Date
0	SB330 SUBMITTAL	11/03/23
0	PLANNING SUBMITTAL	05/09/24
1		
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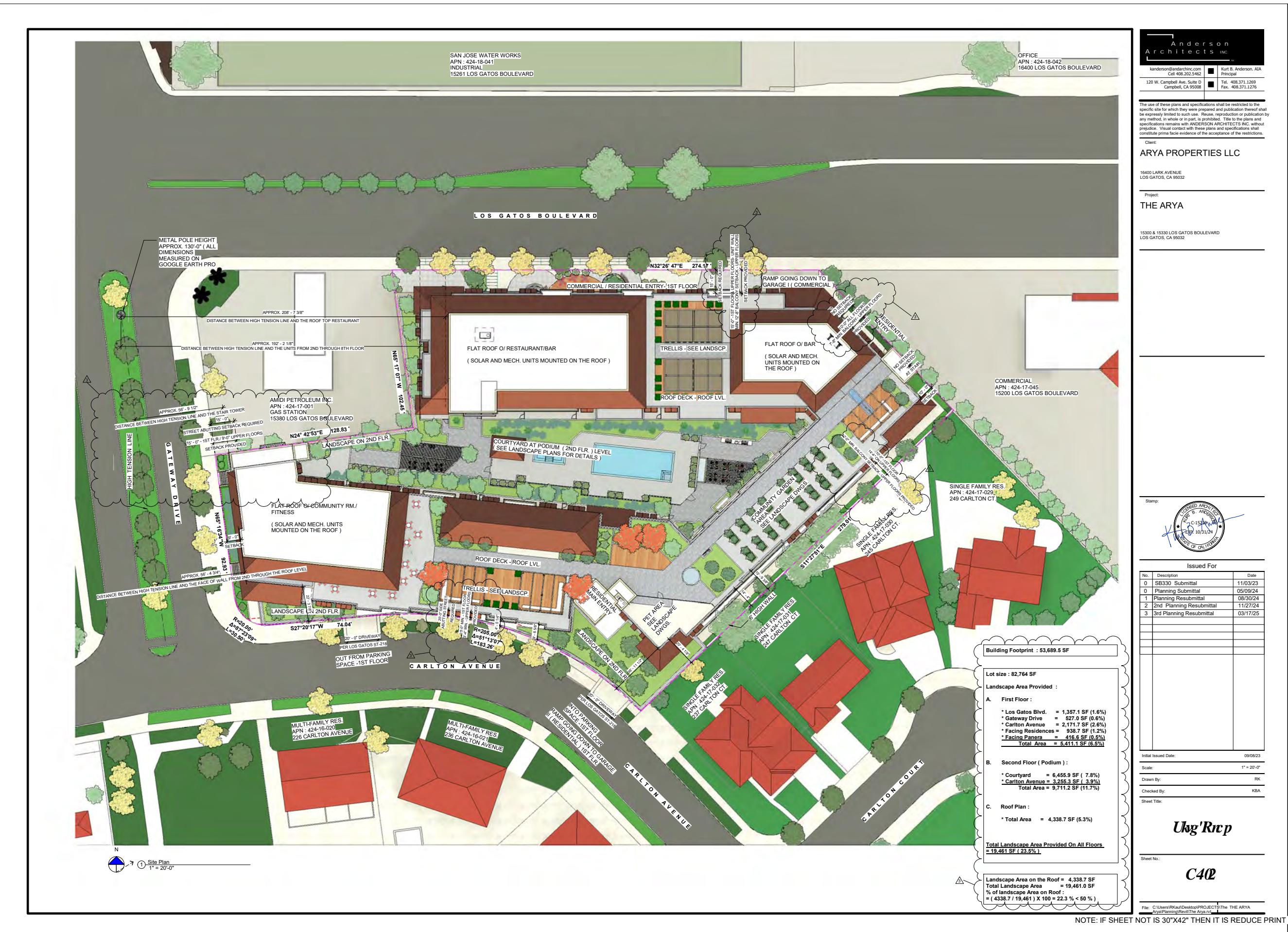
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Checked By: KBA
Sheet Title: *Hktg'Cgtkn Ceeguu*

Sheet No.:

C408



N
① Fire Aerial Access Plan
1" = 20'-0"





Anderson
Architects INC

kanderson@andarchinc.com Kurt B. Anderson, AIA
Cell 408.202.5462 Principal
120 W. Campbell Ave, Suite D Tel. 408.371.1269
Campbell, CA 95008 Fax. 408.371.1276

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15400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032



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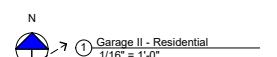
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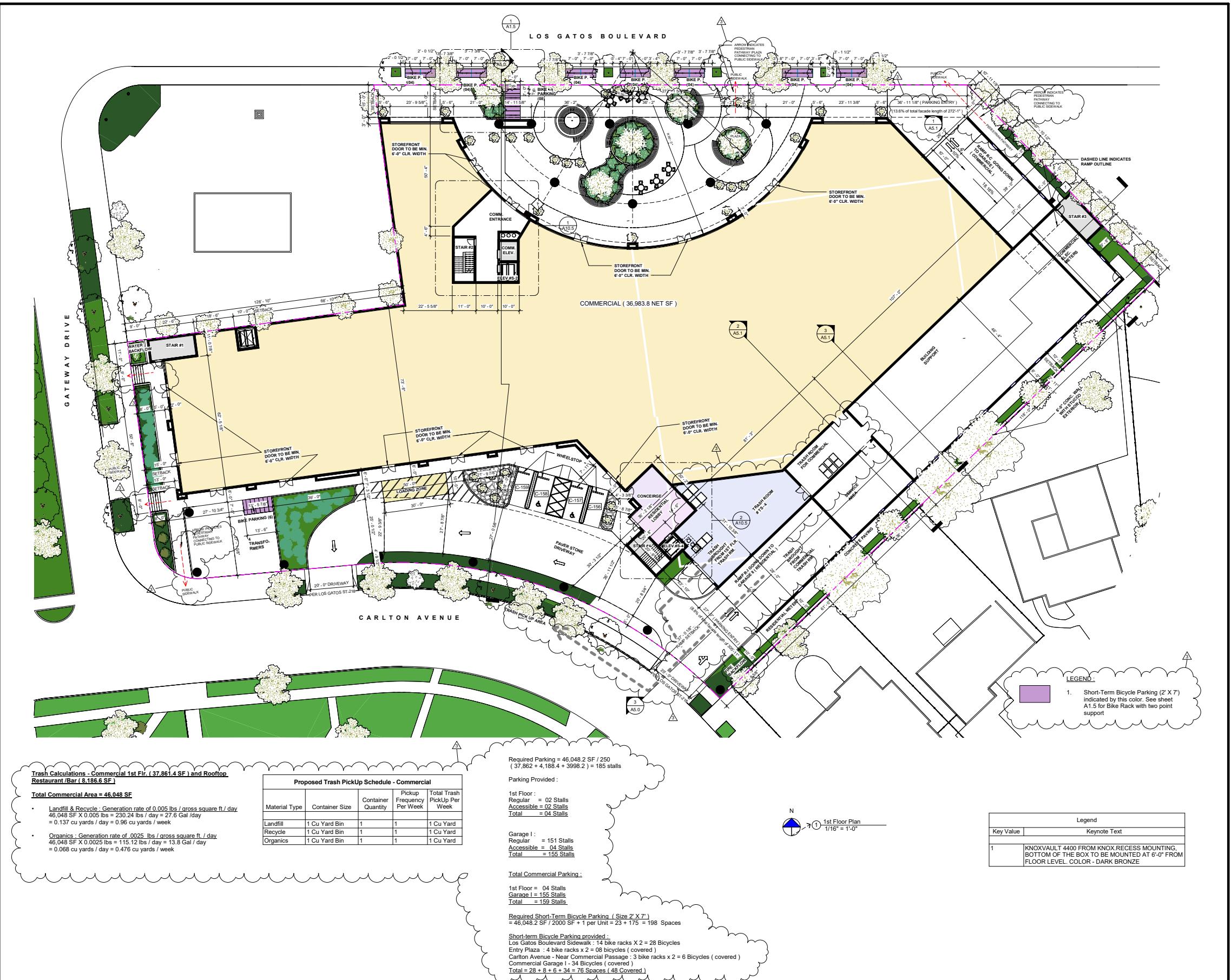
GROSS FLOOR AREA :



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rchitects INC
kanderson@andarchinc.com
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RYA PROPERTIES LLC

10 LARK AVENUE
PACIFIC GATOS, CA 95032

object:

10 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032

Issued For	
Description	Date
SB330 Submittal	11/03/23
Planning Submittal	05/09/24
Planning Resubmittal	08/30/24
2nd Planning Resubmittal	11/27/24
3rd Planning Resubmittal	03/17/25

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Issued Date: 11/03/23

1/16 = 1-0

Wn By: KK

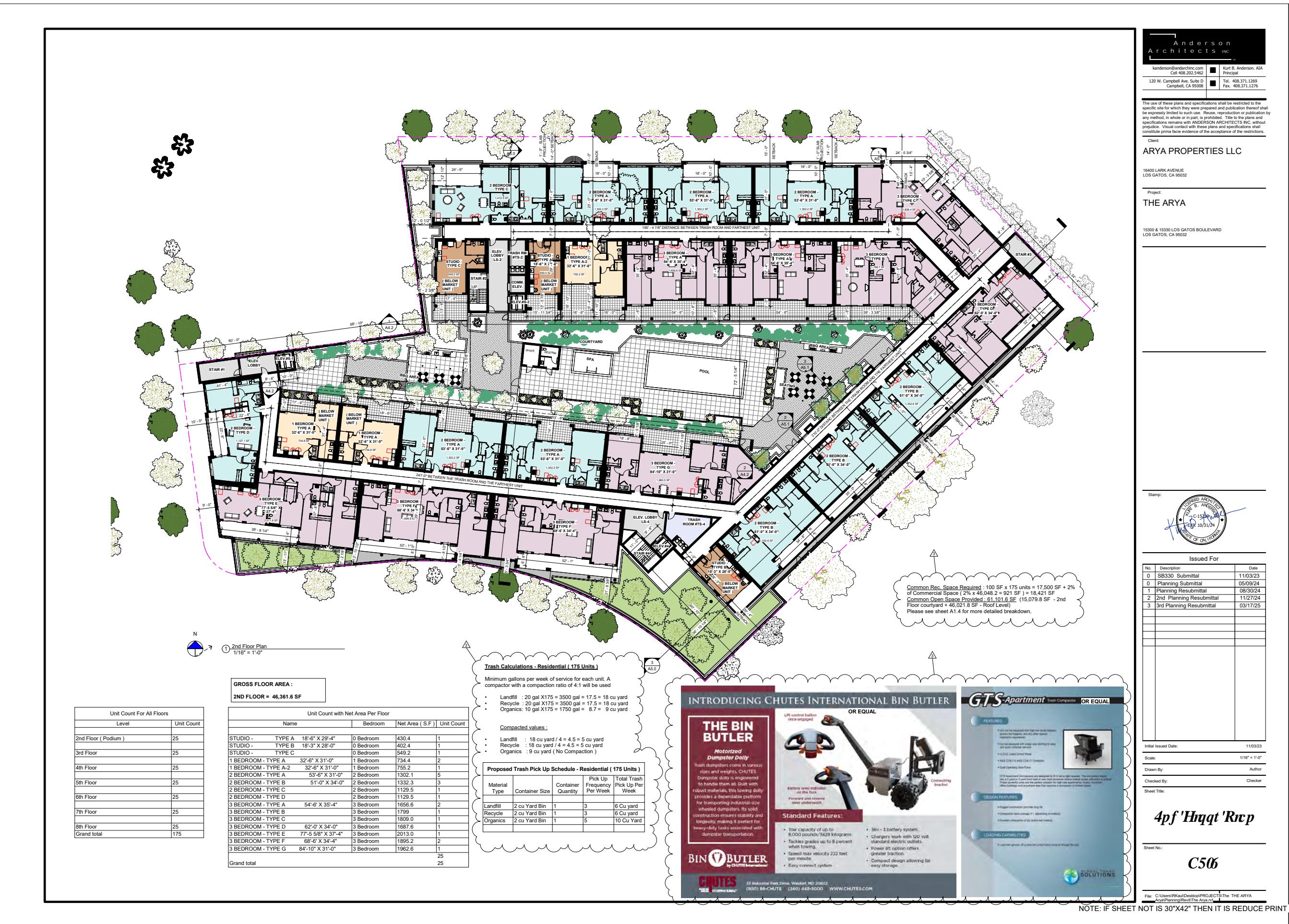
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Unit Count with Net Area Per Floor				
	Name	Bedroom	Net Area (S.F.)	Unit Count
STUDIO -	TYPE A	18'-6" X 29'-4"	0 Bedroom	430.4
STUDIO -	TYPE B	18'-3" X 28'-0"	0 Bedroom	402.4
STUDIO -	TYPE C		0 Bedroom	549.2
1 BEDROOM -	TYPE A	32'-6" X 31'-0"	1 Bedroom	734.4
1 BEDROOM -	TYPE A-2	32'-6" X 31'-0"	1 Bedroom	755.2
2 BEDROOM -	TYPE A	53'-6" X 31'-0"	2 Bedroom	1302.1
2 BEDROOM -	TYPE B	51'-0" X 34'-0"	2 Bedroom	1332.3
2 BEDROOM -	TYPE C		2 Bedroom	1129.5
2 BEDROOM -	TYPE D		2 Bedroom	1129.5
3 BEDROOM -	TYPE A	54'-6" X 35'-4"	3 Bedroom	1656.6
3 BEDROOM -	TYPE B		3 Bedroom	1799
3 BEDROOM -	TYPE C		3 Bedroom	1809.0
3 BEDROOM -	TYPE D	62'-0" X 34'-0"	3 Bedroom	1687.6
3 BEDROOM -	TYPE E	77'-5 5/8" X 37'-4"	3 Bedroom	2013.0
3 BEDROOM -	TYPE F	68'-6" X 34'-4"	3 Bedroom	1895.2
3 BEDROOM -	TYPE G	84'-10" X 31'-0"	3 Bedroom	1962.6
Grand total				25
				25

Unit Count For All Floors	
Level	Unit Count
2nd Floor (Podium)	25
3rd Floor	25
4th Floor	25
5th Floor	25
6th Floor	25
7th Floor	25
8th Floor	25
Grand Total	175

GROSS FLOOR AREA

3RD FLOOR = 46,361
4TH FLOOR = 46,361
5TH FLOOR = 46,361
6TH FLOOR = 46,361
7TH FLOOR = 46,361
8TH FLOOR = 46,361

N
 → ① 3rd Floor (4th through 8th Sim.)
 $1/16'' = 1'-0''$

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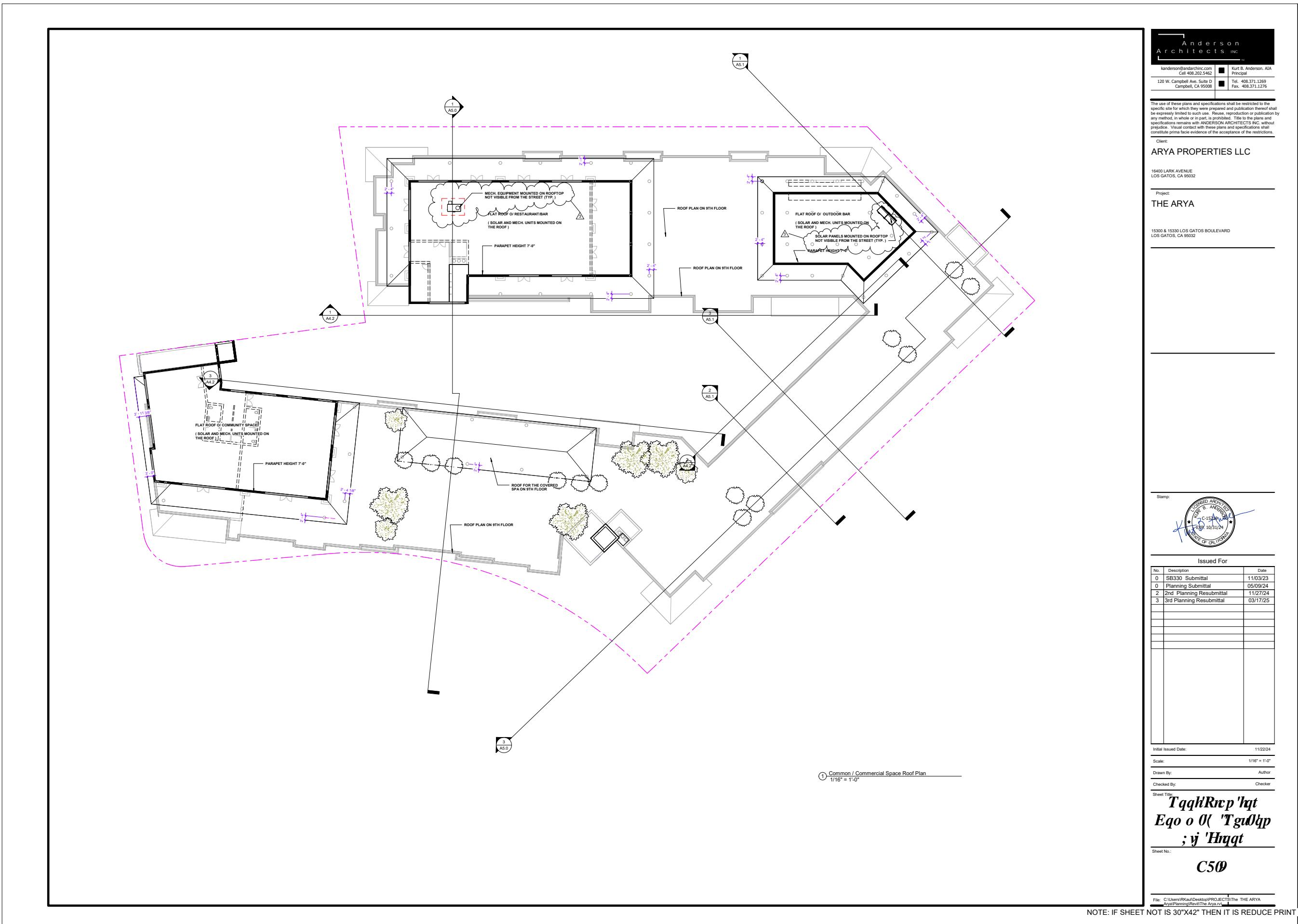
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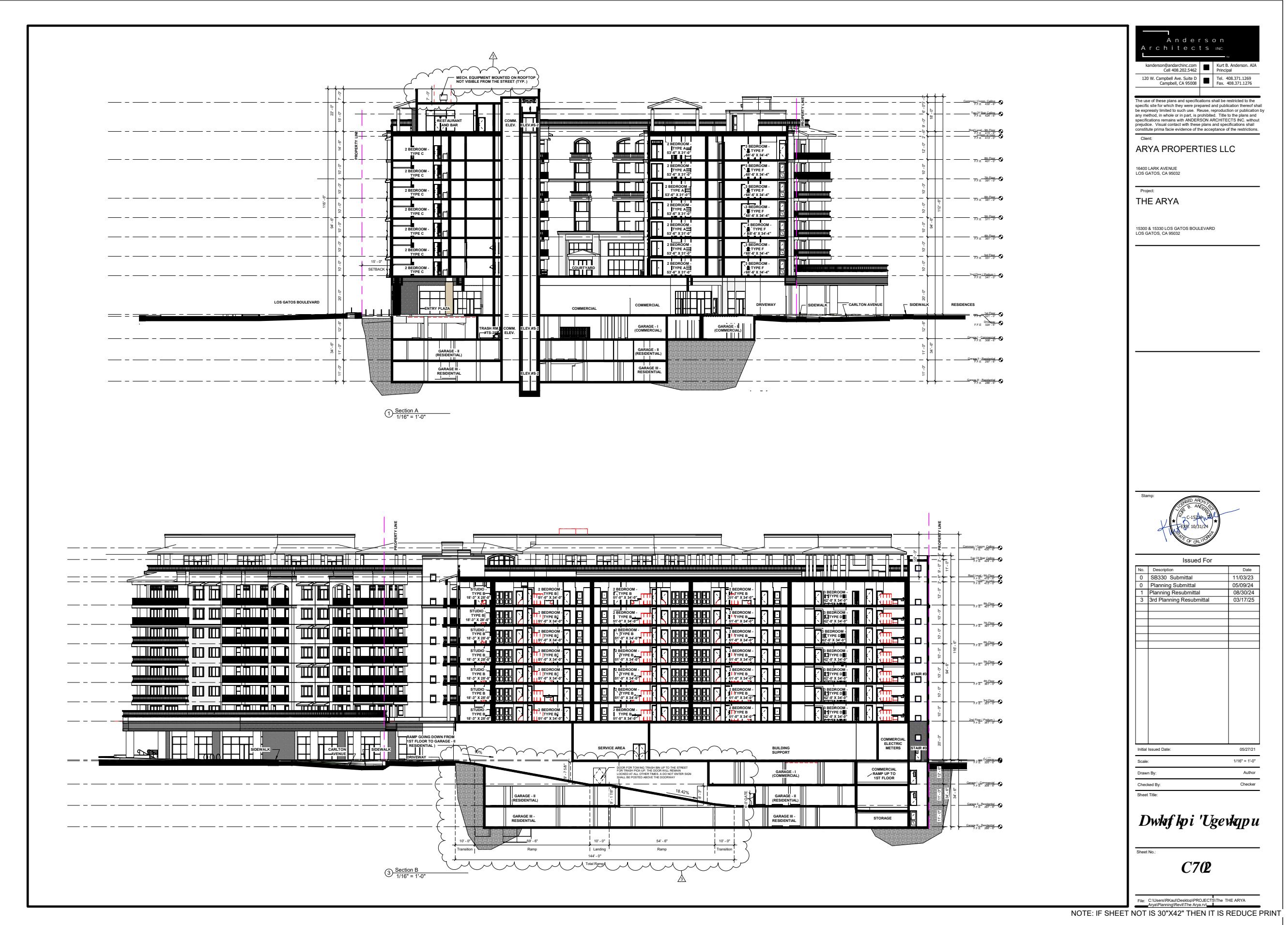
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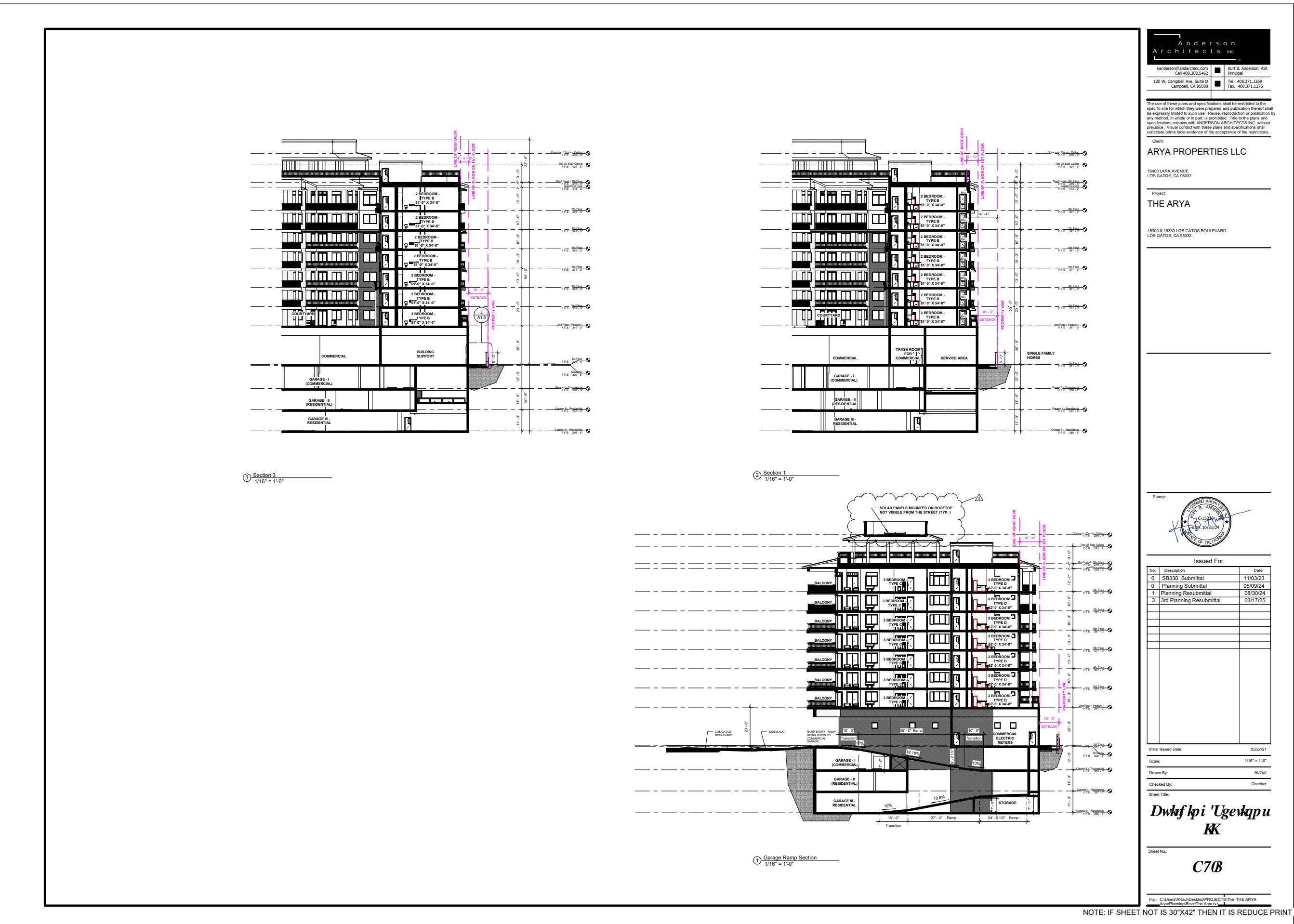
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④ Gateway Drive View



③ Los Gatos Blvd View



② View From The Residential Area



① Carlton Avenue View

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Campbell, CA 95008

Kurt B. Anderson, AIA
Principal
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Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032



Stamp:		
No.	Description	Date
0	SB330 Submittal	11/03/23
0	Planning Submittal	05/09/24
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Checked By: KBA

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Sheet No.:

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② Rooftop Restaurant / Bar Area



① Rooftop Community Room View



④ Courtyard view looking at Gateway Drive



③ Courtyard View



⑥ Entry Plaza



⑤ Commercial on Carlton Avenue

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Architects INC
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Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032



Stamp:

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0	Planning Submittal	05/09/24
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LEGEND

INDICATES PROPOSED BLDG. SHADOW

Existing Residential Houses

R1	2 Story Apartment, 19 ft. High
R2	2 Story Apartment, 19 ft. High
R3	1 Story House, 14 ft. High
R4	1 Story House, 14 ft. High
R5	1 Story House, 15 ft. High
R6	1 Story House, 15 ft. High
R7	1 Story House, 15 ft. High
R8	1 Story House, 15 ft. High
R9	1 Story House, 15 ft. High
R10	1 Story House, 15 ft. High
R11	2 Story House, 19 ft. High

**ANDERSON
ARCHITECTS**

kanderson@andarchinc.com	Kurt B. Anderson, AIA Principal
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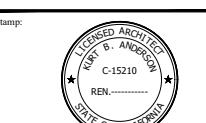
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City Revisions

No.	Description	Date
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0	PLANNING SUBMITTAL	05/09/24

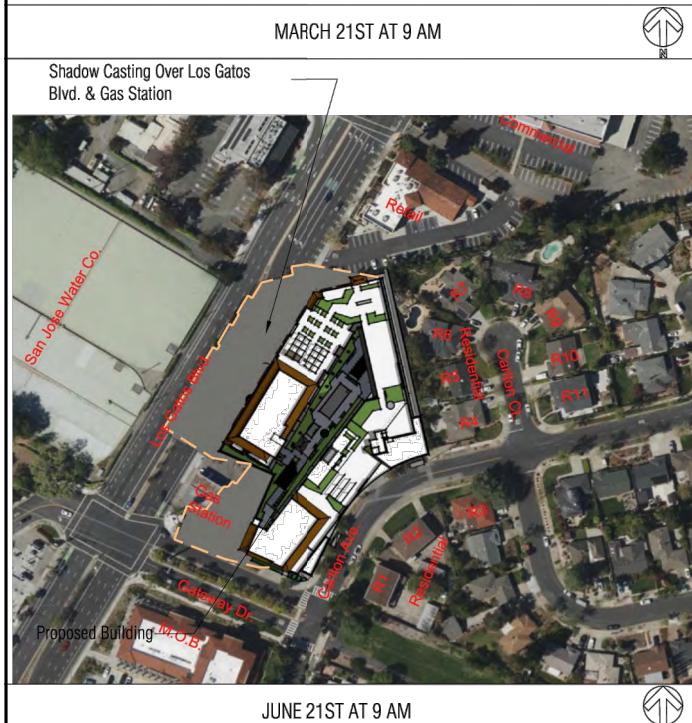
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GENERAL NOTES

1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.
2. ALL EXTERIOR MOUNTED LIGHTING SHALL BE CONTROLLED BY PHOTOCONTROL OR ASTRONOMIC TIME-CLOCK SCHEDULING PER CALIFORNIA ENERGY CODE (CEC) REQUIREMENTS 160.5(c)2. PROVIDE MOTION SENSING CONTROLS FOR LUMINAIRES OVER 40 WATTS MOUNTED LESS THAN 24' ABOVE GRADE AND WALL MOUNTED LUMINAIRES MORE THAN 24' ABOVE GRADE.
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4. ALL EXTERIOR LIGHTING SHALL BE DIMMABLE. PROVIDE LIGHTING CONTROLS FOR HIGH END TRIM TO DIM LIGHT FIXTURES TO 80% OUTPUT AT INITIAL INSTALLATION. FUTURE MAINTENANCE SHALL INCREASE OUTPUT POWER TO MAINTAIN INITIAL LIGHT LEVEL.
5. ALL EXTERIOR FIXTURES WILL COMPLY WITH THE TOWN REQUIREMENTS TO BE DOWNWARD DIRECTED AND MAINTAIN A MINIMUM 30 DEGREE SHIELDED ANGLE.

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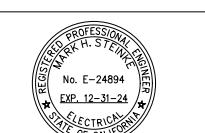
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Project:
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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

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Sheet Title:

Garage III Lighting Plan

Sheet No.:

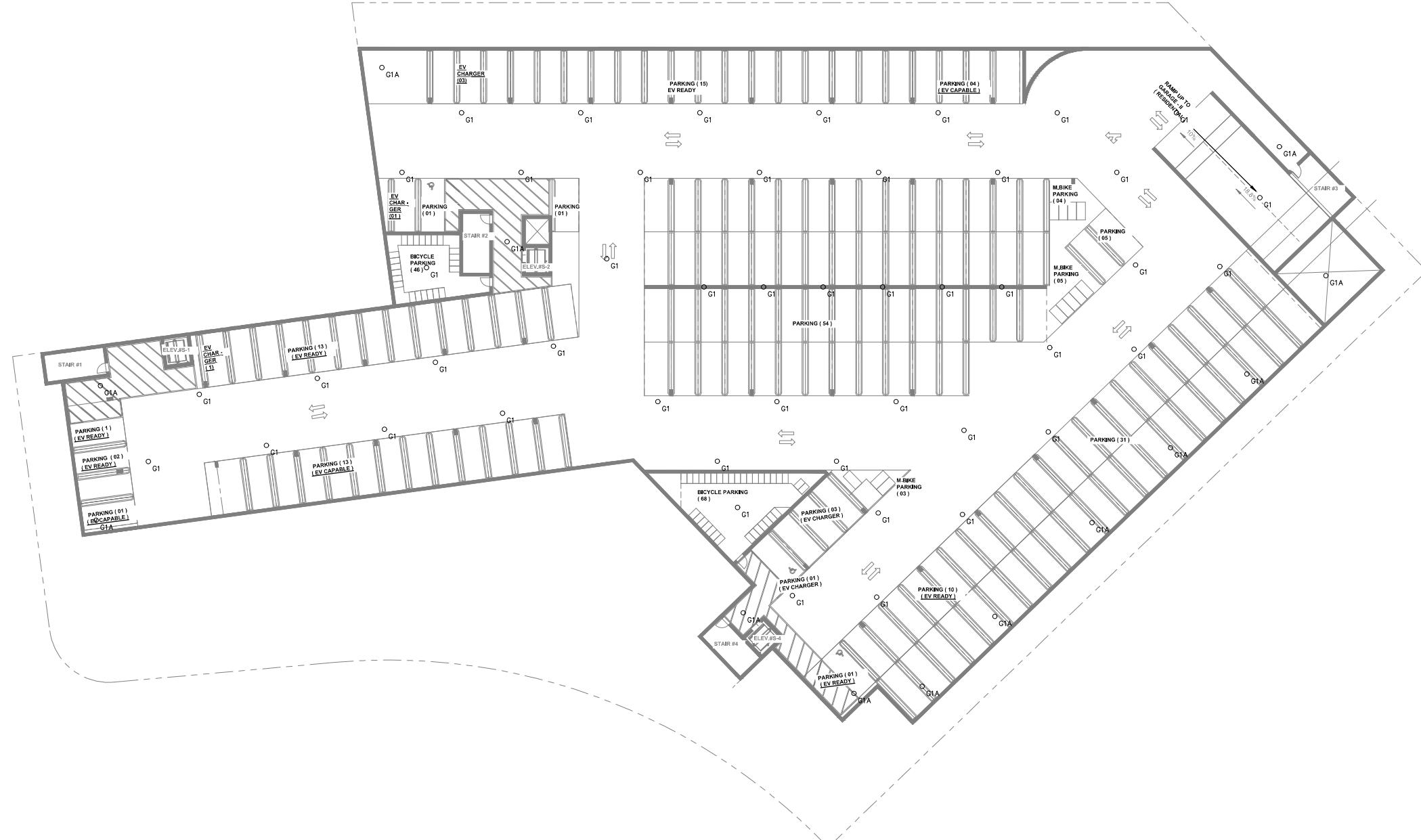
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GARAGE PLAN III – LIGHTING

SCALE: 1/16" = 1'-0"



NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT



Job: THE ARYA



GENERAL NOTES

1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.
2. ALL EXTERIOR MOUNTED LIGHTING SHALL BE CONTROLLED BY PHOTOCONTROL OR ASTRONOMIC TIME-CLOCK SCHEDULING PER CALIFORNIA ENERGY CODE (CEC) REQUIREMENTS 160.5(c).2. PROVIDE MOTION SENSING CONTROLS FOR LUMINAIRES OVER 40 WATTS MOUNTED LESS THAN 24' ABOVE GRADE AND WALL MOUNTED LUMINAIRES MORE THAN 24' ABOVE GRADE.
3. ALL EXTERIOR MOUNTED LUMINAIRES SHALL FOLLOW MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS FOUND IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 5.106.8.
4. ALL EXTERIOR LIGHTING SHALL BE DIMMABLE, PROVIDE LIGHTING CONTROLS FOR HIGH END TRIM TO DIM LIGHT FIXTURES TO 80% OUTPUT AT INITIAL INSTALLATION. FUTURE MAINTENANCE SHALL INCREASE OUTPUT POWER TO MAINTAIN INITIAL LIGHT LEVEL.
5. ALL EXTERIOR FIXTURES WILL COMPLY WITH THE TOWN REQUIREMENTS TO BE DOWNWARD DIRECTED AND MAINTAIN A MINIMUM 30 DEGREE SHIELDED ANGLE.

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Project:

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LOS GATOS, CA 95032



Stamp:

REGISTERED PROFESSIONAL ENGINEER
MARK H. STEINKE
No. E-24894
EXP. 12-31-24
ELECTRICAL STATE OF CALIFORNIA

11/26/24

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Received By: _____ CM _____

Journal of Aging Studies, 2008, 22, 401–410
doi:10.1016/j.jaging.2007.11.003

Meet Title:

Garage II

Carrie II

Garage II Lighting Plan

Page 10

E11

GARAGE PLAN II - LIGHTING

GARAGE | LA



Job: THE ARYA

GENERAL NOTES

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Project:
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15300 & 15330 LOS GATOS BOULEVARD
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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title:

Garage I Lighting Plan

Sheet No.:

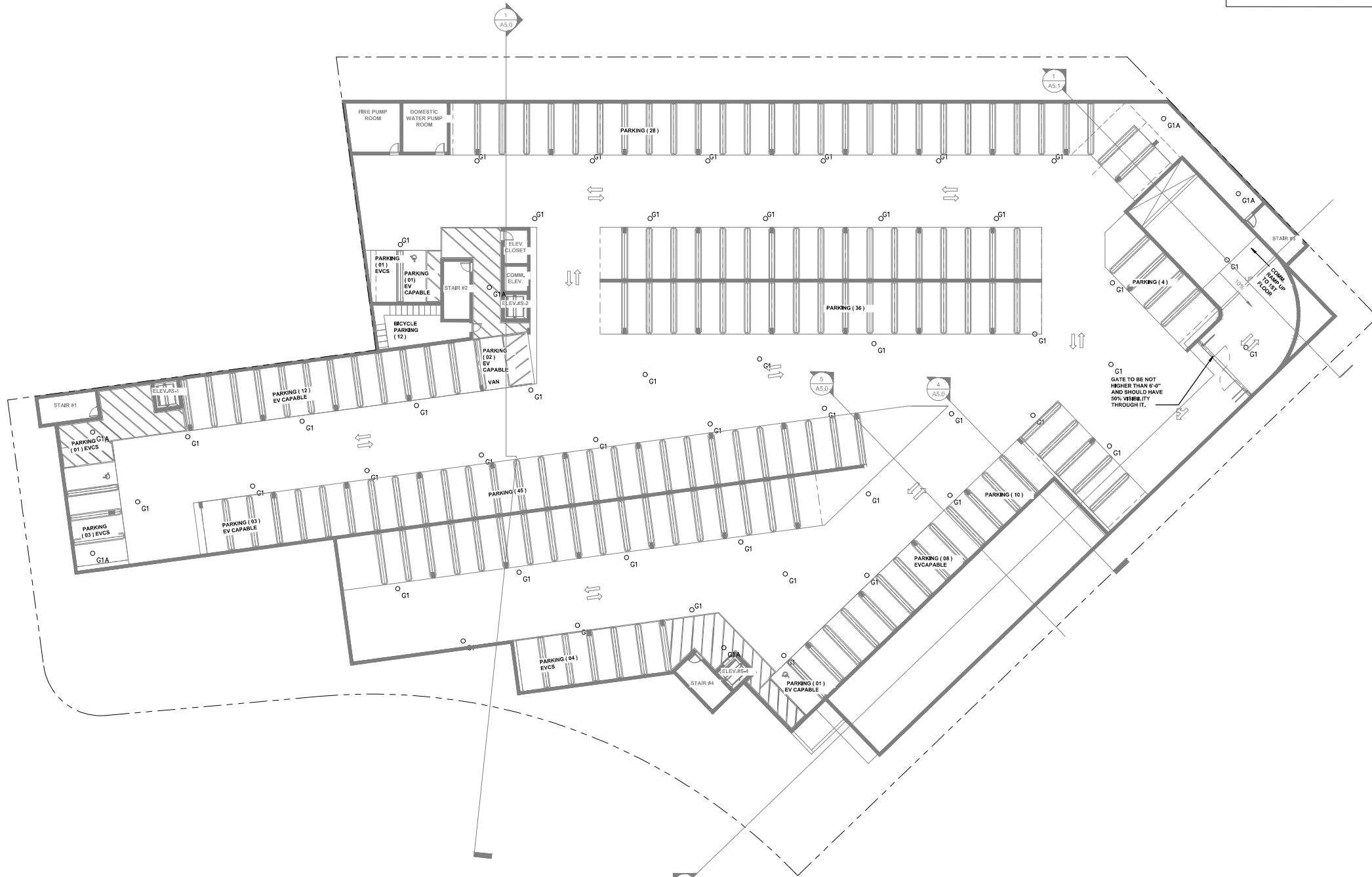
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GARAGE PLAN I – LIGHTING

SCALE: 1/16" = 1'-0"



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Job: THE ARYA

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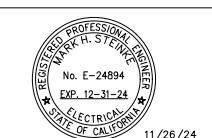
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Client:
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16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032



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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title:

1st Floor Lighting Plan

Sheet No.:

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1ST FLOOR - LIGHTING

SCALE: 1/16" = 1'-0"



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GENERAL NOTES

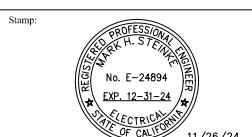
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5. ALL EXTERIOR FIXTURES WILL COMPLY WITH THE TOWN REQUIREMENTS TO BE DOWNWARD DIRECTED AND MAINTAIN A MINIMUM 30 DEGREE SHIELDED ANGLE.

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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title: **2nd Floor
(Podium)
Lighting Plan**

Sheet No.: **E1.4**

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GENERAL NOTES

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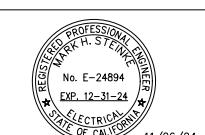
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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

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Sheet Title:

Roof Lighting Plan

Sheet No.:

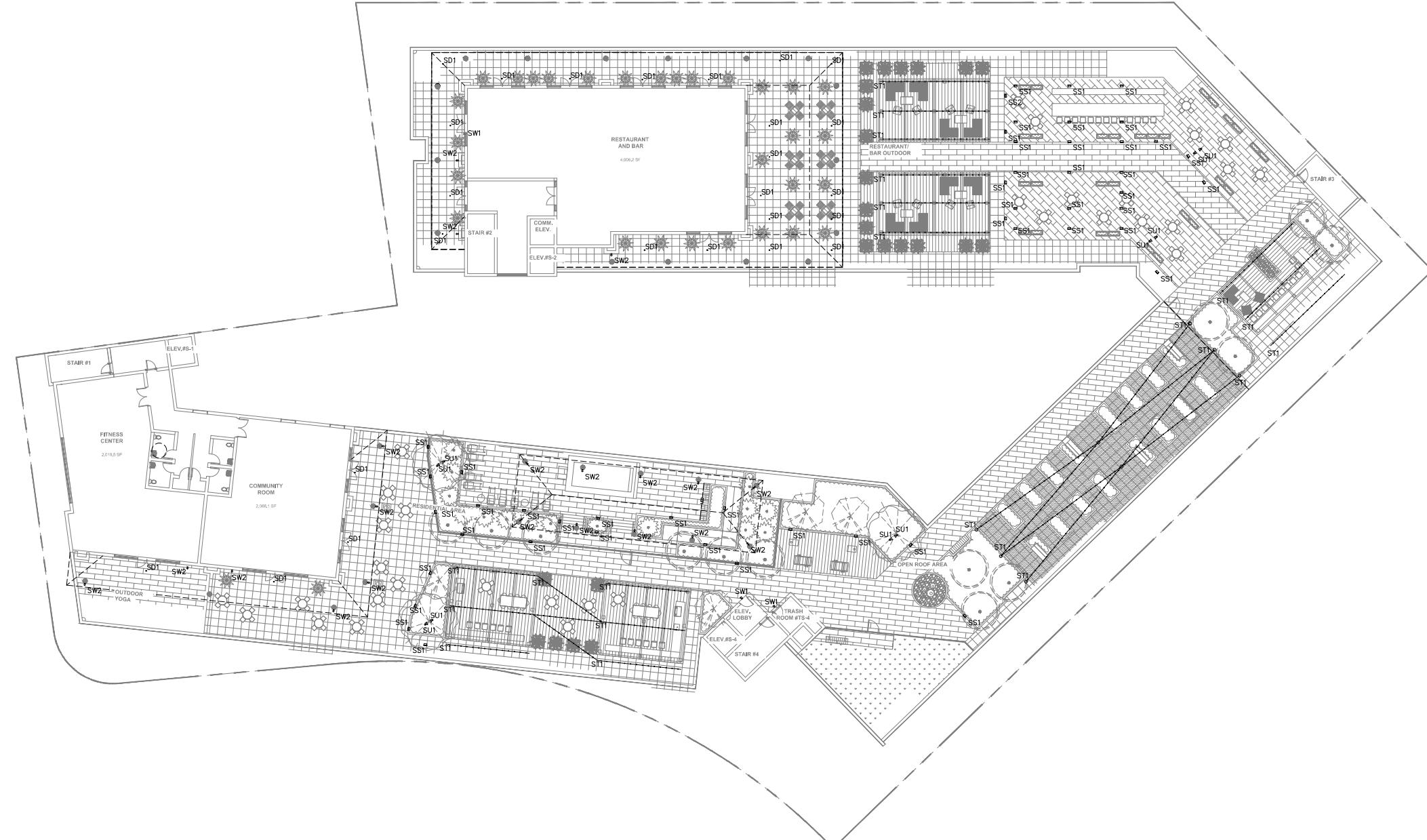
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ROOF - LIGHTING

SCALE: 1/16" = 1'-0"



NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT



Job: THE ARYA

PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
4. LIGHT TRESPASS CALCULATIONS ARE FOR LIGHTING WHICH TRAVELS PAST PROPERTY LINE.

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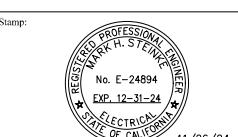
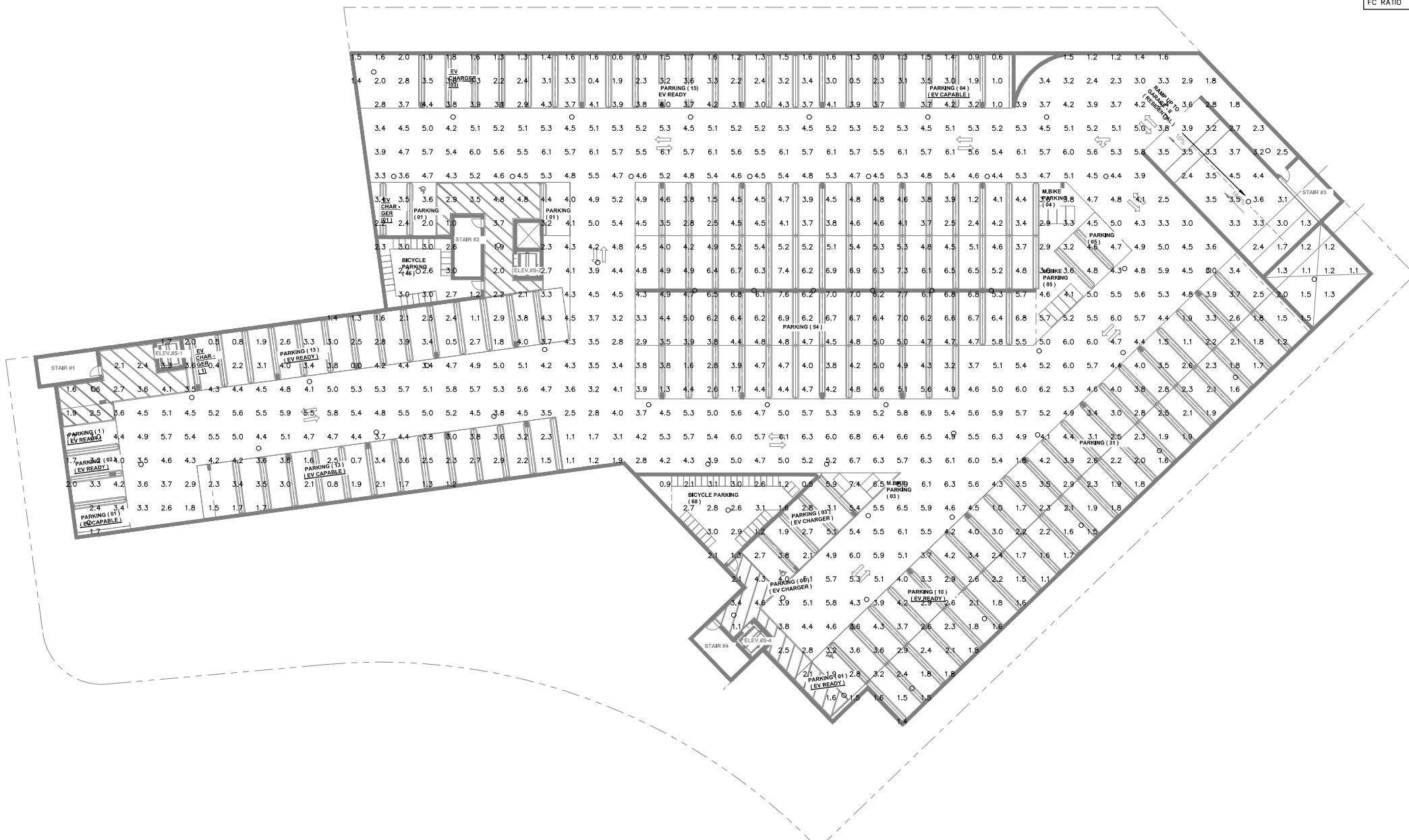
Project:
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LOS GATOS, CA 95032



Garage Level 3 Photometric Schedule

AVERAGE FOOT-CANDLES	3.83
MAXIMUM FOOT-CANDLES	7.7
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	7.66 / 0.00
AVERAGE TO MINIMUM FC RATIO	3.83 / 0.00



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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title:

Garage III Lighting Plan

Sheet No.:

E2.0

GARAGE PLAN III — PHOTOMETRIC
SCALE: 1/16" = 1'-0"

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PHOTOMETRIC NOTES

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LOS GATOS, CA 95032

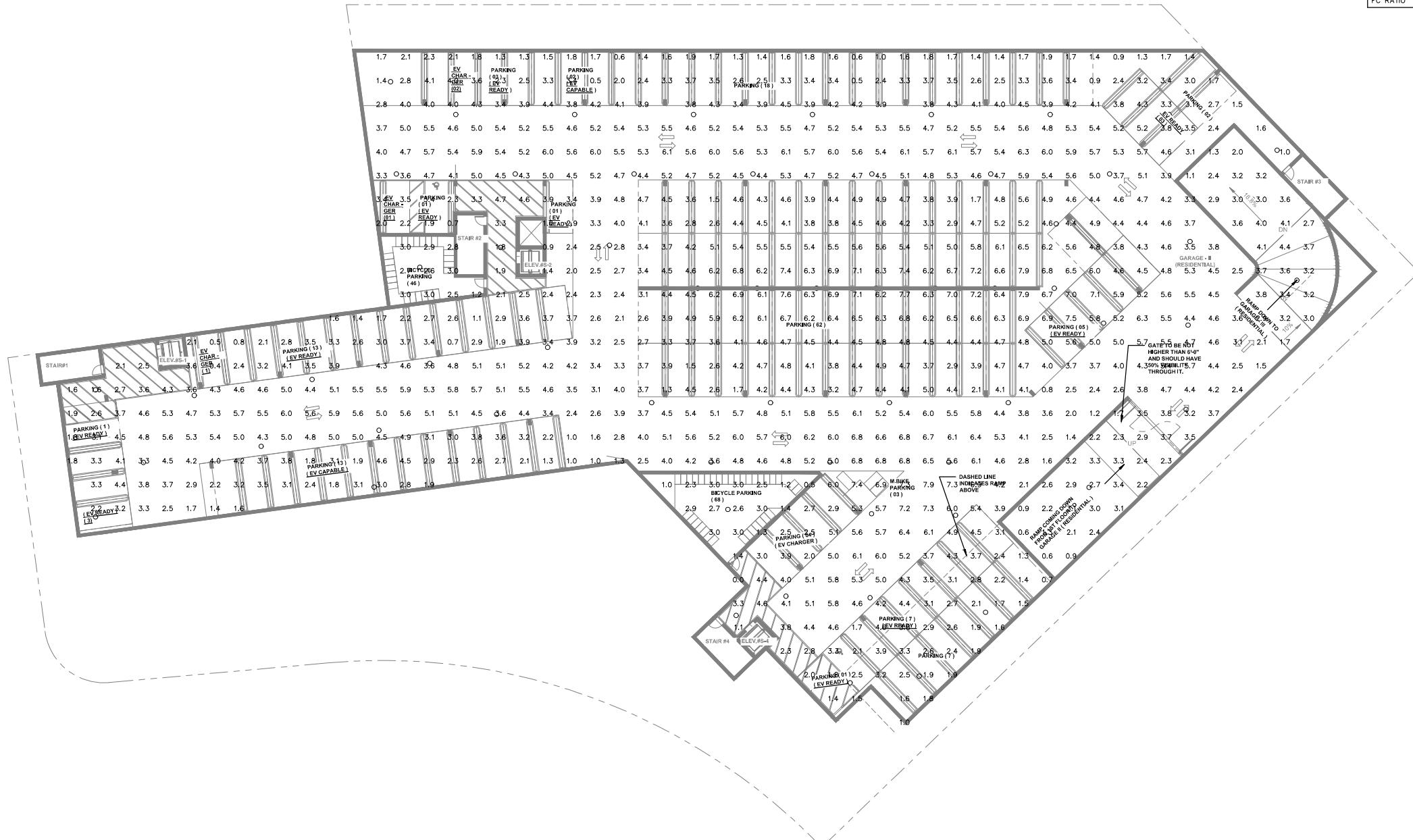
Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032

ROBISON
ENGINEERING, INC
19401 40TH AVE W, SUITE 302
LYNNWOOD, WA 98036
206.364.3433 TEL
RE PROJECT NO. 692030
CONTACT: JON ROBISON

Garage Level 2 Photometric Schedule

AVERAGE FOOT-CANDLES	3.93
MAXIMUM FOOT-CANDLES	7.9
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	7.92 / 0.00
AVERAGE TO MINIMUM FC RATIO	3.93 / 0.00



PHOTOMETRIC NOTES

- PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
- PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
- SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
- LIGHT TRESPASS CALCULATIONS ARE FOR LIGHTING WHICH TRAVELS PAST PROPERTY LINE.

Anderson Architects Inc
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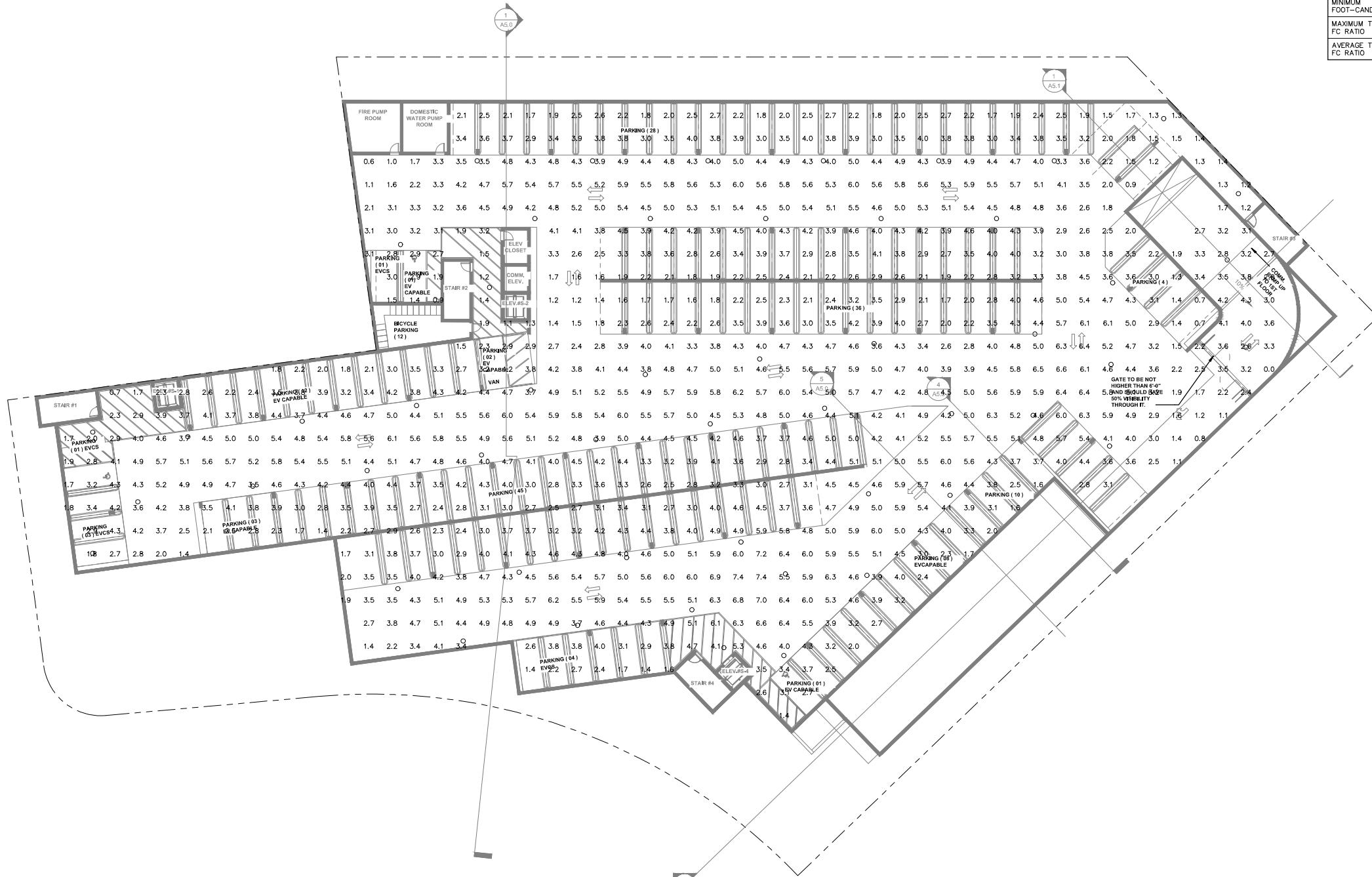
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Garage Level 1 Photometric Schedule

AVERAGE FOOT-CANDLES	3.80
MAXIMUM FOOT-CANDLES	7.4
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	7.43 / 0.00
AVERAGE TO MINIMUM FC RATIO	3.80 / 0.00



Garage I Photometric Plan

Sheet No.:

E2.2

GARAGE PLAN I – PHOTOMETRIC

SCALE: 1/16" = 1'-0"



NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT

Garage Entry II Photometric Schedule	
AVERAGE FOOT-CANDLES	8.51
MAXIMUM FOOT-CANDLES	12.2
MINIMUM FOOT-CANDLES	5.6
MAXIMUM TO MINIMUM FC RATIO	2.16
AVERAGE TO MINIMUM FC RATIO	1.51

Garage Entry 1 Photometric Schedule	
AVERAGE FOOT-CANDLES	8.21
MAXIMUM FOOT-CANDLES	11.4
MINIMUM FOOT-CANDLES	4.6
MAXIMUM TO MINIMUM FC RATIO	2.51
AVERAGE TO MINIMUM FC RATIO	1.80

Walkway Photometric Schedule	
AVERAGE FOOT-CANDLES	2.57
MAXIMUM FOOT-CANDLES	5.8
MINIMUM FOOT-CANDLES	0.9
MAXIMUM TO MINIMUM FC RATIO	6.15
AVERAGE TO MINIMUM FC RATIO	2.71

Drive Aisle Photometric Schedule	
AVERAGE FOOT-CANDLES	1.43
MAXIMUM FOOT-CANDLES	6.6
MINIMUM FOOT-CANDLES	0.7
MAXIMUM TO MINIMUM FC RATIO	8.92
AVERAGE TO MINIMUM FC RATIO	1.94

Commerical Plaza Photometric Schedule	
AVERAGE FOOT-CANDLES	1.81
MAXIMUM FOOT-CANDLES	7.3
MINIMUM FOOT-CANDLES	0.2
MAXIMUM TO MINIMUM FC RATIO	29.24
AVERAGE TO MINIMUM FC RATIO	9.14

Residential Light Trespass Photometric Schedule	
AVERAGE FOOT-CANDLES	0.20
MAXIMUM FOOT-CANDLES	0.4
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	9.14
AVERAGE TO MINIMUM FC RATIO	5.11

PHOTOMETRIC NOTES

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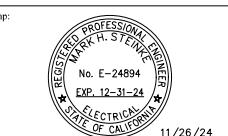
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15300 & 15330 LOS GATOS BOULEVARD
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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title: 1st Floor Photometric Plan

Sheet No.:

Job: THE ARYA

NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT

E2.3

1ST FLOOR – PHOTOMETRIC

SCALE: 1/16" = 1'-0"



PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
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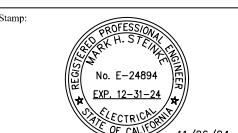


Podium Photometric Schedule

AVERAGE FOOT-CANDLES	3.02
MAXIMUM FOOT-CANDLES	16.9
MINIMUM FOOT-CANDLES	0.6
MAXIMUM TO MINIMUM FC RATIO	26.28
AVERAGE TO MINIMUM FC RATIO	4.68

Pool Photometric Schedule

AVERAGE FOOT-CANDLES	3.85
MAXIMUM FOOT-CANDLES	19.1
MINIMUM FOOT-CANDLES	1.4
MAXIMUM TO MINIMUM FC RATIO	13.28
AVERAGE TO MINIMUM FC RATIO	2.68



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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title: **2nd Floor
(Podium)
Photometric Plan**

Sheet No.: **E2.4**

Job: THE ARYA

2ND FLOOR (PODUM) - PHOTOMETRIC



SCALE: 1/16" = 1'-0"

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PHOTOMETRIC NOTES

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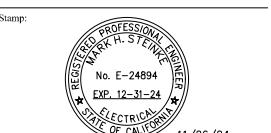


Podium Photometric Schedule

AVERAGE FOOT-CANDLES	3.02
MAXIMUM FOOT-CANDLES	16.9
MINIMUM FOOT-CANDLES	0.6
MAXIMUM TO MINIMUM FC RATIO	26.28
AVERAGE TO MINIMUM FC RATIO	4.68

Pool Photometric Schedule

AVERAGE FOOT-CANDLES	3.85
MAXIMUM FOOT-CANDLES	19.1
MINIMUM FOOT-CANDLES	1.4
MAXIMUM TO MINIMUM FC RATIO	13.28
AVERAGE TO MINIMUM FC RATIO	2.68



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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title: **Roof Photometric Plan**

Sheet No.:

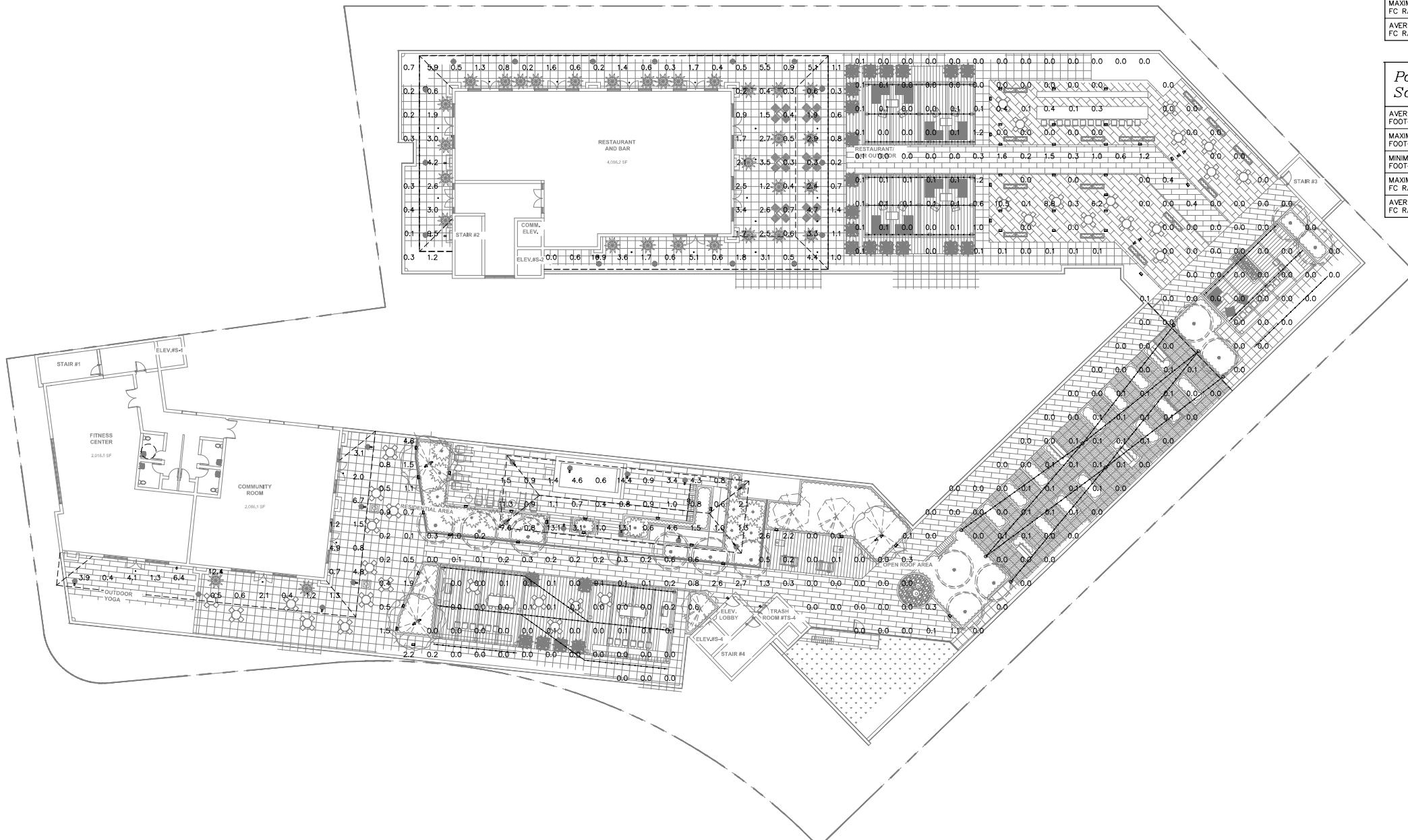
E2.6

ROOF PLAN – PHOTOMETRIC

SCALE: 1/16" = 1'-0"



NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT



Job: THE ARYA

GENERAL LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	VOLTAGE	TYPE	CRI / CCT	LAMPING	WATTAGE
G1	○	SURFACE	PARKING GARAGE - INTEGRAL MOTION SENSING	SIGNIFY - GARDCO: SVPG A03 840 5RD [MOUNTING] UNV BLBT L3	MULTIPLE	BI-LEVEL MOTION SENSOR	80 / 4000K	(1) 21W LED	21
G1A	○	SURFACE	PARKING GARAGE - INTEGRAL MOTION SENSING	SIGNIFY - GARDCO: SVPG A01 840 5RD [MOUNTING] UNV BLBT L3	MULTIPLE	BI-LEVEL MOTION SENSOR	80 / 4000K	(1) 21W LED	21
G2	○	SURFACE	PARKING GARAGE - INTEGRAL MOTION SENSING	SIGNIFY - GARDCO: SVPG A01 840 5RD [MOUNTING] UNV BLBT L3	MULTIPLE	BI-LEVEL MOTION SENSOR	80 / 4000K	(1) 21W LED	21

NOTES:
1. CONTRACTOR TO FURNISH AND INSTALL ALL FIXTURES.
2. LUMINAIRE SCHEDULE IS BOD ONLY. CONTRACTOR TO SUBMIT FIXTURE MODEL OR EQUIVALENT. CONTRACTOR TO COORDINATE FIXTURE FINISHES WITH ARCHITECT/OWNER.
3. FIXTURE CATALOG NUMBERS DO NOT NECESSARILY DENOTE SPECIFIC MOUNTING ACCESSORIES. CONTRACTOR TO PROVIDE ALL NECESSARY ACCESSORIES TO SUCCESSFULLY COMPLETE THE INSTALLATION.

EXTERIOR LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	VOLTAGE	TYPE	CRI / CCT	LAMPING	WATTAGE
SB1	♦	' POLE	BOLLARD	LANDSCAPE FORMS: AJ100 T5 40F	MULTIPLE	TBD DIMMING	TBD / 3000K	(1) 10.9W LED	10.9
SD1	.	RECESSED	CANOPY LIGHT	DMF: MD 07 9 30 FL O / M4TRS [FINISH]	MULTIPLE	0-10V DIMMING	90 / 3000K	(1) 9.5W LED	9.5
SP2	~o	16' POLE	POLE LIGHT	NLS LIGHTING: ORX 2 T4 35 30KB UNV ASA FSP20	MULTIPLE	TBD DIMMING	TBD / 3000K	(1) 26W LED	26
SS1	§	RECESSED	WALL LIGHT - BO U4 G2	BEGA: B33159 K3	MULTIPLE	0-10V DIMMING	80 / 3000K	(1) 24W LED	24
ST1	.	STRING	STRING LIGHT - BO UU GO WITH CANOPY	TIVOLI: LSL2 B 24 S 27 F 12 / SHADE HT BK BK 8	12	0-10V DIMMING	NA / 2700K	(1) 0.23W LED	0.23
SU1	¤	IN GRADE	LANDSCAPE - TREE UPLIGHT - PROVIDE ELV DIMMABLE MAGNETIC TRANSFORMER 120V INPUT / 12V OUTPUT	HK LIGHTING: ZX11 OR1 [STYLE HOOD FINISH] 023V 07W 30 M LVR [MOUNTING]	12	0-10V DIMMING	90 / 3000K	(1) 7W LED	7
SW1	*	SURFACE	WALL SCONCE - BO UU GO	LITHONIA: WDGE1 LED PO 30K 80 VW MVOLT [MOUNTING] DMG	MULTIPLE	0-10V DIMMING	80 / 3000K	(1) 7W LED	7
SW2	*	SURFACE	WALL SCONCE	DMF: DCA WM W M D 07 SP 0 NS 30 [FINISH] O 00	MULTIPLE	0-10V DIMMING	90 / 3000K	(1) 9.5W LED	9.5

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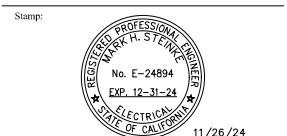
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Project:

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Initial Issued Date: 08/30/24

Scale: 1/16" - 1'40"

Drawn By: CM

Checked By: AJS

Sheet Title:

**Luminaire
Schedules**

Sheet No.:

E3.0

NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT

Job: THE ARYA

Recessed wall luminaire - Unshielded

SS1 BEBA

Application
Recessed wall luminaire for unshielded light distribution for the illumination of rooms, houses, buildings, offices, stores and restaurants. Recessed installation fixture allows for effortless coordination into construction and easy maintenance.

Materials
Clear safety glass with white decorative coating
Metal housing and diffuser in anodized aluminum and 6063 T6 aluminum alloy
BECU, flexible G4, 6-layer insulation technology for increased thermal protection
Black steel screw clamps
Silicone push-fit technology to seal, thermal tested for increased adhesion
High temperature silicone
Mechanically cast aluminum alloy
Ceramic base
NRTL listed to North American Standards, suitable for wet locations
IP65 protection class
Wet locations
Medical

Operating voltage: 120-277VAC
Minimum ambient temperature: -20°C
LED module wattage: 20.8W
System wattage: 20.8W
Color rendering index: 0.97V (dimmable)
Color rendering index: Ra > 80
Lumen output: 1780 lm
LED service life (L80): 60000hrs

LED color temperature: 3000K
3200K
3500K
4000K
4500K
5000K
5500K
6000K
6500K
7000K
7500K
8000K
8500K
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Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032



WDGE1 LED
Architectural Wall Sconce
SW1

Specifications

Depth (DTP): 5.5"
Depth (Dap): 1.5"
Height: 6"
Width: 2"
Weight (Without options): 9 lbs

Ordering Information

Item	Color	Surface Mount	Surface Appliance	Depth	Height	Width	Weight	Options
WDGE1 LED	White	WD	WD	—	700	1200	2400	—
WDGE1 LED	Black	WB	WB	—	700	1200	2400	4,200
WDGE1 LED	Brushed Nickel	WN	WN	—	700	1200	2400	—
WDGE1 LED	Brushed Steel	WS	WS	—	700	1200	2400	—
WDGE1 LED	Brass	WB	WB	—	700	1200	2400	—

Dimensions

W: 2" D: 5.5" H: 6"

Introduction

The WDGE1 LED family is designed to meet specifiers every wall-mounted lighting need in a widely accepted shape that blends with any environment. The clean recessed face design comes in four sizes with lumen packages ranging from 1,200 to 24,000 lumens, providing true wide illumination.

WDGE1 delivers up to 2,000 lumens with a soft, recessed-faced light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency power backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE1 LED Family Overview

Item	Color	Surface Mount	Surface Appliance	Depth	Height	Width	Weight	Options
WDGE1 LED	White	WD	WD	—	700	1200	2400	—
WDGE1 LED	Black	WB	WB	—	700	1200	2400	4,200
WDGE1 LED	Brushed Nickel	WN	WN	—	700	1200	2400	—
WDGE1 LED	Brushed Steel	WS	WS	—	700	1200	2400	—
WDGE1 LED	Brass	WB	WB	—	700	1200	2400	—

Ordering Information

EXAMPLE: WDGE1 LED P 240K 80CRI VF MVOLT 3RM PE DD82D

Item	Color	Surface Mount	Surface Appliance	Depth	Height	Width	Weight	Options
WDGE1 LED	W	222	200K	WD	WB	WN	WS	VF MVOLT 3RM PE DD82D
WDGE1 LED	P	200	220K	WD	WB	WN	WS	—
WDGE1 LED	P	200	250K	WD	WB	WN	WS	—
WDGE1 LED	WB	400	400K	WD	WB	WN	WS	—
WDGE1 LED	WB	500	500K	WD	WB	WN	WS	—

Dimensions

W: 2" D: 5.5" H: 6"

ST1
12V | Litesphere™ 2.0

Project: _____ **Type:** _____

- The ST1's next evolution of Litesphere delivers a robust specification-grade strand with factory molded standard spacing for consistent spacing from fixture to fixture.
- Litesphere 2.0 design provides optional suspended mounting or a twist-off cap for surface applications
- 12V DC Low voltage system for long run
- IP67
- cULus
- 3 Year warranty

Dimensions

3.8" (H) x 2.5" (D)

M Series Cylinder
SW2

Project: _____ **Type:** _____

Product Code: _____ **Date:** _____

45° Wall Mount

- Integrated Drivers allow for down to 0.1% dimming options within the fixture.
- Customize your cylinder with over one million configurations, allowing for easy maintenance and on-site modifications.
- Wet location configurations available for exterior locations.
- Die-cast aluminum trims with no visible hardware for a sleek, symmetrical design.

CYLINDER

Mount: Wall Mount
Size: 7.25" (H) x 2.5" (D), 1000 lm (800K), 1200 lm (900K), 2000 lm (850K), 2500 lm (750K), 3000 lm (650K)
Diameter: 4"
Height: Medium (8"), Large (12")
Trim: Standard, Shoot, Decolette, Hyperbola
Finish: White, Black, Brushed Aluminum, Brass, Custom Color

EMERGENCY LIGHTING

Optional Remote Inverter or Emergency LED for the lighting up to 180 minutes in events of power failure.

LIGHT OUTPUT & DISTRIBUTION

Lumens (Powered): 720 lm (800K), 1000 lm (850K), 1200 lm (900K), 2000 lm (850K), 2500 lm (750K), 3000 lm (650K)
Color Quality: 95 CRI, 1500K-5000K
Color Temperature: 2700K, 3000K, 3500K
1900K, Warm Dim (3000K-1900K)
Tunable White (3000K-1800K)
Tunable White (3000K-2700K)
Beam Spread: Narrow (45°), Spot (25°), Hood (40°), Wide Hood (60°)
Lighting Type: General (30°-45°), Downlight, Upward, Adjustable

POWER & CONTROL

Input Voltage: 120V/277V
Dimming: 0-10V, 0-1000lm, 1% TIRAD, 0.1% TIRAD, 0.1% TIRAD, 0.1% TIRAD
Specialty Lens: Hensoll Lenses
Ratings: IP67 Location / IP67 Rated Configurations Available
IP67 Listed (White and Black Finish Only)
DarkSky Approved (Downlight with non-descendable trim only, CCT less than or equal to 8000K)
Warranty: 5-year limited warranty; 10,000 hours

SPECIFICATIONS

Materials

Aluminum materials are fine-machined and then powder coated for a robust, finish-grade finish. Stainless steel and brass models are provided with brushed surfaces.

Hood and Glass Shield

Welded and Non-welded Hood Styles, Set Screw or Threaded Angled, Short, or Long Glass Shields. (See page 4 for details.)

Light Engine

Innovative H1 LED light module operates like a lamp and can be easily swapped in the field. CRI 90 Standard. Available in CRI 80 or CRI 95 upon request. 2200K, 2400K, 2500K, 2700K, 3000K, 3500K, 4000K, Specialty 2300K, 2400K, 2500K, Amber, and RGB options available. Consult factory for specialty LED specification details.

Mounting

Mounts using 1/2" x 1" NPS male fitting compatible with all HK Lighting Group mounting devices. (See page 4 for details.)

Dimming

MLV or BLV Phase Control dimming.

Project Name: _____ **Fixture Type:** _____

ZXL11
(Includes former ZXL11 & ZXL11-NF models)

ACCENT & LANDSCAPE | ZXL11 Series | 1.85"
5 - 7W (450 - 675lm) | 12V | HK LED, RGB, Amber

FEATURES

- Compact & powerful round, directional 12V LED modern accent light for residential and commercial environments.
- 5W, 7W Integrated HK LED delivering 450 to 675 lumens, 2200-4000K CCT, including specialty Amber and RGB options.
- Wet Location Listed, IP67 Standard.
- Machined from solid aircraft-grade (6061-T6), corrosion-resistant aluminum, then anodized and powder coated to create a highly durable, marine-grade finish. Also available in solid brass or stainless steel.
- 240° vertical and 360° horizontal adjustment via locking swivel stem design.
- Modular components, field changeable LED optical beams, and lenses.
- Available with adjustable Angled, Long, and Short Glass Shields and ground, surface, and canopy mounting options.
- Every fixture tested and of line for water tightness and light quality.
- Ready-made eligible configurations ship in 2 to 4 weeks, complete with selected accessories installed.

SPECIFICATIONS

Materials

Aluminum materials are fine-machined and then powder coated for a robust, finish-grade finish. Stainless steel and brass models are provided with brushed surfaces.

Voltages

12V AC/DC. Requires remote step down transformer.

Wattage

5 or 7W HK LED delivers 450 to 675 lumens.

Options

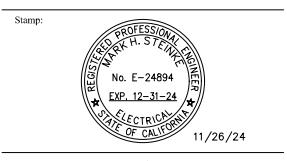
Narrow (20°), Medium (40°), Wide (60°) beam options available. Available up to 25 optics and lenses (beam, lens, reflector, optical lenses, dichroic color filters, etc.) Secured place with metal snap ring.

Mounting

Mounts using 1/2" x 1" NPS male fitting compatible with all HK Lighting Group mounting devices. (See page 4 for details.)

Dimming

MLV or BLV Phase Control dimming.



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Initial Issued Date: 08/30/24
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Drawn By: CM
Checked By: AJS
Sheet Title: Light Fixture Details
Sheet No.: E3.2
Job: THE ARYA

Light Fixture Details

NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT



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Client:

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1600 LARK AVENUE
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Project:

THE ARYA

15100 & 15130 LOS GATOS BOULEVARD
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0	SB330 Submittal	11/03/23
0	Planning Submittal	05/09/24
1	Planning Resubmittal	08/06/24
2	2nd Planning Resubmittal	11/27/24
3	3rd Planning Resubmittal	03/17/25

Initial Issued Date: 05/09/24

Scale: 1/6" = 1'-0"

Drawn By: AW Author

Checked By: MI. Checker

Sheet No.: **Conceptual
Landscape Plan -
Groundfloor**

File: Jb:

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Project:
THE ARYA

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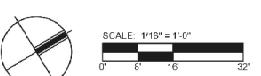
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Checked By: MI. Checker

Sheet Title: **Conceptual
Landscape Plan -
Podium**

Sheet No.: **L-1.2**

File: Jb:





No.	Description	Date
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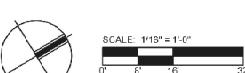
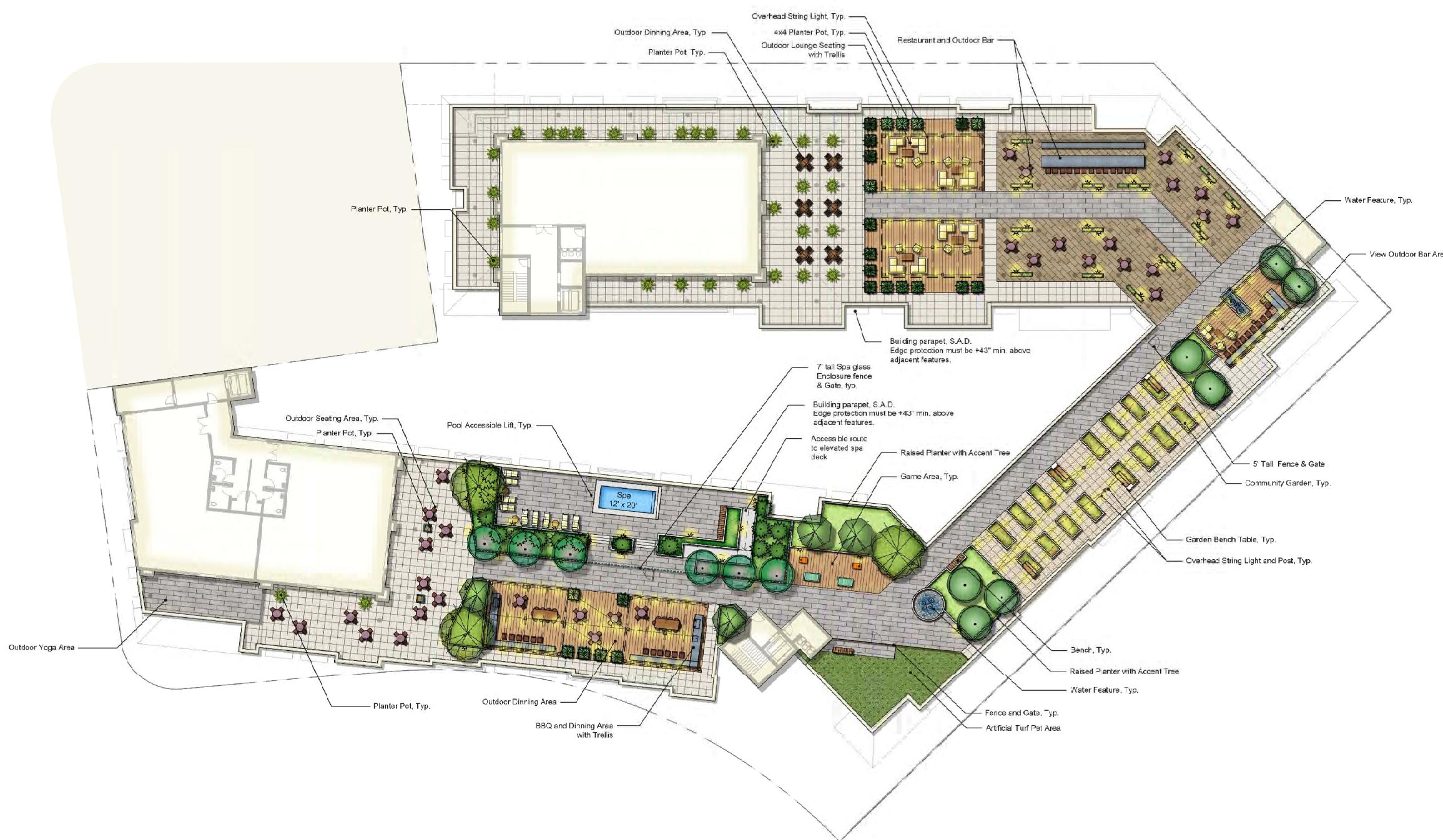
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Sheet Title: Conceptual
Landscape Plan -
Roof

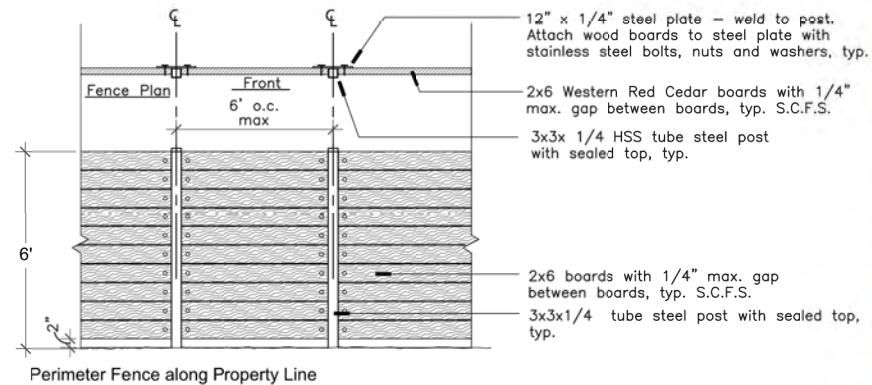
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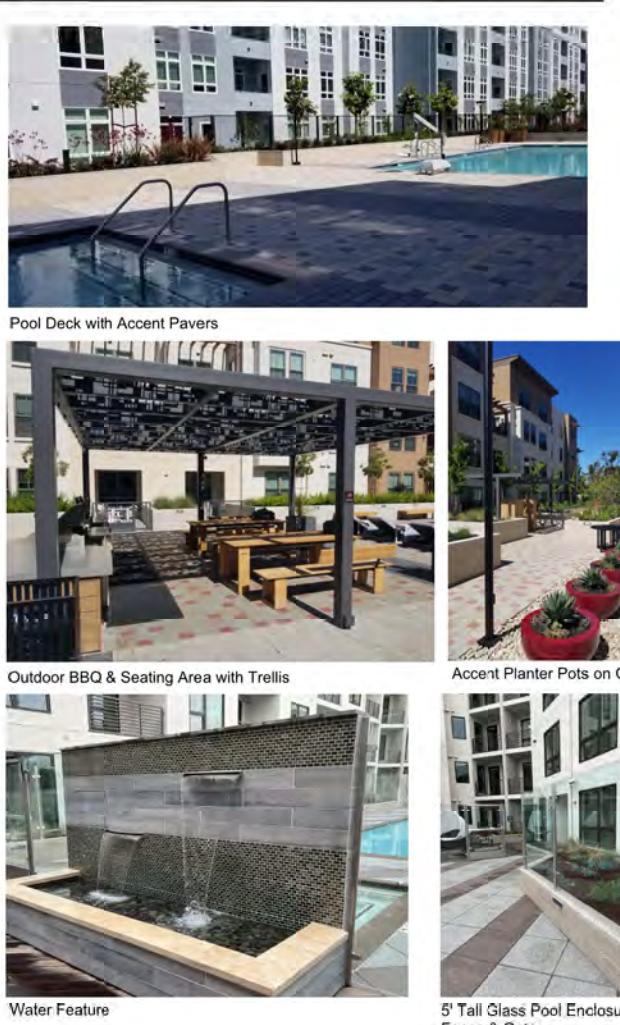


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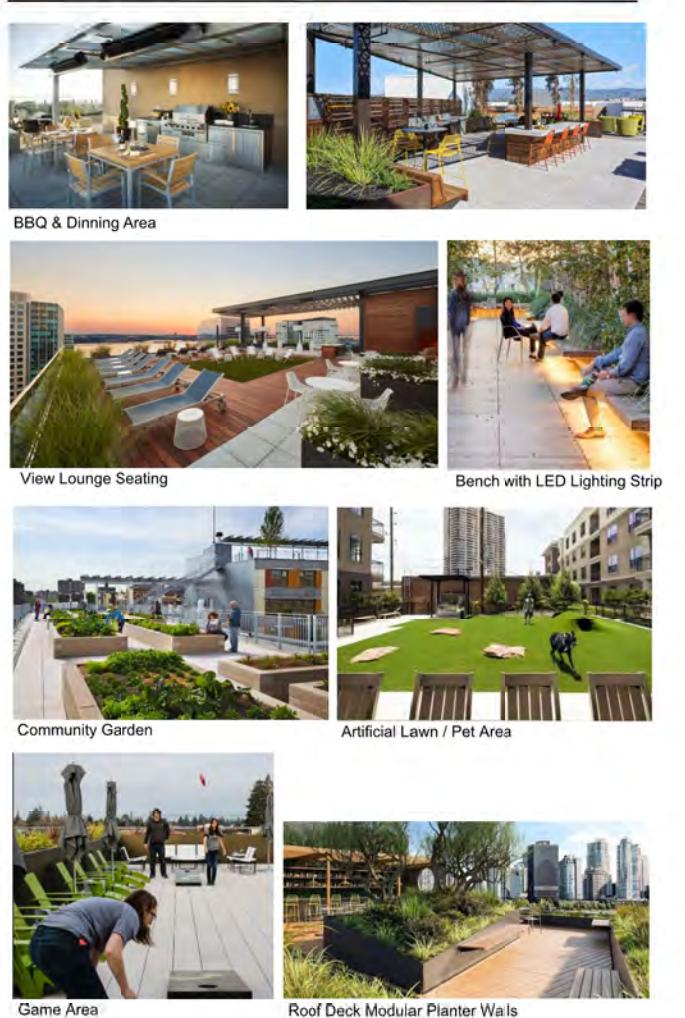
SITE IMAGES



PODIUM IMAGES



ROOF DECK IMAGES



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Project:
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LOS GATOS, CA 95032

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PLANTING IMAGES

TREE



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3	Planning Submittal	05/09/24
1	Planning Environmental	08/30/24
2	2nd Planning Resubmittal	11/27/24
3	3rd Planning Resubmittal	03/17/25

Initial Issued Date: 05/09/24

Re-issu: 1/15" - 1'4"

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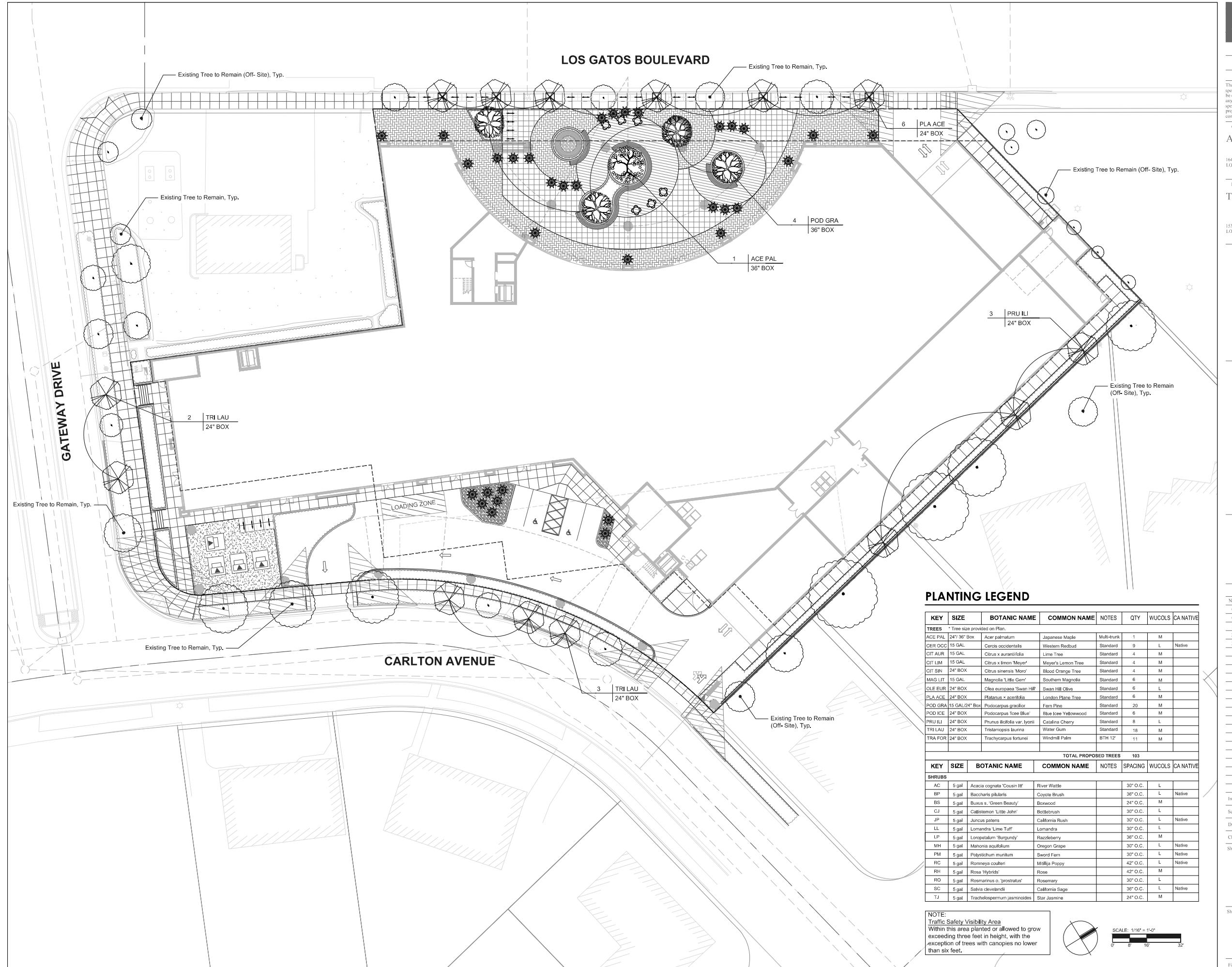
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Imagery**

Sheet No.:

L-2.1

File: Job:



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LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032

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Sheet Title: *Conceptual
Planting Plan -
Groundfloor*

Sheet No.: L-3.1

File: Job:

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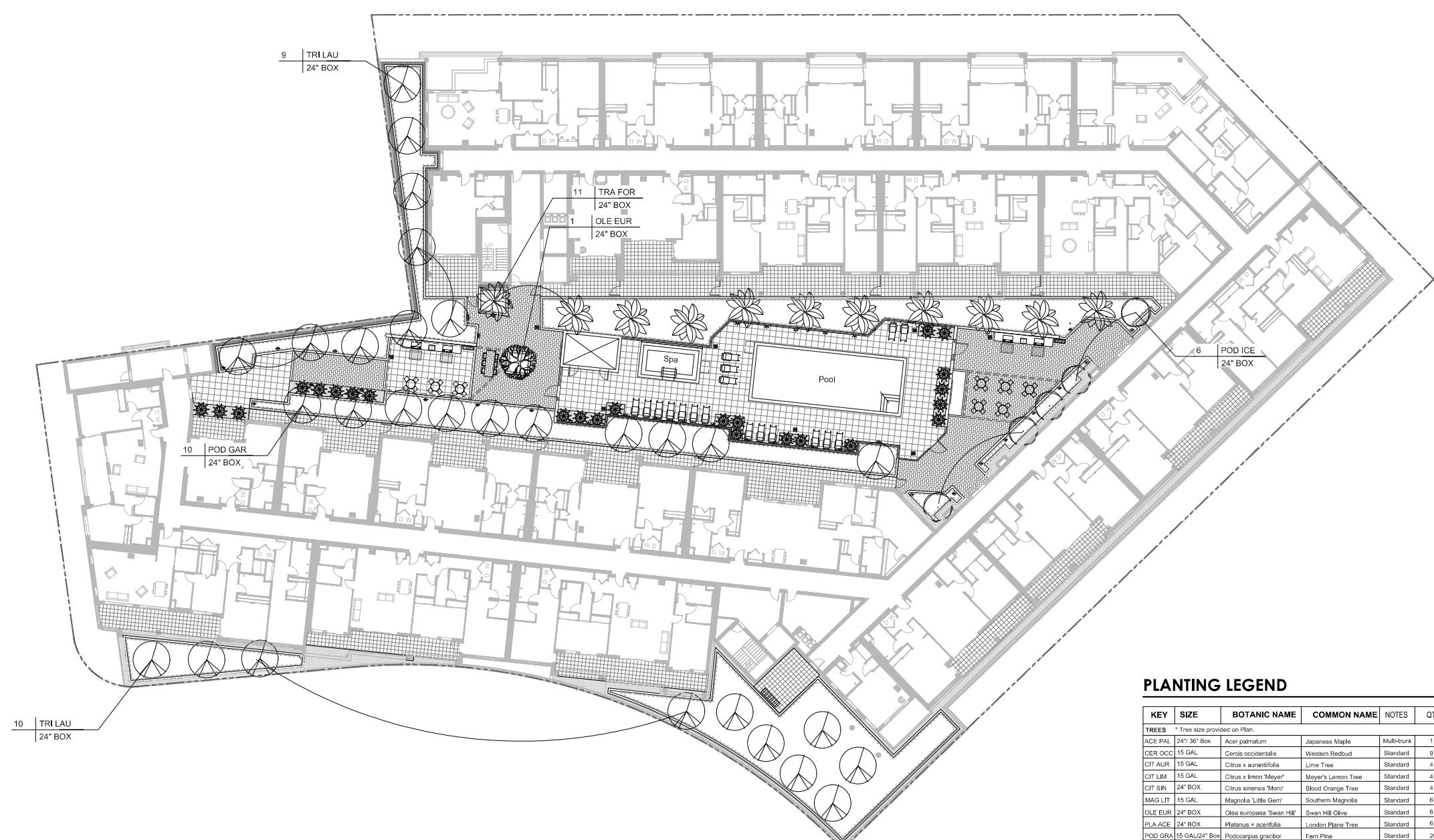
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Stamp:



PLANTING LEGEND

KEY	SIZE	BOTANIC NAME	COMMON NAME	NOTES	QTY	WUCOLS	CA NATIVE
TREES *Tree size provided on Plan.							
ACE PAL	24" 36" Box	<i>Acer palmatum</i>	Japanese Maple	Multi-trunk	1	M	
CER OCC	15 GAL	<i>Cercis occidentalis</i>	Western Redbud	Standard	9	L	Native
CIT AUR	15 GAL	<i>Citrus x aurantiifolia</i>	Lime Tree	Standard	4	M	
CIT LIM	15 GAL	<i>Citrus x limon 'Meyer'</i>	Meyer's Lemon Tree	Standard	4	M	
CIT SIN	24" BOX	<i>Citrus sinensis 'Moro'</i>	Blood Orange Tree	Standard	4	M	
MAG LIT	15 GAL	<i>Magnolia 'Little Gem'</i>	Southern Magnolia	Standard	6	M	
OLE EUR	24" BOX	<i>Olea europaea 'Swan Hill'</i>	Swan Hill Olive	Standard	6	L	
PLA ACE	24" BOX	<i>Platanus x acerifolia</i>	London Plane Tree	Standard	6	M	
POD GRA	15 GAL/24" Box	<i>Podocarpus gracilis</i>	Fern Pine	Standard	20	M	
POD ICE	24" BOX	<i>Podocarpus 'Ice Blue'</i>	Blue Ice Yellowwood	Standard	6	M	
PRU ILI	24" BOX	<i>Prunus ilicifolia var. lynnii</i>	Catalina Cherry	Standard	8	L	
TRI LAU	24" BOX	<i>Tristaniopsis laurina</i>	Water Gum	Standard	18	M	
TRA FOR	24" BOX	<i>Trachycarpus fortunei</i>	Windmill Palm	BTH 12'	11	M	
TOTAL PROPOSED TREES 103							

KEY	SIZE	BOTANIC NAME	COMMON NAME	NOTES	SPACING	WUCOLS	CA NATIVE
SHRUBS							
AC	5 gal	<i>Acacia cognata 'Cousin Itt'</i>	River Wattle		30" O.C.	L	
BP	5 gal	<i>Baccharis pilularis</i>	Coyote Brush		36" O.C.	L	Native
BS	5 gal	<i>Buxus s. 'Green Beauty'</i>	Boxwood		24" O.C.	M	
CJ	5 gal	<i>Callistemon 'Little John'</i>	Bottlebrush		30" O.C.	L	
JP	5 gal	<i>Juncus patens</i>	California Rush		30" O.C.	L	Native
LL	5 gal	<i>Lomandra 'Lime Tuff'</i>	Lomandra		30" O.C.	L	
LP	5 gal	<i>Loxopetalum 'Burgundy'</i>	Razzleberry		36" O.C.	M	
MH	5 gal	<i>Mahonia aquifolium</i>	Oregon Grape		30" O.C.	L	Native
PM	5 gal	<i>Polystichum munitum</i>	Sword Fern		30" O.C.	L	Native
RC	5 gal	<i>Romneya coulteri</i>	Milligia Poppy		42" O.C.	L	Native
RH	5 gal	<i>Rosa 'Hybride'</i>	Rose		42" O.C.	M	
RO	5 gal	<i>Rosmarinus o. 'prostratus'</i>	Rosemary		30" O.C.	L	
SC	5 gal	<i>Salvia clevelandii</i>	California Sage		36" O.C.	L	Native
TJ	5 gal	<i>Trachelospermum jasminoides</i>	Star Jasmine		24" O.C.	M	

Initial Issued Date: 05/09/24

Scale: 1/16" = 1'-0"

Drawn By: AW Author

Checked By: ML Checker

Sheet Title: **Conceptual
Planting Plan -
Podium**

Sheet No:

L-3.2

File: Job:



Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
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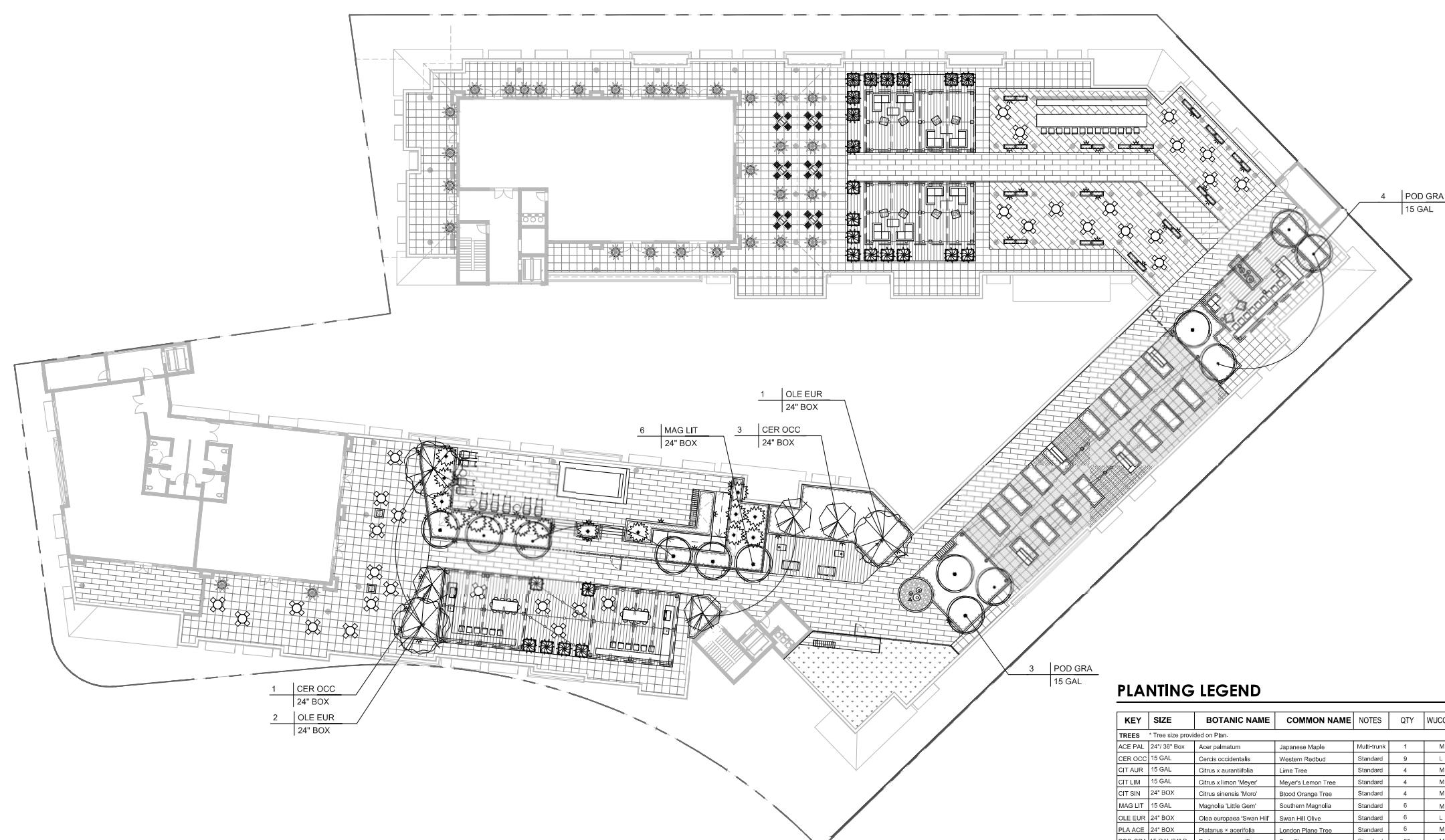


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3	3rd Planning Resubmittal	03/17/25					

Initial Issued Date: 05/09/24
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Sheet Title: **Conceptual
Planting Plan -
Roof**
Sheet No.:
L-3.3

File: Job:



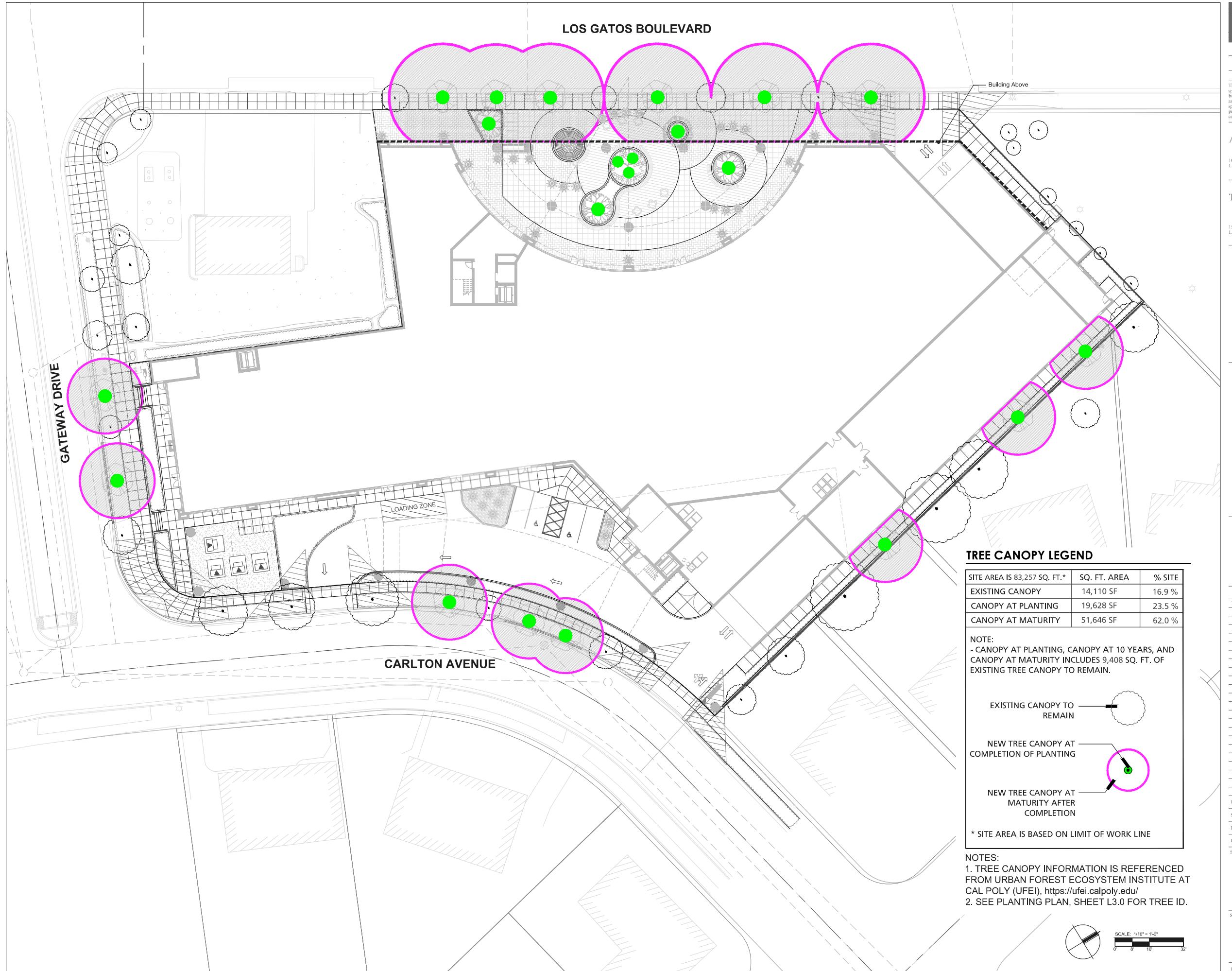
PLANTING LEGEND

KEY	SIZE	BOTANIC NAME	COMMON NAME	NOTES	QTY	WUCOLS	CA NATIVE
TREES * Tree size provided on Plan.							
ACE PAL	24" 36" Box	Acer palmatum	Japanese Maple	Multi-trunk	1	M	
CER OCC	15 GAL	Cercis occidentalis	Western Redbud	Standard	9	L	Native
CIT AUR	15 GAL	Citrus x aurantiifolia	Lime Tree	Standard	4	M	
CIT LIM	15 GAL	Citrus x limon 'Meyer'	Meyer's Lemon Tree	Standard	4	M	
CIT SIN	24" BOX	Citrus sinensis 'Moro'	Blood Orange Tree	Standard	4	M	
MAG LIT	15 GAL	Magnolia 'Little Gem'	Southern Magnolia	Standard	6	M	
OLE EUR	24" BOX	Ollea europaea 'Swan Hill'	Swan Hill Olive	Standard	6	L	
PLA ACE	24" BOX	Platanus x acerifolia	London Plane Tree	Standard	6	M	
POD GRA	15 GAL/24" Box	Podocarpus gracilior	Fern Pine	Standard	20	M	
POD ICE	24" BOX	Podocarpus 'Icote Blue'	Blue Icote Yellowwood	Standard	6	M	
PRU ILI	24" BOX	Prunus ilicifolia var. 'lyoni'	Catalina Cherry	Standard	8	L	
TRI LAU	24" BOX	Tristaniopsis laurina	Water Gum	Standard	18	M	
TRA FOR	24" BOX	Trachycarpus fortunei	Windmill Palm	BTH 12'	11	M	
TOTAL PROPOSED TREES 103							
KEY	SIZE	BOTANIC NAME	COMMON NAME	NOTES	SPACING	WUCOLS	CA NATIVE
SHRUBS							
AC	5 gal	Acacia cognata 'Cousin Itt'	River Wattle		30" O.C.	L	
BP	5 gal	Baccharis pilularis	Coyote Brush		36" O.C.	L	Native
BS	5 gal	Buxus s. 'Green Beauty'	Boxwood		24" O.C.	M	
CJ	5 gal	Callistemon 'Little John'	Bottlebrush		30" O.C.	L	
JP	5 gal	Juncus patens	California Rush		30" O.C.	L	Native
LL	5 gal	Lomandra 'Lime Tuff'	Lomandra		30" O.C.	L	
LP	5 gal	Loropetalum 'Burgundy'	Razzleberry		36" O.C.	M	
MH	5 gal	Mahonia aquifolium	Oregon Grape		30" O.C.	L	Native
PM	5 gal	Polythichum munitum	Sword Fern		30" O.C.	L	Native
RC	5 gal	Romneya coulteri	Millifolia Poppy		42" O.C.	L	Native
RH	5 gal	Rosa 'Hybrids'	Rose		42" O.C.	M	
RO	5 gal	Rosmarinus o. 'prostratus'	Rosemary		30" O.C.	L	
SC	5 gal	Salvia clevelandii	California Sage		36" O.C.	L	Native
TJ	5 gal	Trachelospermum jasminoides	Star Jasmine		24" O.C.	M	



SCALE: 1/16" = 1'-0"

0' 8' 16' 32'



**Anderson
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Campbell, CA 95008

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LOS GATOS, CA 95032

Project:
THE ARYA

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Checked By: ML Checker

Sheet Title: **Proposed Tree
Canopy Diagram
Groundfloor**

Sheet No.: L-3.4

File: Job:

Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
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15300 & 15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032

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Checked By: ML Checker

Sheet Title: **Proposed Tree
Canopy Diagram
Podium**

Sheet No.: **L-3.5**

File: Job:



TREE CANOPY LEGEND

SITE AREA IS 83,257 SQ. FT.*	SQ. FT. AREA	% SITE
EXISTING CANOPY	14,110 SF	16.9 %
CANOPY AT PLANTING	19,628 SF	23.5 %
CANOPY AT MATURITY	51,646 SF	62.0 %

NOTE:

- CANOPY AT PLANTING, CANOPY AT 10 YEARS, AND CANOPY AT MATURITY INCLUDES 9,408 SQ. FT. OF EXISTING TREE CANOPY TO REMAIN.



* SITE AREA IS BASED ON LIMIT OF WORK LINE

NOTES:

1. TREE CANOPY INFORMATION IS REFERENCED FROM URBAN FOREST ECOSYSTEM INSTITUTE AT CAL POLY (UFEI), <https://ufei.calpoly.edu/>
2. SEE PLANTING PLAN, SHEET L3.0 FOR TREE ID.





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Principal
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YA PROPERTIES LLC

YA PROPERTIES LLC

ARK AVENUE
TOS, CA 95032

et:

E ARYA

15330 LOS GATOS BOULEVARD
LOS GATOS, CA 95032

THE
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9, The Embarcadero, Suite 115
San Francisco, CA 94111 | www.tgp-inc.com

A circular license seal for a landscape architect. The outer ring contains the text "LICENSED LANDSCAPE ARCHITECT" at the top and "STATE OF CALIFORNIA" at the bottom. The center of the seal features a stylized tree or plant graphic. The name "Gary D. Laymon" is written in the upper portion of the center, and the license number "No. 2387" is in the lower portion. Below the name and number, the text "6-3026" is visible, followed by "6/8/1990" and "08/12/25", which likely represent the issuance date and expiration date of the license.

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Issued Date:	05/09/24
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By:	AW Author

By: _____
Title: *Proposed Tree
Canopy Diagram
Roof*

Job:



Anderson Architects Inc
 kanderson@andarchinc.com Cell 408.202.5462 Kurt B. Anderson, AIA
 120 W. Campbell Ave, Suite D Tel 408.371.1269
 Campbell, CA 95008 Fax 408.371.1276

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ARYA PROPERTIES LLC

16400 LARK AVENUE
 LOS GATOS, CA 95032

Project:
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD
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 Checked By: ML Checker
 Sheet Title:

Hydrozone Plan - Groundfloor

Sheet No.:
L-4.1
 File: Job:

Client:
ARYA PROPERTIES LLC

16400 LARK AVENUE
LOS GATOS, CA 95032

Project:
THE ARYA

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Sheet Title:

Hydrozone Plan - Podium

Sheet No.:

L-4.2

File: Job:



WATER USE LEGEND

Key	WUCOLS Category
Light Green	LOW WATER USE
Pink	MEDIUM WATER USE
Dark Purple	HIGH WATER USE

WATER EFFICIENT LANDSCAPE WORKSHEET
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET₀) **15.3**

Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
Regular Landscape Areas							
Low Water-Use Plants	0.20	Drip	0.81	0.25	14,218	3,555	99,832
Moderate Water- Use Plants	0.50	Drip	0.81	0.62	5,243	3,251	91,298
High Water-Use Plants	0.80	Drip	0.81	0.99	0	0	0
Moderate Water-Use Turf/EVA	0.50	Spray	0.75	0.67	0	0	0
					(A)	(B)	
					Totals	19,461	6,805 191,130
Special Landscape Areas							
water feature					39		
					(C)	(D)	
					Totals	0	0
							ETWU Total 191,130
							245,964

*Hydrozone #/Planting Description
1) Food lawn
2) Low water use plantings
3) Medium water use plantings

*ETWU (Annual Gallons Required) = $ET_0 \times 0.62 \times ETAF \times Area$
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

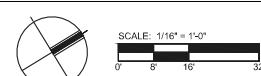
*MAWA (Annual Gallons Allowed) = $(ET_0 \times 0.62) \times (ETAF \times LA) \times (0.62 \times SLA)$
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas	
Total ETAF x Area (B)	6,805
Total Area (A)	19,461
Average ETAF	0.349681927958481

All Landscape Areas

Total ETAF x Area (B+D)	6,805
Total Area (A+C)	19,461
Sitewide ETAF (B+D) / (A+C)	0.349681927958481



Client:
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LOS GATOS, CA 95032

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Sheet Title:

Hydrozone Plan -
Roof
Sheet No:
L-4.3

File: Job:



WATER USE LEGEND

Key	WUCOLS Category
Green	LOW WATER USE
Pink	MEDIUM WATER USE
Purple	HIGH WATER USE

WATER EFFICIENT LANDSCAPE WORKSHEET
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET₀) **45.3**

Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*	
Regular Landscape Areas								
Low Water-Use Plants	0.20	Drip	0.81	0.25	14,218	3,555	99,832	
Moderate Water- Use Plants	0.50	Drip	0.81	0.62	5,243	3,251	91,298	
High Water-Use Plants	0.80	Drip	0.81	0.89	0	0	0	
Moderate Water-Use Turf/EVA	0.50	Spray	0.75	0.67	0	0	0	
					(A)	(B)		
					Totals	19,461	6,805	191,130
Special Landscape Areas								
water feature					39			
					(C)	(D)		
					Totals	0	0	
							ETWU Total	191,130
Maximum Allowed Water Allowance (MAWA)*								245,562

*ETWU (Annual Gallons Required) = $ET_0 \times 0.62 \times ETAF \times Area$
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

*MAWA (Annual Gallons Allowed) = $ET_0 \times 0.62 \times (ETAF \times LA) + ((1-ETAF) \times SLA)$
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and .045 for non-residential areas.

ETAF Calculations
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Areas	Total ETAF x Area (B)	Total Area (A)	Average ETAF
Total ETAF x Area (B)	6,805		
Total Area (A)	19,461		
Average ETAF	0.349681927958481		

All Landscape Areas

Total ETAF x Area (B+D)	Total Area (A+C)	Sitewide ETAF (B+D) / (A+C)
Total ETAF x Area (B+D)	6,805	
Total Area (A+C)	19,461	
Sitewide ETAF (B+D) / (A+C)	0.349681927958481	



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Sheet Title:	

LIGHTING LEGEND

- POLE LIGHT
- BOLLARD LIGHT
- WALL LIGHT
- STRING LIGHT
- TREE DOWNLIGHT

NOTES:
EXTERIOR LIGHTING FIXTURES WILL COMPLY
WITH TOWN REQUIREMENTS TO BE DOWNWARD
DIRECTED AND SHIELDED. LIGHTING CUTSHEET
SEE AT SHEET L5.3.

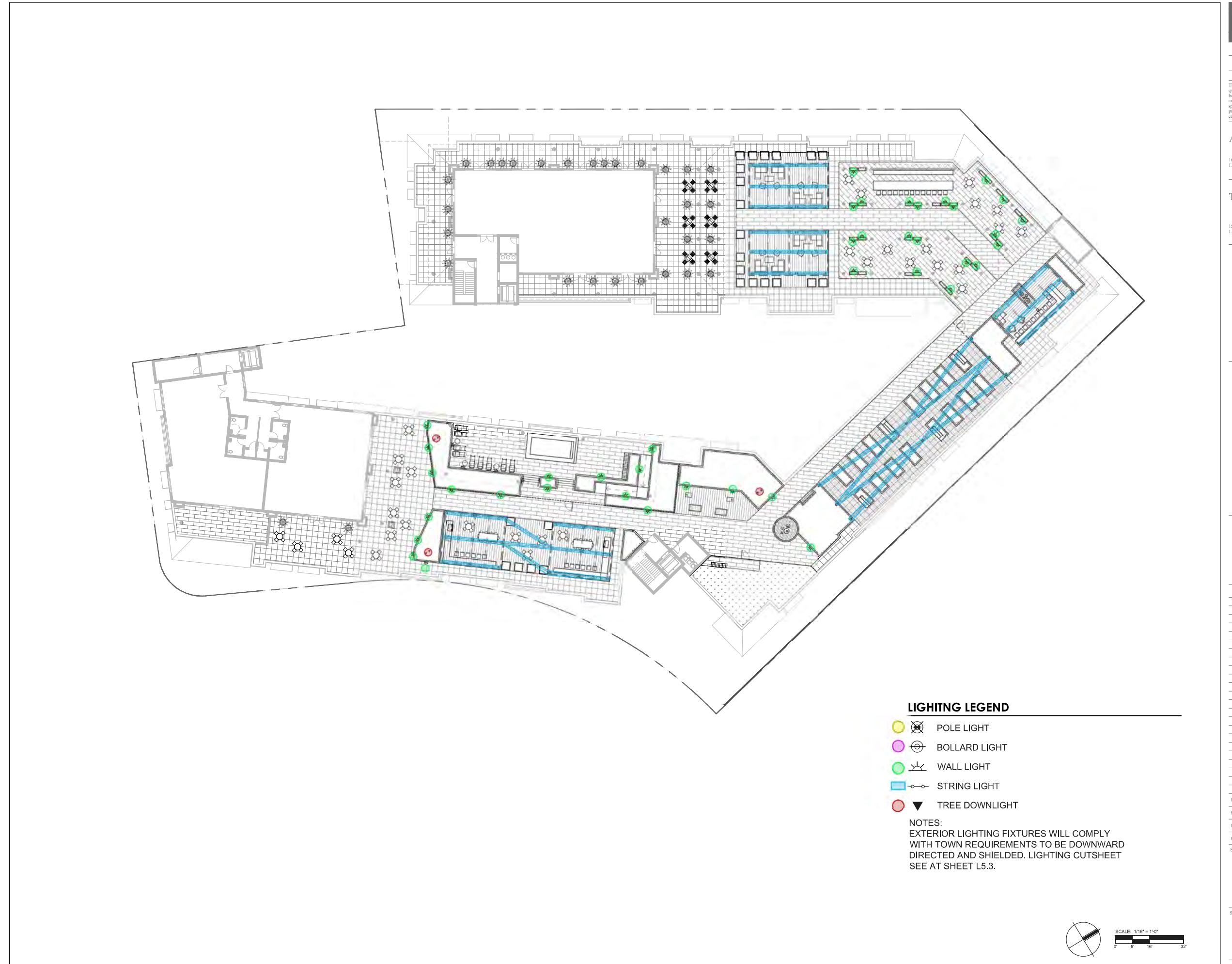


Lighting Plan - Podium

Sheet No.:

L-5.1

File: Job:



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ATOS, CA 95032

1000 J. POLYMER SCIENCE: PART A

EARLYA

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LIGHTING LEGEND

-   POLE LIGHT
-   BOLLARD LIGHT
-   WALL LIGHT
-   STRING LIGHT
-   TREE DOWNLIGHT

NOTES:
EXTERIOR LIGHTING FIXTURES WILL COMPLY
WITH TOWN REQUIREMENTS TO BE DOWNWARD
DIRECTED AND SHIELDED. LIGHTING CUTSHEET
SEE AT SHEET 1.5.2



Lighting Plan - Roof

10.1

L 5.3

L-5.2

Table

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Sheet Title:

**Lighting
Cutsheet**

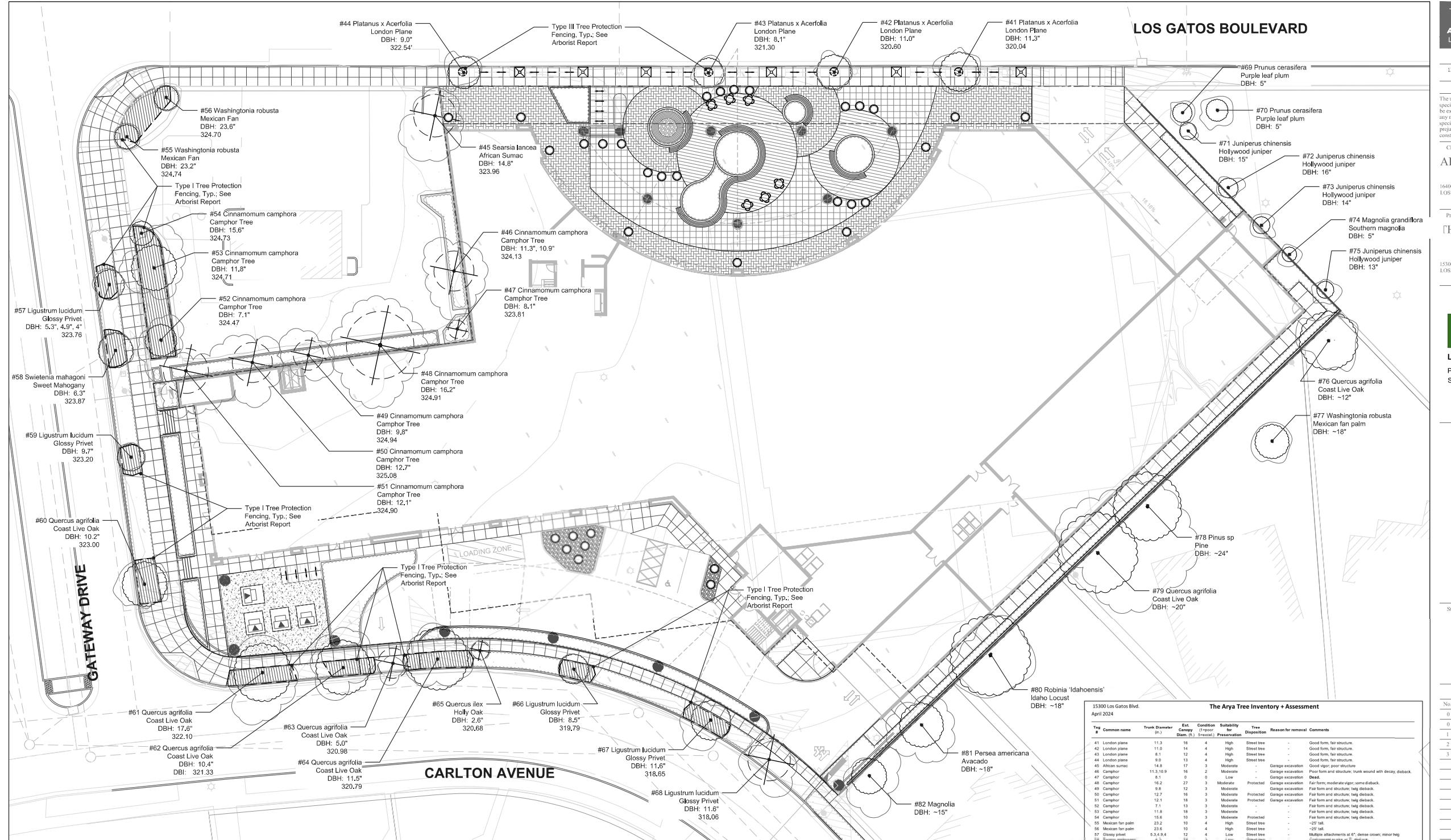
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L-5.3

File: Job:

POLE LIGHT





Sec. 29.10.1005. - Protection of trees during construction.

a. Protective tree fencing shall specify the following:

1) Size and materials: Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.

2) Area type to be fenced, Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist, Type II: Enclosure for street trees located in a planter strip; chain link fence around the entire planter strip to the outer branches, Type III: Protection for a tree located in a small planter cutout only (such as downtown); orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.

3) Duration of Type I, II, III fencing: Fencing shall be erected before demolition, during construction permits are issued, and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.

4) Warning sign: Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning - Tree Protection Zone - This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."

Table 3-1 - Tree Canopy Replacement Standard

CANOPY SIZE OF REMOVED TREE	REPLACEMENT REQUIREMENT*
10 feet or less	(2) 24" box trees
More than 10 feet to 25 feet	(3) 24" box trees
More than 25 feet to 40 feet	(4) 24" box trees or (2) 36" box trees
More than 40 feet to 55 feet	(6) 24" box trees or (3) 36" box trees
Greater than 55 feet	(10) 24" box trees or (5) 36" box trees

*NOTE: Single-family residential option not applicable replacement option for this project.

TREE DISPOSITION SUMMARY

PROTECTED ON-SITE TREES (4" DBH & GREATER)	QTY
TOTAL EXISTING TREES	41
EXISTING TREES TO REMAIN	32
EXISTING TREES TO BE REMOVED	9
EXISTING TREES TO BE TRANSPLANTED	0
PROPOSED NEW TREES - 24" BOX OR GREATER	85
Refer to Planting Plan, sheet L-3.1	
REPLACEMENT TREES REQUIRED PER TABLE 3-1	
24" BOX MIN.	23
36" BOX MIN.	2
TOTAL REPLACEMENT TREES REQUIRED	25

Note: Refer to Arborist Report prepared by Calyx Tree and Landscape Consulting on May 06, 2024 for trunk diameters, canopy diameters, suitability for preservation, and tree removal and protection recommendations.

TREE DISPOSITION LEGEND

- EXISTING TREE TO REMAIN
- EXISTING STREET TREE TO REMAIN
- ✗ EXISTING TREE TO BE REMOVED
- ✗ EXISTING TREE TO BE REMOVED LESS THAN 4" DBH, NOT INCLUDED IN DISPOSITION SUMMARY
- TREE PROTECTION FENCING SEE PLAN FOR FENCING TYPE

CALLOUT SYMBOL

Tag #
Botanical Name
Common Name
Trunk Diameter at Breast Height
Existing Grade at Base

SCALE: 1/16" = 1'-0"
0' 8' 16' 32'

LOS GATOS BOULEVARD

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1	Planning Resubmittal	08/30/24
2	2nd Planning Resubmittal	11/27/24
3	3rd Planning Resubmittal	03/17/25

Initial Issued Date: 05/09/24

Scale: 1/16" = 1'-0"

Drawn By: AW Author

Checked By: ML Checker

Sheet Title:

Tree Disposition Plan

Sheet No.:

T-1.0

File: Job: