

**ARBORIST**      **CALYX TREE + LANDSCAPE  
CONSULTING**  
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(NEW CONSTRUCTION  
- FOR SALE CONDOMINIUMS )

## SHEET LIST

Area Schedule (Gross Building) - Cover Sheet	
Name	Total Area (SF)
1) Garage III - Residential ( Below Grade )	
Garage III - Residential	59,522.8 SF
	59,522.8 SF
2) Garage II - Residential ( Below Grade )	
Garage II - Residential	59,522.8 SF
	59,522.8 SF
3) Garage I - Commercial ( Below Grade )	
Garage I - Commercial	62,487.4 SF
	62,487.4 SF
4) 1st Floor Commercial	
Commercial	37,862.0 SF
	37,862.0 SF
4) 1st Floor Commercial - II ( Accessory Areas )	
Building Support	5,401.1 SF
Electrical Rooms	745.9 SF
Ramp : R-C	1,603.7 SF
Service Area	3,749.6 SF
	11,500.3 SF
4) 1st Floor Residential	
Ramp: R-I	1,654.0 SF
Residential	2,679.1 SF
	4,333.1 SF
5) 2nd Floor Residential	
Residential	46,361.6 SF
	46,361.6 SF
6) 3rd Floor Residential	
Residential	46,361.7 SF
	46,361.7 SF
7) 4th Floor Residential	
Residential	46,361.6 SF
	46,361.6 SF
8) 5th Floor Residential	
Residential	46,361.6 SF
	46,361.6 SF
9) 6th Floor Residential	
Residential	46,361.6 SF
	46,361.6 SF
10) 7th Floor Residential	
Residential	46,361.6 SF
	46,361.6 SF
11) 8th Floor Residential	
Residential	46,361.6 SF
	46,361.6 SF
12) Roof Level - Commercial	
Outdoor Bar	3,998.2 SF
Restaurant / Bar	4,188.4 SF
	8,186.6 SF
12) Roof Level - Commercial -II ( Accessory Area )	
Elevator Lobby	996.5 SF
	996.5 SF
12) Roof Level - Residential	
Residential - Stair / Elev.	1,391.3 SF
Residential- Community Space	5,302.6 SF
	6,693.9 SF
Grand total	575,639.1 SF

Unit Count with Net Area						
Name			Bedroom	Net Area (S.F.)	Unit Count	Notes
STUDIO -	TYPE A	18'-6" X 29'-4"	0 Bedroom	430.4	7	Below Market Unit On Floors 2nd Through 8th
STUDIO -	TYPE B	18'-3" X 28'-0"	0 Bedroom	402.4	7	Below Market Unit On Floors 2nd Through 8th
STUDIO -	TYPE C		0 Bedroom	549.2	7	Below Market Unit On Floors 2nd Through 8th
					21	

Unit Count with Net Area						
Name			Bedroom	Net Area ( S.F )	Unit Count	Notes
STUDIO -	TYPE A	18'-6" X 29'-4"	0 Bedroom	430.4	7	Below Market Unit On Floors 2nd Through 8th
STUDIO -	TYPE B	18'-3" X 28'-0"	0 Bedroom	402.4	7	Below Market Unit On Floors 2nd Through 8th
STUDIO -	TYPE C		0 Bedroom	549.2	7	Below Market Unit On Floors 2nd Through 8th
					21	
1 BEDROOM - TYPE A	32'-6" X 31'-0"		1 Bedroom	734.4	14	Below Market Unit On Floors 2nd Through 8th
1 BEDROOM - TYPE A-2	32'-6" X 31'-0"		1 Bedroom	755.2	7	Market Rate Unit on Floors 2nd Through 8th
					21	
2 BEDROOM - TYPE A	53'-6" X 31'-0"		2 Bedroom	1302.1	35	Market Rate Unit on Floors 2nd Through 8th
2 BEDROOM - TYPE B	51'-0" X 34'-0"		2 Bedroom	1332.3	21	Market Rate Unit on Floors 2nd Through 8th
2 BEDROOM - TYPE C			2 Bedroom	1129.5	7	Market Rate Unit on Floors 2nd Through 8th
2 BEDROOM - TYPE D			2 Bedroom	1129.5	7	Market Rate Unit on Floors 2nd Through 8th
					70	
3 BEDROOM - TYPE A	54'-6" X 35'-4"		3 Bedroom	1656.6	14	Market Rate Unit on Floors 2nd Through 8th
3 BEDROOM - TYPE B			3 Bedroom	1799	7	Market Rate Unit on Floors 2nd Through 8th
3 BEDROOM - TYPE C			3 Bedroom	1809.0	7	Market Rate Unit on Floors 2nd Through 8th
3 BEDROOM - TYPE D	62'-0" X 34'-0"		3 Bedroom	1687.6	7	Market Rate Unit on Floors 2nd Through 8th
3 BEDROOM - TYPE E	77'-5 5/8" X 37'-4"		3 Bedroom	2013.3	7	Market Rate Unit on Floors 2nd Through 8th
3 BEDROOM - TYPE F	68'-6" X 34'-4"		3 Bedroom	1895.2	14	Market Rate Unit on Floors 2nd Through 8th
3 BEDROOM - TYPE G	84'-10" X 31'-0"		3 Bedroom	1962.6	7	Market Rate Unit on Floors 2nd Through 8th

63  
 175  
 Common Rec. Space Required: 100 SF x 175 units = 17,500 SF + 2% of Commercial Space (2% x 46,048.2 = 921 SF) = 18,421 SF  
 Common Open Space Provided: 61,101.6 SF (15,079.8 SF + 2nd Floor courtyard + 46,021.8 SF - 61,101.6 SF)  
 Please see sheet A-4 for more detailed breakdown  
 LOT SIZE = 82,764 SF  
 LANDSCAPE AREA = 19,461 SF, % of LANDSCAPED AREA = 23.5%

Private Open Space Required = 60 SF X 175 = 10,500 SF  
 Private Open Space Provided = 60 SF x 175 = 10,500 SF  
 Floors 3 through 6 = 5,361.2 SF x 6 = 32,167.2 SF  
 Total Private Space Provided = 45,420.4 SF

Required Commercial Parking : 46,048.2 SF / 250 / 37,862 = 46,048.2 SF / 250 / 37,862 = 185 stalls	Required Residential Parking : 21 Studio X 1 = 21 Stalls 21 1 Bed X 1 = 21 Stalls 20 2 Bed X 2 = 140 Stalls <u>63.3 Bed X 2 = 126 Stalls</u> <u>Total 182 Units = 308 Stalls</u>	Required Long-term Bicycle Parking : 1 per unit = 175 Spaces
Parking Provided :  1st Floor : Regular = 02 Stalls Accessible = 02 Stalls <u>Total = 04 Stalls</u>	Overall Residential Car Parking Provided :  Garage II = 148 Stalls Garage III = 162 Stalls <u>Total = 310 Stalls</u>	Long-term Bicycle Parking Provided : (Double Stacked)  Garage III = 114 Garage II = 114 <u>Total = 228</u>
Garage I : Regular = 151 Stalls Accessible = 04 Stalls <u>Total = 155 Stalls</u>	Motor cycle parking provided (3' X 6') Garage III = 12 Garage II = 03 <u>Total = 15</u>	
<u>Total Commercial Parking :</u>	<u>Required Short-Term Bicycle Parking (Size 2 X 7)</u> = 46,048.2 SF / 2000 SF + 1 per Unit = 23 + 175 = 198 Spaces	
1st Floor = 04 Stalls Garage I = 155 Stalls <u>Total = 159 Stalls</u>	<u>Short-term Bicycle Parking provided :</u> Los Gatos Boulevard Sidewalk : 14 bike racks X 2 = 28 Bicycles Entry Plaza : 4 bike racks X 2 = 08 bicycles (covered) Carlton Avenue - Near Commercial Passage : 3 bike racks X 2 = 6 Bicycles (covered) Commercial Garage I : 34 Bicycles (covered) <u>Total = 28 + 8 + 6 + 34 = 76 Spaces (covered)</u>	

1. FIRE ALARM SUBMITTAL PER CFC SECTION 907 AND NFPA 72 FOR APPROVAL BEFORE INSTALLATION OR ALARM.
2. TWO-WAY COMMUNICATION SYSTEM PER NFPA 72 ( 2022 ) , CEC 2022, CFC 2022 , CBC 2022 & CITY ORDINANCES.
3. NEW ERRC SYSTEM PER CODE.
4. MANUAL WET STANDPIPE TYPE, FIRE HOSE PROTECTION PER CHAPTER 32. INSTALLATION PER NFPA 14 AS AMENDED IN CHAPTER 47, CFC SECTION 905.
5. FDC ON THE STREET ADDRESS SIDE OF THE BUILDING.

EXISTING PARCEL 1	15330 LOS GATOS BOULEVARD, LOS GATOS CA 95032 APN : 424-17-035 ZONING : C-1-HOEZ MIXED USE COMMERCIAL LOT SIZE: 13,057 SF
EXISTING PARCEL 2	15300 LOS GATOS BOULEVARD, LOS GATOS CA 95032 APN : 424-17-036 ZONING : C-1 LOW DENSITY RESIDENTIAL LOT SIZE : 1.596 AC ( 69,521.76 SF )
PROPOSED PARCEL	ZONING : C-H1-HOEZ MIXED USE RESIDENTIAL ( COMMERCIAL + RES IDENTIAL UNITS + RESTAURANT + BAR ) LOT SIZE : 1.9 ACRES ( 82,764 SF )
GENERAL PLAN	COMMERCIAL ( GENERAL PLAN AMENDMENT REQUIRED )
DENSITY FOR ZONING C-H1-HOEZ	EXISTING DENSITY : 30-40 UNITS/ACRE      PROPOSED DENSITY : 92 UNITS/ACRE
OCCUPANCY TYPE	R-2 ( RESIDENTIAL ), S-2 ( GARAGE ), M ( COMMERCIAL ), A-2 ( ROOFTOP BAR/ RESTAURANT ), A-3 ( COMMUNITY RM., FITNESS, ROOF DECK )
CONSTRUCTION TYPE	TYPE IA ( GARAGE & 1ST FLOOR COMMERCIAL ), TYPE IIA ( RESIDENTIAL UNITS AND ROOF LVL. )
SPRINKLERED	FULLY
LEVELS	3 BASEMENT LVL. ( GARAGE ), 9 LVLS. ABOVE GROUND - (1ST FLOOR COMMERCIAL, 7 RESIDENTIAL LVLS, 1 LEVEL ROOFTOP COMMON SPACE AND RESTAURANT/BAR )
BUILDING FOOTPRINT	53,689.5 SF
NUMBER OF UNITS	175 ( 3BED- 63 UNITS + 2BED - 70 UNITS + 1 BED - 21 UNITS + STUDIO - 21 UNITS )
MAX. HEIGHT	116'-6" FROM THE FIRST FLOOR TO TOP OF THE 9TH FLOOR RESTAURANT/BAR PARAPET.

THE SITE IS LOCATED ON LOS GATOS BLVD. AT THE INTERSECTION OF LOS GATOS BLVD. AND GATEWAY DRIVE. IS SURROUNDED BY RESIDENTIAL ON ONE SIDE AND FACES THE STREET ON 3 SIDES ( PARTIALLY FACING GAS STATION ON THE GATEWAY DRIVE SIDE ). THERE IS AN EXISTING ACE HARDWARE STORE ON SITE. WE PLAN TO DEMOLISH EVERYTHING ON THE EXISTING SITE.

THE PROPOSED PROJECT WILL HAVE 100 PARKING GARAGES, 1ST FLOOR COMMERCIAL, 7 LEVELS OF RESIDENTIAL AND 1 LEVEL OF COMMON SPACE AND RESTAURANT & BAR AT THE ROOF LEVEL. ADDITIONAL COMMON OPEN SPACES HAVE BEEN PROVIDED ON 2ND FLOOR PODIUM AND ROOF DECK.

THE BUILDINGS WILL HAVE A COMBINATION OF STUDIOS, 1 BEDROOM UNITS, 2 BEDROOM UNITS, AND 3 BEDROOM UNITS.

THE CONSTRUCTION WILL ENTAIL THE FOLLOWING:

- SITE WORK, GRADING, EXCAVATION, BASEMENT AND LIGHT WELLS.
- A NEW STRUCTURE WITH ALL MECHANICAL, ELECTRICAL, INSULATION AND PLUMBING SYSTEMS INCLUDING SUMP PUMP.
- ALL INTERIOR FINISHES INCLUDING DRYWALL, TRIM AND FLOORING.
- ALL EXTERIOR FINISH AND ROOFING.
- LANDSCAPING AND IRRIGATION.
- STREET IMPROVEMENTS.

1. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
2. THE MULTIFAMILY STRUCTURE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE.

THE CURRENT CODES, AS AMENDED AND ADOPTED BY THE TOWN OF LOS GATOS AS OF JANUARY 1, 2023, ARE THE 2022 CALIFORNIA BUILDING STANDARDS CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24, PARTS 1-12, INCLUDING LOCALLY ADOPTED ENERGY REACH CODES.

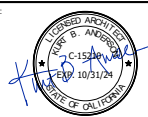
0.0	Cover Sheet
C0.0	Tentative Map for Condominium Purposes
C1.0	Existing Conditions Plan
C2.1	Preliminary Grading, Drainage & Utility Plan
C2.2	Grading Sections
C3.0	Preliminary Stormwater Control Plan
C4.0	Preliminary Fire Protection Plan
C5.0	Preliminary Erosion Control Plan
A0.1	Existing and Proposed Parcel Data
A1.0	Code Analysis Turning Radius
A1.1	Objective Design Standards
A1.2	Objective Design Standards
A1.3	Objective Design Standards
A1.4	Objective Design Standards
A1.5	Objective Design Standards
A1.6	Unnamed
A2.0	Site Plan
A2.1	Fire Aerial Access Plan
A3.0	Residential Garage III Plan
A3.1	Residential Garage II Plan
A3.2	Commercial Garage I Plan
A3.3	1st Floor Plan
A3.4	2nd Floor Plan
A3.5	3rd Floor ( 4th-8th Flr. Plan - Sim. )
A3.6	Roof Plan ( 9th Floor )
A3.7	Roof Plan for Comm. & Res. on 9th Floor
A4.0	Exterior Elevations
A4.1	Exterior Elevations
A4.2	Exterior Elevations ( Courtyard )
A5.0	Building Sections
A5.1	Building Sections II
A6.0	Views - I
A6.1	Views - II
A6.2	Street Elevations & Views
A7.0	Existing Site/ Building Photos
A8.0	Build it Green Checklist
A9.0	Solar and Shadow Study
E1.0	Garage III Lighting Plan
E1.1	Garage II Lighting Plan
E1.2	Garage I Lighting Plan
E1.6	Roof Lighting Plan
E2.0	Garage III Photometric Plan
E2.1	Garage II Photometric Plan
E2.2	Garage I Photometric Plan
E3.0	Roof Photometric Plan
E3.0	Luminaire Schedule
E3.1	Light Fixture Details
E3.2	Light Fixture Details
L1.1	Conceptual Landscape Plan - Ground Floor
L1.2	Conceptual Landscape Plan - Podium
L1.3	Conceptual Landscape Plan - Roof
L2.1	Landscape Imagery
L3.1	Conceptual Planting Plan -Ground Floor
L3.2	Conceptual Planting Plan Podium
L3.3	Conceptual Planting Plan Roof
L3.4	Proposed Tree Canopy Diagram, Ground Floor
L3.5	Proposed Tree Canopy Diagram, Podium
L3.6	Proposed Tree Canopy Diagram, Roof
L4.1	Hydrozone Plan, Ground Floor
L4.2	Hydrozone Plan, Podium
L4.3	Hydrozone Plan, Roof
L5.1	Lighting Plan, Roof
L5.2	Lighting Plan, Podium
L5.3	Lighting Cutsheet
T1.0	Tree Disposition Plan

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16400 LARK AVENUE  
LOS GATOS, CA 95032

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

Stamp



Issued For

[illegible]

Initial Issued Date: 11/04/19

Scale:

Drawn By: RK

Checked By: KBA

Sheet Title:

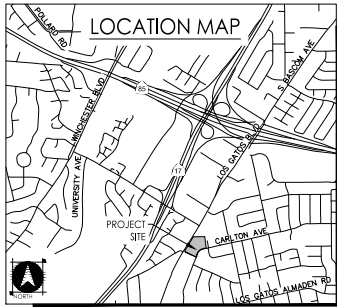
## Cover Sheet

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Age Group	Percentage
18-24	10%
25-34	15%
35-44	20%
45-54	25%
55-64	20%
65-74	15%
75-84	10%
85+	5%

NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT



# TENTATIVE SUBDIVISION MAP FOR CONDOMINIUM PURPOSES

## ARYA

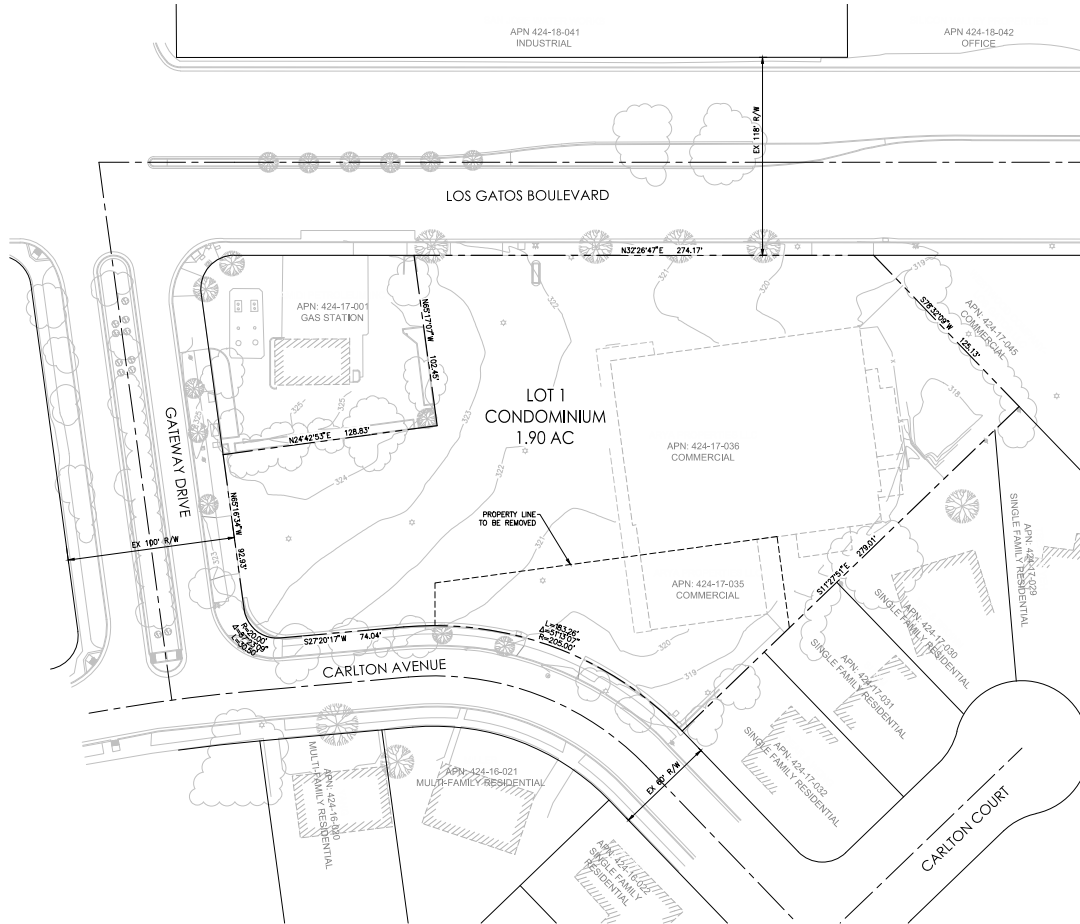
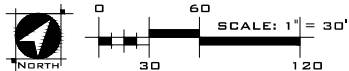
TOWN OF LOS GATOS, SANTA CLARA COUNTY, CALIFORNIA

MARCH 2025

LEGEND	
PROPOSED	EXISTING

### ABBREVIATIONS

AC	ACRE
APN	ASSESSOR'S PARCEL NUMBER
BL	BASINEMENT LEVEL
BMP	BEST MANAGEMENT PRACTICE
BNY	BOUNDARY
CFS	CUBIC FEET PER SECOND
C&G	CURB AND GUTTER
CY	CUBIC YARDS
DGDA	DOUBLE CHECK DETECTOR ASSEMBLY
DMA	DRAINAGE MANAGEMENT AREA
DWY	DRIVEWAY
EX	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
L/S	LANDSCAPE
MH	MANHOLE
NO.	NUMBER
NTS	NOT TO SCALE
P	PAVEMENT
POC	POINT OF CONNECTION
R/W	RIGHT-OF-WAY
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
S/W	SIDEWALK
TC	TOP OF CURB
T.O.L.G.	TOWN OF LOS GATOS
TYP	TYPICAL
W	WATER
WM	WATER METER
WS	WATER SERVICE



## PROJECT NOTES

### APPLICANT/OWNER

ARYA PROPERTIES LLC  
16400 LARK AVENUE  
LOS GATOS, CA 95032

CONTACT: AJ HOGATE  
PHONE: (408) 371-5499

### PLANNER/ENGINEER

WOOD RODGERS, INC.  
4670 WILLOW ROAD, SUITE 125  
PLEASANTON, CA 94588

CONTACT: PAUL MEUSER | COI ALVERNIAZ  
PHONE: (925) 847-1549 | (925) 303-2811

### ARCHITECT

ANDERSON ARCHITECTS INC.  
120 W. CAMBELL AVE, SUITE D  
CAMPBELL, CA 95008

CONTACT: KURT ANDERSON  
PHONE: (408) 371-1249

### ASSESSOR'S PARCEL NO.

424-17-035 & 424-17-036

### ADDRESS

15300-15330 LOS GATOS BOULEVARD

### AREA

1.91 ACRES GROSS/ 1.91 ACRES NET

### PARKING SPACE COUNT

477 GARAGE SPACES  
9 OPEN SPACES

### UNIT COUNT

182 CONDOMINIUMS

### COMMERCIAL AREA

42,383 SF

### DENSITY

95 D.U./AC. GROSS

### EXISTING USE

COMMERCIAL

### PROPOSED USE

MIXED USE

### EXISTING ZONING

NEIGHBORHOOD COMMERCIAL / HOLDING ELEMENT OVERLAY ZONE

### EXISTING GENERAL PLAN

MIXED USE COMMERCIAL

### PARK DISTRICT

TOWN OF LOS GATOS

### FIRE PROTECTION

SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRICT

### SCHOOL DISTRICT

LOS GATOS UNIFIED SCHOOL DISTRICT

### SEWER

WEST VALLEY SANITATION DISTRICT

### STORM DRAIN

SANTA CLARA COUNTY

### WATER

SAN JOSE WATER COMPANY

### ELECTRICITY

PG & E

### GAS

PG & E

### FLOOD ZONE INFORMATION

ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE MAP, MAP NUMBER 0685C0377H DATE: MAY 18, 2009



anderson@andersonarch.com Call (408) 371-1249 120 W. Campbell Ave., Suite D Campbell, CA 95008	Kurt B. Anderson, AIA Principal Tel. (408) 371-1249 Fax. (408) 371-1276 www.andersonarch.com
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Client:

Arya Properties LLC

16400 Lark Ave.  
Los Gatos, CA 95032

Project:

Arya

15300-15330 Los Gatos Blvd.  
Los Gatos, CA 95032

### ENTITLEMENT SUBMITTAL

Planner/Client Engineer:



Stamp:



### Issued For

No.	Description	Date
0	SB300 SUBMITTAL	11/05/23
1	PLANNING RESUBMITTAL	02/09/24
2	PLANNING RESUBMITTAL	06/30/24
3	PLANNING RESUBMITTAL	11/26/24
4	PLANNING RESUBMITTAL	07/14/2025
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Initial Submittal Date: 05/09/2024

Scale:

Drawn By: MY

Checked By: CRA

Short Title:

TENTATIVE MAP FOR

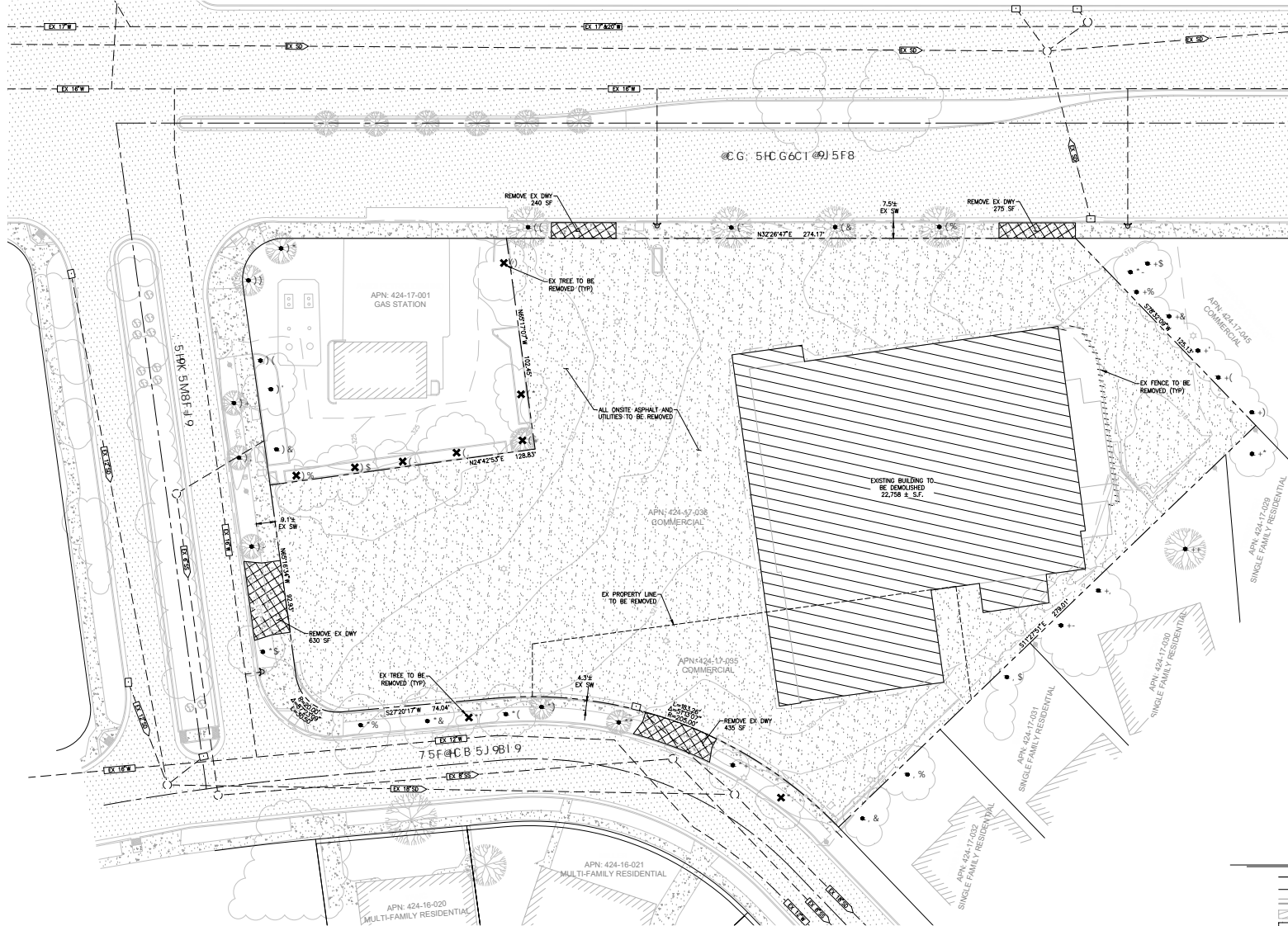
CONDOMINIUM PURPOSES

Sheet No.:

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Title: T-Submittal Los Gatos Area Job: 2024 Los Gatos Area





TREE INFORMATION									
TAG NUMBER	SPECIES	DIAMETER (IN)	STATUS	TAG NUMBER	SPECIES	DIAMETER (IN)	STATUS	TAG NUMBER	SPECIES
41	LONDON PLANE	11.3	REMAN	55	MEXICAN FAN PALM	23.2	REMAN	69	PURPLE LEAF PLUM
42	LONDON PLANE	11.0	REMAN	56	MEXICAN FAN PALM	23.6	REMAN	70	PURPLE LEAF PLUM
43	LONDON PLANE	8.1	REMAN	57	GLOSSY PRIVET	5.3, 4.9, 4.0	REMAN	71	HOLLYWOOD JUNIPER
44	LONDON PLANE	9.0	REMAN	58	SWAMP MAHOGANY	6.3	REMAN	72	HOLLYWOOD JUNIPER
45	AFRICAN SUMAC	14.8	REMOVE	59	GLOSSY PRIVET	9.7	REMAN	73	HOLLYWOOD JUNIPER
46	CAMPBOR	11.3, 10.9	REMOVE	60	COAST LIVE OAK	10.2	REMAN	74	SOUTHERN MAGNOLIA
47	CAMPBOR	8.1	REMOVE	61	COAST LIVE OAK	17.6	REMAN	75	HOLLYWOOD JUNIPER
48	CAMPBOR	16.2	REMOVE	62	COAST LIVE OAK	10.4	REMAN	76	COAST LIVE OAK
49	CAMPBOR	9.8	REMOVE	63	COAST LIVE OAK	5.0	REMOVE	77	MEXICAN FAN PALM
50	CAMPBOR	12.7	REMOVE	64	COAST LIVE OAK	11.5	REMAN	78	PINUS SP
51	CAMPBOR	12.1	REMOVE	65	HOLLY OAK	2.6	REMAN	79	COAST LIVE OAK
52	CAMPBOR	7.1	REMAN	66	GLOSSY PRIVET	8.5	REMAN	80	DAVID LOCUST
53	CAMPBOR	11.8	REMAN	67	GLOSSY PRIVET	11.8	REMAN	81	AVOCADO
54	CAMPBOR	15.6	REMAN	68	GLOSSY PRIVET	11.6	REMOVE	82	MAGNOLIA

LEGEND	
---	PROJECT BOUNDARY
---	RIGHT OF WAY
---	EXISTING CURB & GUTTER
---	EXISTING BUILDING
---	EXISTING PAVEMENT
---	EXISTING CONCRETE
---	EXISTING OVERHEAD LINE
---	EXISTING CONTOUR
---	EXISTING TREE

**EXISTING ONSITE UTILITY NOTE**  
ALL EXISTING PRIVATE ONSITE UTILITIES ARE TO BE REMOVED AND CAPPED AT THE PROPERTY LINE.

**EXISTING TREE NOTE**  
ALL EXISTING TREES WITHIN THE PROJECT BOUNDARY SHALL BE REMOVED WITH THIS DEVELOPMENT. SEE SHEET L-5.1.

**Anderson**  
Kurt B. Anderson, AIA  
Principal  
kanderson@andersoninc.com  
408.282.5462  
120 W. Campbell Ave, Suite D  
Campbell, CA 95008  
Tel: 408.371.1369  
Fax: 408.371.1276  
www.andersoninc.com

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Client:  
**Arya Properties LLC**  
16400 Luck Ave.  
Los Gatos, CA 95032

Project:  
**Arya**  
15300-15330 Los Gatos Blvd.  
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Professional Engineer:  
**WOOD RODGERS**  
BUILDING RELATIONS DIVISION ONE PROJECT AS A TYPE  
3875 HOPKINS ROAD, STE 345 TEL 925.847.1955  
PLEASANTON, CA 94588 FAX 925.841.7787



Issued For		
No.	Description	Date
0	SB30 SUBMITTAL	11/8/23
1	PLANNING SUBMITTAL	05/09/24
2	PLANNING RESUBMITTAL	06/26/24
3	PLANNING RESUBMITTAL	11/26/24
4	PLANNING RESUBMITTAL	03/14/2025
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Initial Submittal Date: 05/09/2024  
Scale:  
Drawn By: MZ  
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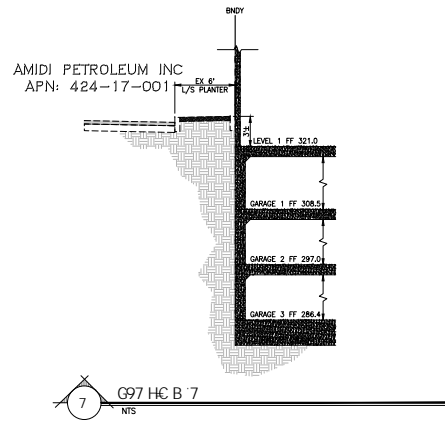
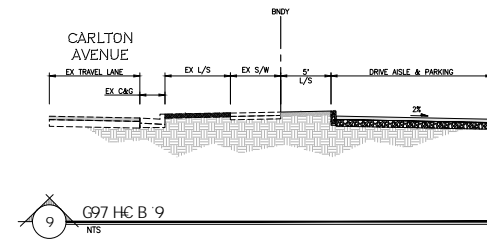
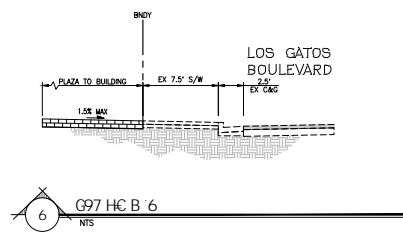
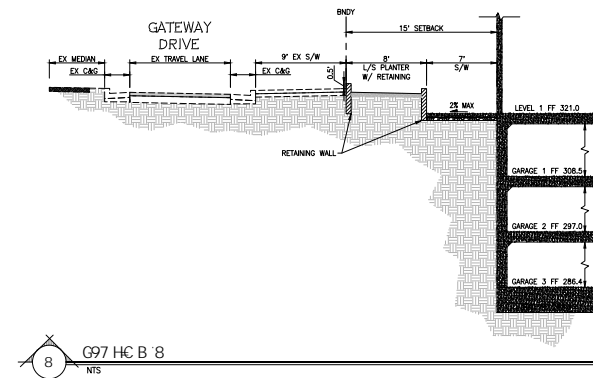
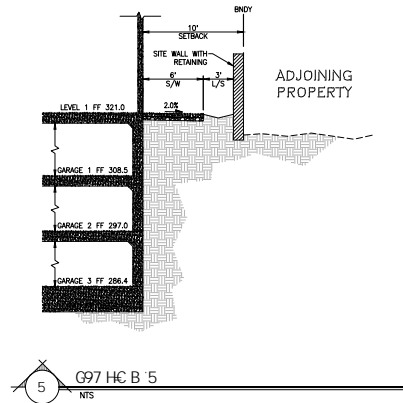
EXISTING CONDITIONS PLAN

Sheet No.:

C1.0







**Anderson & Anderson, Inc.**  
 kander@andandinc.com  
 408.202.5462  
 120 W. Campbell Ave., Suite D  
 Campbell, CA 95008  
 Tel: 408.271.1269  
 Fax: 408.271.1276  
 www.andandinc.com

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Client:  
**Arya Properties LLC**  
 16400 Lark Ave.  
 Los Gatos, CA 95032

Project:  
**Arya**  
 15300-15330 Los Gatos Blvd.  
 Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Prepared Civil Engineer:  
**WOOD RODGERS**  
 BUILDING RELATIONSHIP ONE PROJECT AT A TIME  
 3875 HOPKINS ROAD, STE 345 TEL 925.847.1956  
 PLACENTIA, CA 94666 FAX 916.341.7787



Issued For

No.	Description	Date
0	SB30 SUBMITTAL	11/03/23
1	PLANNING SUBMITTAL	05/09/24
2	PLANNING RESUBMITTAL	06/26/24
3	PLANNING RESUBMITTAL	11/26/2024
4	PLANNING RESUBMITTAL	03/14/2025
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Initial Submittal Date: 05/09/2024

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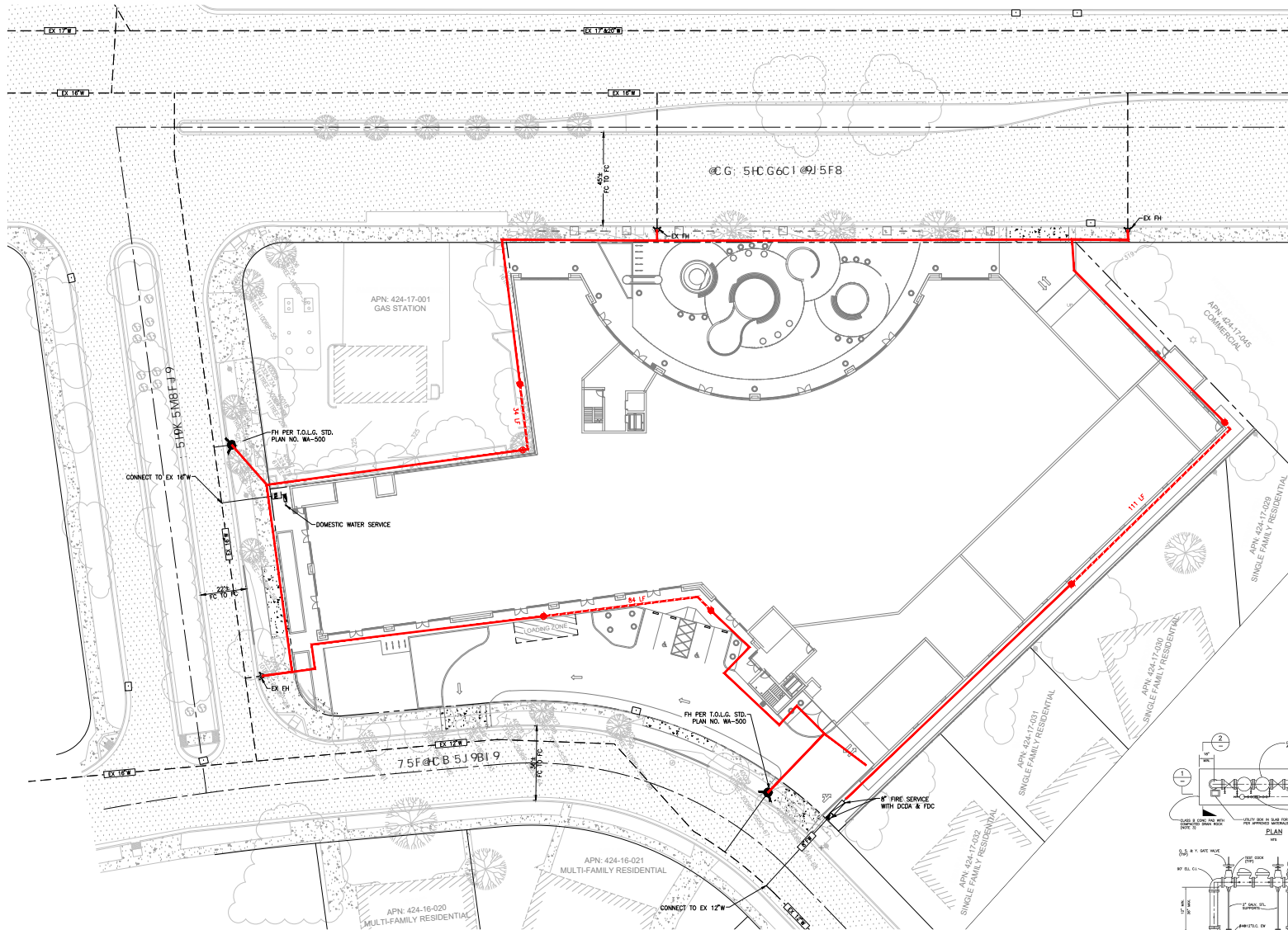
GRADING SECTIONS

Sheet No.: **C2.1**

File: J:\3dbs\4294 Los Gatos Ave. Title: 4294 Los Gatos Ave.







#### ABBREVIATIONS

CFC CALIFORNIA FIRE CODE  
EX EXISTING  
FH FIRE HYDRANT  
GPM GALLONS PER MINUTE  
PSI POUNDS PER SQUARE INCH  
W WATER

#### LEGEND

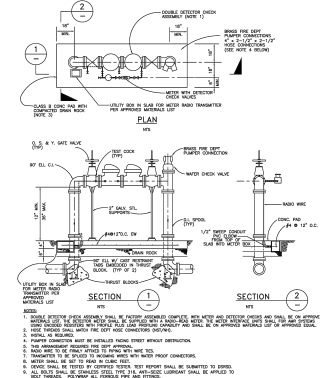
PROPOSED FIRE HYDRANT  
PROPOSED FIRE HYDRANT  
150' HOSE PULL  
PATH EXCEEDING 150' HOSE PULL

#### FIRE FLOW DATA

THE MINIMUM REQUIRED FIRE FLOW FOR THIS PROJECT IS 4,500 GPM AT 20 PSI RESIDUAL PRESSURE. THIS FIRE FLOW ASSUMES A 75% REDUCTION FOR THE INSTALLATION OF AUTOMATIC FIRE SPRINKLERS PER CFC SECTION 903.3.1.3

#### DEFERRED SUBMITTALS

- STANDPIPES SYSTEM DESIGN IS DEFERRED WITH THIS PLANNING SUBMITTAL AND WILL BE PROVIDED PRIOR TO BUILDING PERMIT.
- TWO-WAY COMMUNICATION SYSTEM DESIGNED IS DEFERRED AND WILL BE PROVIDED PRIOR TO BUILDING PERMIT.



8\"/>

NTS

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**Arya Properties LLC**  
 16400 Lark Ave.  
 Los Gatos, CA 95032

Project:  
**Arya**  
 15300-15330 Los Gatos Blvd.  
 Los Gatos, CA 95032

#### ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:  
**WOOD RODGERS**  
 BUILDING RELATIONSHIP ONE PROJECT AS A FIRE  
 3875 HOPKIN ROAD, STE 345 TEL 925.847.1955  
 PLACENTIA, CA 94669 FAX 916.341.7707

Stamp:  
 PROFESSIONAL SEAL  
 No. C75740  
 Exp. 06-30-24  
 STATE OF CALIFORNIA

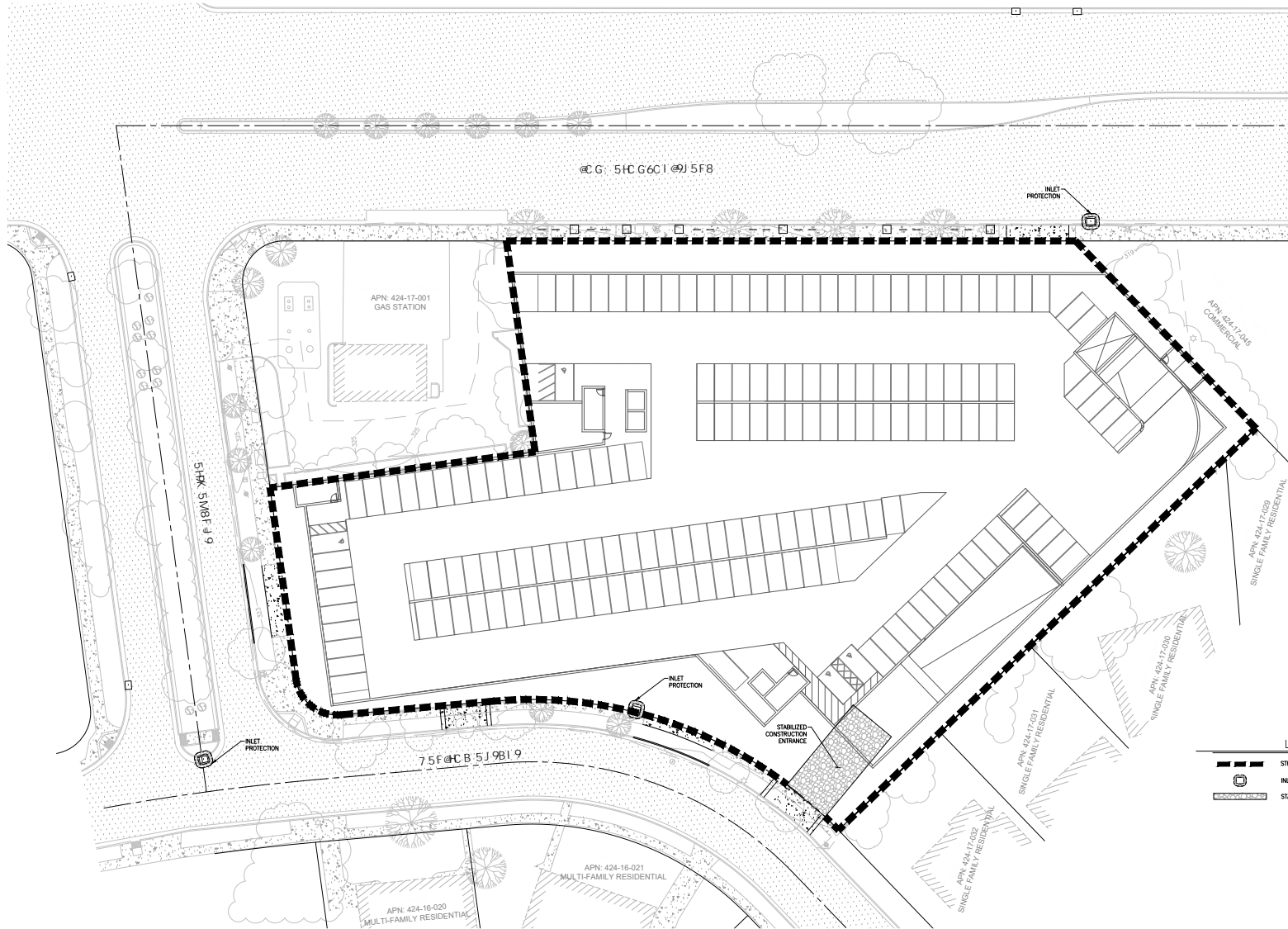
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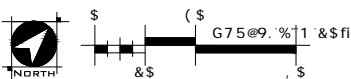
#### PRELIMINARY FIRE PROTECTION PLAN

Sheet No.:

C4.0



- LEGEND
- STRAW WATTLE/FIBER ROLL (SE-5)
  - INLET PROTECTION (SE-10)
  - STABILIZED CONSTRUCTION ENTRANCE/EXIT (TC-1)



ANDERSON  
ENGINEERS

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Kurt B. Anderson, AIA  
Principal  
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The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be prohibited in whole or in part, is prohibited. Title to the plans and specifications remains with ANDERSON AND ASSOCIATES, INC. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

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**Arya Properties LLC**  
16400 Lark Ave.  
Los Gatos, CA 95032

Project:  
**Arya**  
15300-15330 Los Gatos Blvd.  
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:

**WOOD RODGERS**  
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME  
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PLACENTIA, CA 94668 FAX 916.341.7787



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Initial Submittal Date: 05/09/2024

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Drawn By: MY

Checked By: CRA

Sheet Title:

PRELIMINARY EROSION  
CONTROL PLAN

Sheet No.: **C5.0**



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Client:  
ARYA PROPERTIES LLC

16400 LARK AVENUE  
LOS GATOS, CA 95032

Project:  
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

15300 and 15330 Los Gatos Blvd.

	Existing Parcel 2	Existing Parcel 1	Proposed	Town Requirements	Notes
Address	15300 LGB	15330 LGB			
APN	424-17-036	424-17-035		Merge Lot and Condo Subdivision	
Land Use Designation	Mixed Use Commercial	Low Density Residential	Mixed Use Commercial		
Zoning	C-1-MEQZ	C-1			Vested at C-1
Lot Size	69,521.76 s.f.	11,057 s.f.	82,764 s.f. (1.9 acres)	--	
Built Use	1960 Commercial - Ace Hardware	1960 Commercial	Multiple-family dwelling (in a mixed-use project) and a restaurant	CUP	
Housing Units					
• Market	--	--	140 units	--	
• Affordable	--	--	35 units - 20%	Town BMP 20 %	
Total	--	--	175 units	--	
Density	--	--	92 du/acre	20 du/ac	Exceeds max density
Floor Area					
• Commercial	16,675 s.f.	3,150 s.f.	37,862 + 8186.6 = 46,048.6 s.f.		
• Residential	--	--	348,056.5 s.f.		
• Below Grade	--	--	59,529+59,523+62,488 s.f. = 181,534 s.f.		
Total Gross s.f.	16,675 s.f.	3,150 s.f.	575,639.1 s.f.		
Height	24 ft. max.	24 ft. max.	116 ft. - 6 in. max.	35 ft. max.	9 stories above ground
Setbacks					
• Front	40 ft. min.	40 ft. min.	15 ft. min.	15 ft min	
• Abutting a Street	28 ft. min.	28ft. min.	15 ft. min. 9'-6" Stair Tower	15 ft min	Gateway Dr.
• Abutting a Street	28 ft. min.	28 ft. min.	3'-4" ft. min. 36'-10" Max.	15 ft min. + + one foot for each foot of building	Carlton Ave. Residential Across Street

				height over 20 ft.)	
• Side	28 ft. min.	28 ft. min.	0 ft. min.	15 ft min	
• Rear	7 ft. min.	7 ft. min.	13' - 4"ft. min.	20 ft + one foot for each foot of building height over 20 ft.)	Residential at the Rear
Parking					
• Commercial	--	--	162 spaces	184 spaces	43,144 s.f./235 s.f.
• Condominium	--	--	310 spaces (88 space are tandem)	364 spaces	2 spaces per unit x 182
• Condo Visitor	--	--	Commercial garage after hours	182 spaces	1 space per unit x 182
Total			Total provided with tandem spaces= 310 spaces  Total provided without counting tandem spaces = 134 spaces	730 spaces	332 spaces short (no tandem)  244 spaces short including tandem
Bicycle parking					
• Short Term			76 spaces	182 spaces + 43144/2,000= 22 spaces = 204 spaces	1 space per dwelling unit + 1 space per 2,000 s.f. nonresidential  Not provided
• Long Term			228 spaces	182 spaces	Exceeds long term requirement
Landscape Area	--	--	19461 s.f. ( 23.5 % )	16,552.8 s.f.	20 percent of site landscaped.
Community Recreation Spaces	--	--	61,101.6 s.f.	18,421 s.f.	100 s.f. x 175 units + 2% of non res s.f. (46,048.2 s.f.)
Private Recreational Space	--	--	45,429.4 s.f.	10,500 s.f.	Ground floor unit min 120 sf. Balconies min 60 s.f.

Updated: 09-24-24

Stamp:



Issued For

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0	Planning Submittal	06/09/24
3	3rd Planning Resubmittal	03/17/25

Initial Issued Date: 02/04/25

Scale:

Drawn By: Author

Checked By: Checker

Sheet Title:

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Sheet No.:

C208

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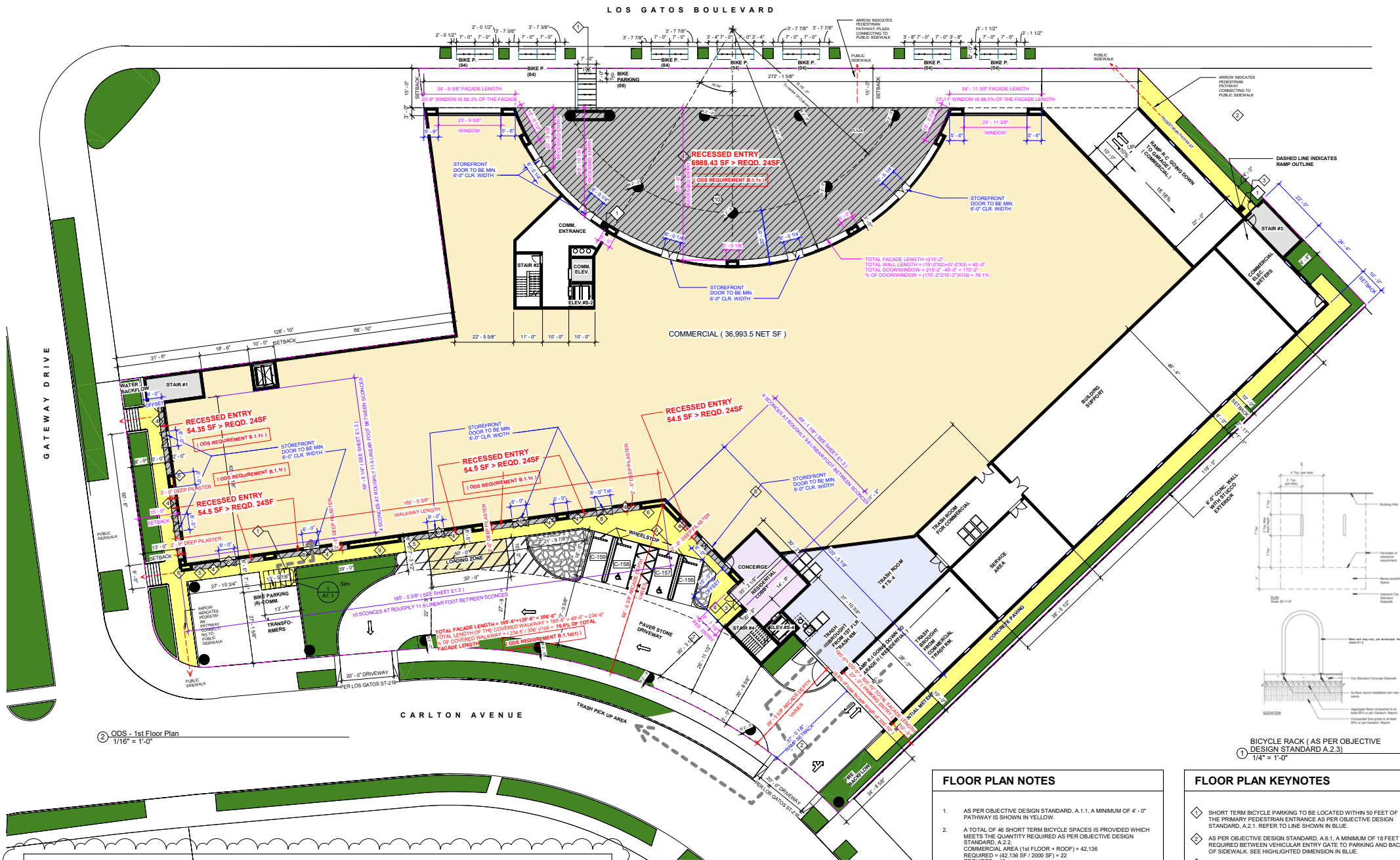
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16400 LARK AVENUE  
LOS GATOS, CA 95032

Project:  
**THE ARYA**

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032



### OBJECTIVE DESIGN STANDARDS - Massing And Scale Requirements - COMPLIANCE

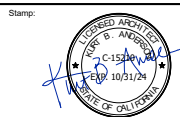
- LOS GATOS BOULEVARD FACING FACADE**
  - \* A MIN. 40% OF THE UPPER FLOOR FACADE LENGTH STEPS BACK FROM THE PLANE FROM THE GROUND FLOOR FACADE BY AT LEAST 5 FEET PER BUILDING STANDARDS B.1.1a
  - WE HAVE 43.5% OF THE UPPER FLOOR THAT STEPS BACK FROM THE PLANE FROM THE GROUND FLOOR BY MIN. 5'-0", SEE 1/A1.3
  - \* CHANGES IN THE FACADE PLANE WITH A MIN. CHANGE IN DEPTH OF 2'-0" FOR A MIN. LENGTH ALONG THE FACADE OF 2'-0" AT INTERVALS NO MORE THAN 30'-0" PER BUILDING STANDARDS B.1.1b
  - WE HAVE DEPTH CHANGE OF 2'-0" FOR LENGTH BETWEEN 10'-10" AND 51'-5" (> REQD. 2'-0") AND FACADE INTERVALS OF LESS THAN 30'-0", SEE 2/A1.3
  - \* RECESSED BUILDING ENTRY PROVIDED WITH A MIN. GROUND PLANE AREA OF 24SF PER BUILDING STANDARDS B.1.1c
  - WE HAVE A RECESSED ENTRY WITH A PLAZA OF 6988.43 SF GROUND PLANE AREA, SEE 1/A1.1
- GATEWAY DRIVE FACING FACADE**
  - \* CHANGES IN THE FACADE PLANE WITH A MIN. CHANGE IN DEPTH OF 2'-0" FOR A MIN. LENGTH ALONG THE FACADE OF 2'-0" AT INTERVALS NO MORE THAN 30'-0" PER BUILDING STANDARDS B.1.1b
  - WE HAVE DEPTH CHANGE OF 2'-0" FOR LENGTH BETWEEN 10'-10" AND 51'-5" (> REQD. 2'-0") AND FACADE INTERVALS OF LESS THAN 30'-0", SEE 2/A1.3
  - \* RECESSED BUILDING ENTRY PROVIDED WITH A MIN. GROUND PLANE AREA OF 24SF PER BUILDING STANDARDS B.1.1c
  - WE HAVE A RECESSED ENTRY WITH 54.5 SF OF GROUND PLANE AREA, SEE 1/A1.1
  - \* VERTICAL ELEMENTS SUCH AS PILASTERS OR COLUMNS THAT PROTRUDE A MIN. OF 1 FOOT FROM THE FACADE AND EXTEND THE FULL LENGTH OF THE BUILDING BASE OR GROUND FLOOR WHICHEVER IS GREATER OR PER BUILDING STANDARDS B.1.1f
  - WE HAVE PILASTERS WHICH ARE 2'-0" IN DEPTH AND GO THE ENTIRE HEIGHT OF THE GROUND FLOOR, SEE 1/A1.1
- CARLTON AVENUE FACING FACADE**
  - \* A MIN. 40% OF THE UPPER FLOOR FACADE LENGTH STEPS BACK FROM THE PLANE FROM THE GROUND FLOOR FACADE BY AT LEAST 5 FEET PER BUILDING STANDARDS B.1.1a
  - WE HAVE 63.6% OF THE UPPER FLOOR THAT STEPS BACK FROM THE PLANE FROM THE GROUND FLOOR BY MIN. 5'-0", SEE 1/A1.3
  - \* RECESSED BUILDING ENTRY PROVIDED WITH A MIN. GROUND PLANE AREA OF 24SF PER BUILDING STANDARDS B.1.1c
  - WE HAVE A RECESSED ENTRY WITH 54.5 SF OF GROUND PLANE AREA, SEE 1/A1.1
  - \* WALKWAY SHELTERED BY A GROUND FLOOR ARCADE WITH A MIN. 8 FOOT DEPTH ON A MIN. OF 85% OF THE STREET FACING FACADE PER BUILDING STANDARDS B.1.1d(1)
  - WE HAVE A COVERED WALKWAY FOR 76.5% LENGTH OF THE FACADE. THE ARCADE COVERS THE FULL DEPTH OF THE AREA BETWEEN THE BUILDING TO THE BACK OF THE SIDEWALK. SEE 1/A1.1

### FLOOR PLAN NOTES

- AS PER OBJECTIVE DESIGN STANDARD, A.1.1, A MINIMUM OF 4'-0" PATHWAY IS SHOWN IN YELLOW.
- A TOTAL OF 46 SHORT TERM BICYCLE SPACES IS PROVIDED WHICH MEETS THE QUANTITY REQUIRED AS PER OBJECTIVE DESIGN STANDARD, A.2.2.  
COMMERCIAL AREA (1st FLOOR + ROOF) = 42,136  
REQUIRED = 42,136 SF / 2000 SF = 22  
PROVIDED = 46  
REFER TO LANDSCAPE SHEET L1.1 FOR LOCATION.
- REFER TO DETAIL, A1.19 FOR SHORT TERM BICYCLE PARKING SPACE REQUIREMENTS AS PER OBJECTIVE DESIGN STANDARD, A.2.3
- NA
- FOR LONG TERM BICYCLE PARKING DETAIL REQUIREMENT AS PER POINTS A.3.4b, d AND e REFER TO DETAIL A1.19
- NA
- NA
- AS PER OBJECTIVE DESIGN STANDARD, B.4.5, CHANGES IN BUILDING MATERIALS OCCUR AT INSIDE CORNERS.

### FLOOR PLAN KEYNOTES

- SHORT TERM BICYCLE PARKING TO BE LOCATED WITHIN 50 FEET OF THE PRIMARY PEDESTRIAN ENTRANCE AS PER OBJECTIVE DESIGN STANDARD, A.2.1. REFER TO LINE SHOWN IN BLUE.
- AS PER OBJECTIVE DESIGN STANDARD, A.6.1, A MINIMUM OF 18 FEET IS REQUIRED BETWEEN VEHICULAR ENTRY GATE TO PARKING AND BACK OF SIDEWALK. SEE HIGHLIGHTED DIMENSION IN BLUE.
- AS PER OBJECTIVE DESIGN STANDARD, A.6.3, A PEDESTRIAN GATE PROVIDED TO ACCESS PARKING STRUCTURE. AS PER OBJECTIVE DESIGN STANDARD, A.6.4, IT IS 50% OPEN VIEW.
- AS PER OBJECTIVE DESIGN STANDARD, B.1.1c, A BUILDING ENTRY SHOULD BE RECESSED AND THE MINIMUM AREA SHOULD BE 24 SQ FT.
- AS PER OBJECTIVE DESIGN STANDARD, B.1.1d THE EXTERIOR ARCADE IS COVERED, IT IS MORE THAN 8 FEET WIDE AND IS MORE THAN 65% OF THE FULL BUILDING FACADE.
- AS PER OBJECTIVE DESIGN STANDARD, B.1.1f, FULL HEIGHT PILASTERS ARE SHOWN.
- AS PER OBJECTIVE DESIGN STANDARD, B.4.6a, THE PEDESTRIAN ENTRANCE IS RECESSED 10 FT 4 INCHES, WHICH MEETS THE MINIMUM 3 FEET REQUIREMENT AND IS COVERED.
- AS PER OBJECTIVE DESIGN STANDARD, B.4.7c, RESIDENTIAL STOREFRONT ENTRY IS 6 FEET
- AS PER OBJECTIVE DESIGN STANDARD, B.4.12b, MULTIPLE PILASTERS, MINIMUM 2 FEET WIDE ARE SHOWN.
- AS PER OBJECTIVE DESIGN STANDARD, B.4.12c, COMMON SPACES ARE SHOWN. REFER TO LANDSCAPE SHEET L1.1 FOR MORE DETAILS.



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Sheet No.:  
**C30B**

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Arya Planning\Rev\The Arya.dwg

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ARYA PROPERTIES LLC

16400 LARK AVENUE  
LOS GATOS, CA 95032

Project:

THE ARYA

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032



ODS - Garage II - Residential (Garage III  
Sim.)  
1/16" = 1'-0"

### OBJECTIVE DESIGN STANDARDS - Facade Design and Articulation - COMPLIANCE

- LOS GATOS BOULEVARD FACING FACADE**
  - \* BALCONIES OR HABITABLE PROJECTIONS WITH A MINIMUM DEPTH OF TWO FEET FOR A MINIMUM OF 20 PERCENT LENGTH OF THE STREET FACING FACADE. PER BUILDING STANDARDS B.4.1b WE ARE COMPLIANT WITH THIS STANDARD ON LOS GATOS BOULEVARD FACADE WHERE THE PROJECTIONS ARE AT 43.2% OF THE TOTAL LENGTH OF THE FACADE WHICH IS MORE THAN REQUIRED 20%. SEE 2/A1.3
  - \* THE USE OF AT LEAST TWO DIFFERENT MATERIALS, EACH COVERING A MINIMUM OF 20 PERCENT OF THE STREET FACING FACADE. PER BUILDING STANDARDS B.4.1d WE HAVE USED STUCCO AND STONE AS THE TWO MATERIALS FOR OUR PROJECT. THE STONE COVERS 38.4% OF THE STREET FACADE LENGTH. SEE 1/A4.0
  - \* THE UPPER FLOOR SHALL IMPLEMENT A FACADE HEIGHT THAT IS MIN. 2'-0" GREATER THAN THE FACADE HEIGHT OF THE FLOOR BELOW PER BUILDING STANDARDS B.4.1e THE UPPER FLOOR HEIGHT IS 12'-0" WHICH IS 2'-0" GREATER THAN THE FLOOR BELOW AT 10'-0". THE FACADE HEIGHT IS SELF-EVIDENT WITH TALLER WINDOWS PROVIDED. SEE ALL ELEVATION SHEETS A4.1 AND A4.2
- GATEWAY DRIVE FACING FACADE**
  - \* BALCONIES OR HABITABLE PROJECTIONS WITH A MINIMUM DEPTH OF TWO FEET FOR A MINIMUM OF 20 PERCENT LENGTH OF THE STREET FACING FACADE. PER BUILDING STANDARDS B.4.1b WE ARE COMPLIANT WITH THIS STANDARD ON GATEWAY DRIVE FACADE WHERE THE PROJECTIONS ARE AT 37.6% OF THE TOTAL LENGTH OF THE FACADE WHICH IS MORE THAN REQUIRED 20%. SEE 1/A1.3
  - \* THE USE OF AT LEAST TWO DIFFERENT MATERIALS, EACH COVERING A MINIMUM OF 20 PERCENT OF THE STREET FACING FACADE. PER BUILDING STANDARDS B.4.1d WE HAVE USED STUCCO AND STONE AS THE TWO MATERIALS FOR OUR PROJECT. THE STONE COVERS 38.9% OF THE STREET FACADE LENGTH. SEE 2/A1.1
  - \* THE UPPER FLOOR SHALL IMPLEMENT A FACADE HEIGHT THAT IS MIN. 2'-0" GREATER THAN THE FACADE HEIGHT OF THE FLOOR BELOW PER BUILDING STANDARDS B.4.1e THE UPPER FLOOR HEIGHT IS 12'-0" WHICH IS 2'-0" GREATER THAN THE FLOOR BELOW AT 10'-0". THE FACADE HEIGHT IS SELF-EVIDENT WITH TALLER WINDOWS PROVIDED. SEE ALL ELEVATION SHEETS A4.1 AND A4.2
- CARLTON AVENUE FACING FACADE**
  - \* BALCONIES OR HABITABLE PROJECTIONS WITH A MINIMUM DEPTH OF TWO FEET FOR A MINIMUM OF 20 PERCENT LENGTH OF THE STREET FACING FACADE. PER BUILDING STANDARDS B.4.1b WE ARE COMPLIANT WITH THIS STANDARD ON LOS GATOS BOULEVARD FACADE WHERE THE PROJECTIONS ARE AT 71.8% AND 26.4% OF THE RESPECTIVE TOTAL LENGTH OF THE FACADE WHICH IS MORE THAN REQUIRED 20%. SEE 2/A1.3
  - \* THE USE OF AT LEAST TWO DIFFERENT MATERIALS, EACH COVERING A MINIMUM OF 20 PERCENT OF THE STREET FACING FACADE. PER BUILDING STANDARDS B.4.1d WE HAVE USED STUCCO AND STONE AS THE TWO MATERIALS FOR OUR PROJECT. THE STONE COVERS 34.4% AND 60.5% OF THE STREET FACADE LENGTH. SEE 1 AND 3/A4.1
  - \* THE UPPER FLOOR SHALL IMPLEMENT A FACADE HEIGHT THAT IS MIN. 2'-0" GREATER THAN THE FACADE HEIGHT OF THE FLOOR BELOW PER BUILDING STANDARDS B.4.1e THE UPPER FLOOR HEIGHT IS 12'-0" WHICH IS 2'-0" GREATER THAN THE FLOOR BELOW AT 10'-0". THE FACADE HEIGHT IS SELF-EVIDENT WITH TALLER WINDOWS PROVIDED. SEE ALL ELEVATION SHEETS A4.1 AND A4.2

### FLOOR PLAN NOTES

### FLOOR PLAN KEYNOTES

- CEILING HEIGHT IS 11'-0", WHICH MEETS THE MINIMUM 7'-0" REQUIREMENT AS PER THE OBJECTIVE DESIGN STANDARD, A.3.4a.
- AS PER OBJECTIVE DESIGN STANDARD, A.3.4c, LONG TERM BICYCLE PARKING SPACES SHALL BE SERVED BY AN AISLE WITH A MINIMUM WIDTH OF SIX FEET. REFER TO DIMENSION HIGHLIGHTED IN PURPLE.
- AS PER OBJECTIVE DESIGN STANDARD, A.3.2, ONE LONG TERM BICYCLE SPACE IS REQUIRED PER DWELLING UNIT.
  - TOTAL NUMBER OF DWELLING UNITS = 175
  - TOTAL NUMBER OF LONG TERM BICYCLE PARKING PROVIDED =
    - GARAGE III = 114 (46 + 68)
    - GARAGE II = 114 (46 + 68)
    - TOTAL = 228

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No.	Description	Date
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0	Planning Submittal	05/09/24
3	3rd Planning Resubmittal	03/17/25

Initial Issued Date: 11/27/24

Scale: 1/16" = 1'-0"

Drawn By: Author

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Sheet Title:

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Sheet No.:

C304

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Client:  
ARYA PROPERTIES LLC

16400 LARK AVENUE  
LOS GATOS, CA 95032

Project:  
THE ARYA

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

FLOOR PLAN NOTES

1. NA
2. NA
3. AS PER OBJECTIVE DESIGN STANDARD, A.11.1c, COMMUNITY RECREATIONAL SPACE SHALL BE PROVIDED AT A MINIMUM OF 100 SQ FT PER UNIT. REFER TO THE CALCULATIONS BELOW.  
COMMON OPEN SPACE REQUIRED: 100 SF X 175 UNITS = 17,500 SF + 2% OF COMMERCIAL SPACE (2% X 862.137 = 17.24 SF) = 17,517.24 SF  
COMMON OPEN SPACE PROVIDED: 60,639.4 SF (14,636.7 SF - 2ND FLOOR COURTYARD + 9,559.7 - ROOF LIV. + 38,443.0 - ROOF DECK)
4. AS PER OBJECTIVE DESIGN STANDARD, B.1.1a, 40% OF THE UPPER FLOOR FACADE LENGTH SHALL BE SET BACK FROM THE PLANE OF THE GROUND FLOOR FACADE BY MINIMUM OF 5 FEET. REFER TO DIMENSIONS MARKED IN RED ON 2ND FLOOR PLAN.
5. AS PER OBJECTIVE DESIGN STANDARD, B.4.1b, BALCONIES ARE MINIMUM 2 FT DEEP FOR A MINIMUM OF 20% STREET FACING FACADE
6. AS PER OBJECTIVE DESIGN STANDARD, B.4.1d, AT LEAST 2 DIFFERENT FACADE MATERIALS SHOULD BE USED COVERING MIN 20% OF THE FACADE AREA. REFER TO ELEVATIONS AND MATERIALS SHOWN ON SHEET A4.0, A4.1 AND A4.2
7. AS PER OBJECTIVE DESIGN STANDARD, B.4.1e, THE FACADE HEIGHT OF THE UPPER FLOOR (8th FLOOR) IS 12 FT AND THE HEIGHT OF THE FLOOR IMMEDIATELY BELOW IS 10 FT, WHICH MEETS THE MINIMUM 2 FEET DIFFERENCE REQUIREMENT. REFER TO ELEVATIONS SHOWN ON SHEETS A4.0, A4.1 AND A4.2
8. AS PER OBJECTIVE DESIGN STANDARD, B.4.2, ALL FACADE MATERIALS AND ARCHITECTURAL DETAILS ARE USED ON ALL BUILDING FACADES. REFER TO ELEVATIONS SHOWN ON SHEETS A4.0, A4.1 AND A4.2
9. AS PER OBJECTIVE DESIGN STANDARD, B.4.11, BALCONIES DO NOT PROJECT BEYOND THE BUILDING FOOT PRINT.
10. AS PER OBJECTIVE DESIGN STANDARD, B.4.13, CONTINUOUS BLANK FACADE ON ANY FLOOR DOES NOT EXCEED 25% OF ENTIRE LENGTH. REFER TO ELEVATIONS SHOWN ON SHEET A4.0, A4.1 AND A4.2

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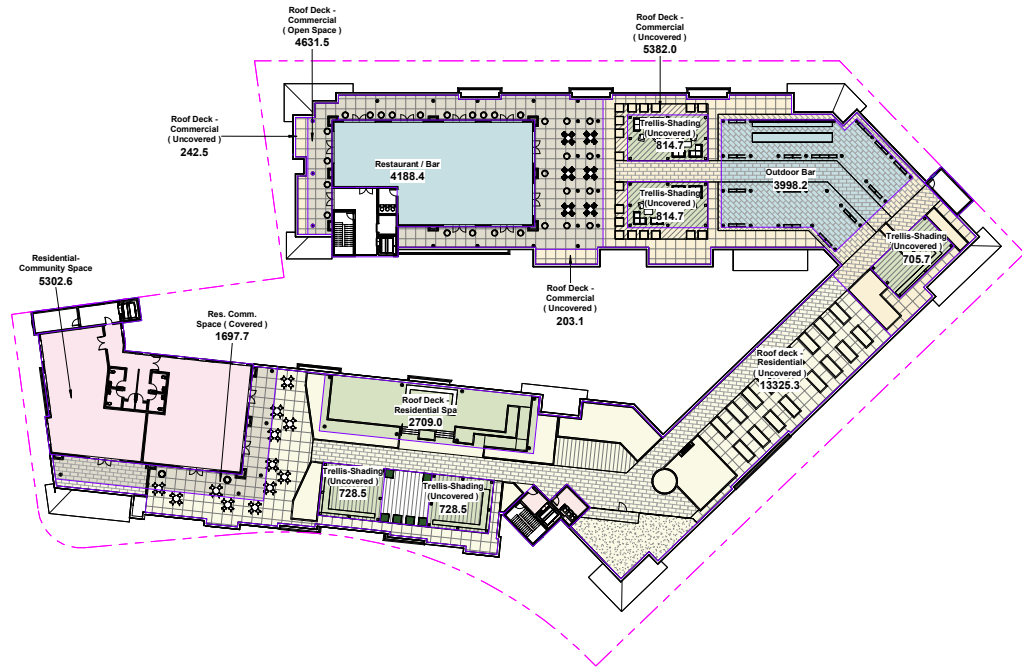
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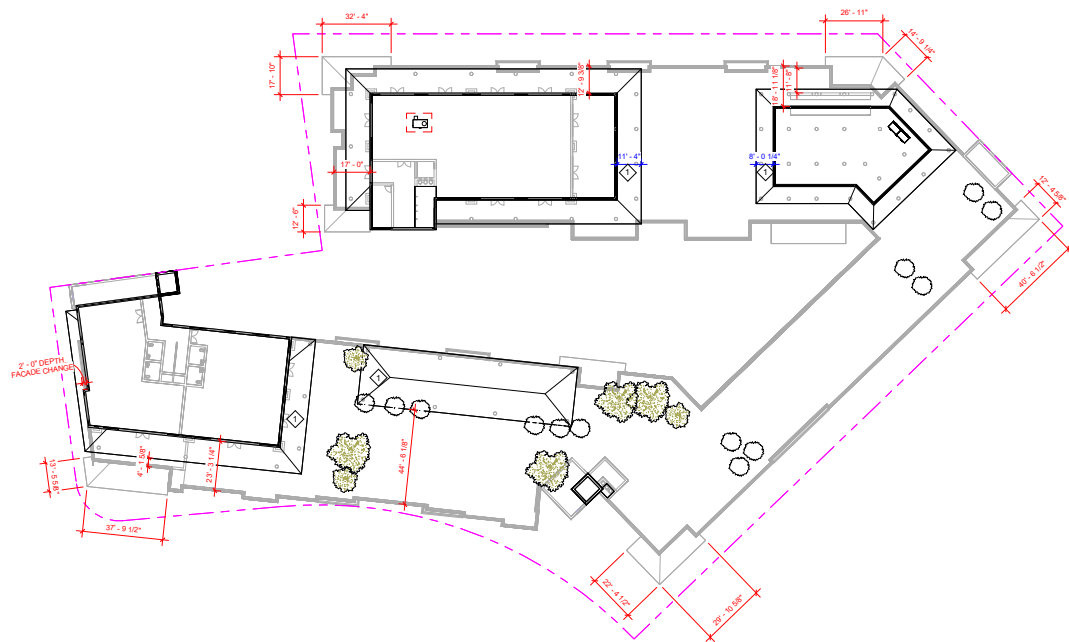
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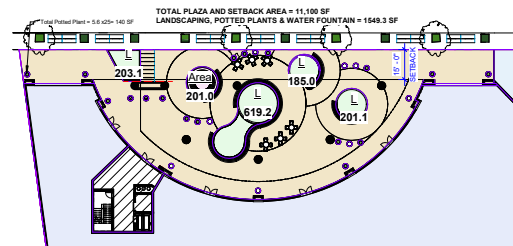
2 Community Recreation Space - Roof Level  
1" = 30'-0"



1 ODS - 9th Floor Deck Roof Plan  
1" = 30'-0"



Community Recreation Space - 2nd Floor (Podium)  
1" = 30'-0"



4 1st Floor - Plaza Area  
1/32" = 1'-0"

**Common Rec. Space Required:**  
100 SF x 175 units = 17,500 SF + 2% of Commercial Space (2% x 46,048.2 = 921 SF) = 18,421 SF

**Common Rec. Space Provided:**

**2nd Floor courtyard**  
Covered:  
1. 250.1 SF

Uncovered:  
1. 13,764.9 + Trellis (661.2 + 403.6) = 14,829.7 SF  
Total 2nd Floor Courtyard Com. Rec. Space = 250.1 + 14,829.7 = 15,079.8 SF

**Roof Level:**  
Covered:  
1. Res. Comm. space + Rest/ Bar + Outdoor Bar = 5302.6 + 4188.4 + 3998.2 = 13,489.2 SF  
2. Roof Deck covered = Spa (2709) + Roof (1697.7 + 4631.5) = 9,038.2 SF  
Total covered = 13,489.2 + 9,038.2 = 22,527.4 SF

Uncovered:  
1. Residential = 13,874.3 + 1457 (Trellis) = 15,331.3 SF  
2. Commercial = 242.5 + 5,382.4 + 203.1 + 2,335.1 (Trellis) = 8163.1 SF  
Total Uncovered = 15,331.3 + 8163.1 = 23,494.4 SF

Total Roof level Community Recreation Space = 22,527.4 + 23,494.4 = 46,021.8 SF

**TOTAL COMMUNITY RECREATION SPACE ON 2ND FLOOR & ROOF = 15,079.8 + 46,021.8 = 61,101.6 SF**

**% OF UNCOVERED SPACE (OPEN TO SKY):**  
TOTAL UNCOVERED SPACE = 14,829.7 + 23,494.4 = 38,324.1 SF  
(38,324.1 / 61,101.6) x 100 = 62.7% > 60% REQUIRED

**% OF SHADED SPACE:**  
TOTAL SHADED SPACE (TRELLIS) = 1064.8 (2ND FLOOR) + 3792.1 (ROOF LVL.) + 8216 (TREE SHADING AT 15 YRS MATURITY - SEE LANDSCAPE DWGS - ROOF LEVEL) = 1064.8 + 3792.1 + 8216 = 13,072.9 SF  
(13,072.9 / 38,324.1) x 100 = 34.1% > 15% REQUIRED

#### FLOOR PLAN NOTES

- AS PER OBJECTIVE DESIGN STANDARD, A.7.4, ROOFTOP MECHANICAL EQUIPMENT IS SCREENED. REFER TO ELEVATIONS ON SHEET A4.0, A4.1 AND A4.2 AND STREET ELEVATIONS ON SHEET A6.2.

#### FLOOR PLAN KEYNOTES

- ◇ AS PER OBJECTIVE DESIGN STANDARD, A.3.1, GABLES ARE SHOWN AND ROOF IS PROJECTING MIN 2 FT FROM THE BUILDING. REFER TO DIMENSIONS IN BLUE.

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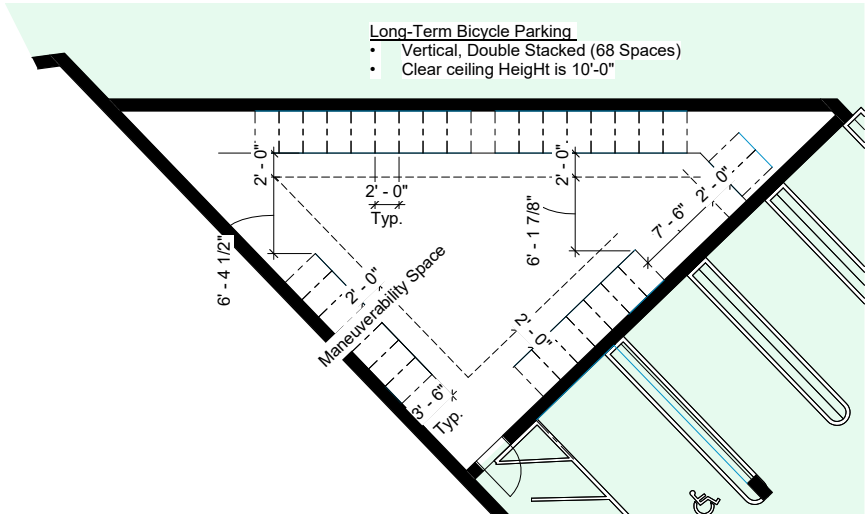
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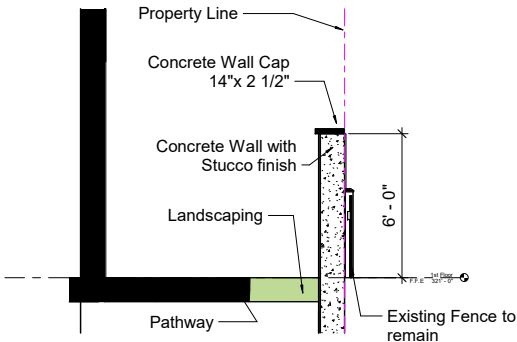
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Garage III - Long-Term Bicycle Parking,  
Garage -II Sim. ( Stair #4 )  
3/16" = 1'-0"



Masonry Wall Detail  
3/8" = 1'-0"

**landscape forms**

**RING®**  
Product Data Sheet

OR EQUAL

A simple circle hanging above ground, provides an ideal solution for bicycle storage and security that meets Association of Professional and Bicycle and Professional (APBP) requirements. Ring must be anchored. Ring can secure two bicycles parked parallel to the wall. This device can be installed in opposite directions, or in the same direction. The wall provides two-point contact to prevent the bicycle from tipping over. A standard D-shaped line lock can secure both wheels and the frame.

**Bike Rack**

- Capacity 2 bikes
- Other wall needs of 10" x 12" wall thickness steel tubing with a perforation from on these devices also.
- Ring is also available in powdercoated steel.
- Ring must be anchored.
- Ring can secure two bicycles parked parallel to the wall.
- The bicycle can be locked in opposite directions, or in the same direction.
- The wall provides two-point contact to prevent the bicycle from tipping over.
- A standard D-shaped line lock can secure both wheels and the frame.

**Finishes**

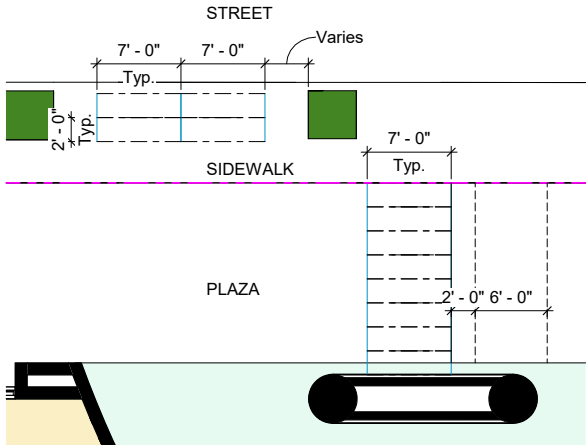
- No metal parts are finished with Landscape Forms proprietary Poragrip® polymer powdercoat, a hard yet flexible finish that resists scaling, cracking, peeling and fading.
- Call for standard color chart.

**To Specify**

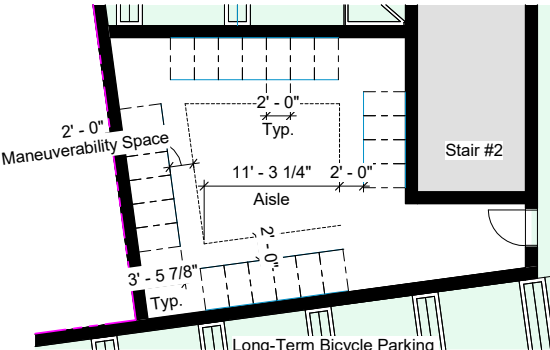
- Select the wall style, specify powdercoat color or standard steel.

**Designed by Steve Kania, IDIA**  
As Landscape Forms the design team guidelines established by the Association of Professional and Bicycle Professionals.

Visit us at [landscapeforms.com](http://landscapeforms.com) for more information. Specifications are subject to change without notice.  
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Typical Short-Term Bicycle Parking  
3/16" = 1'-0"



Garage III - Long-Term Bicycle Parking,  
Garage -II Sim. ( Stair #2 )  
3/16" = 1'-0"

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Project:  
**THE ARYA**

15300 & 15330 LOS GATOS BOULEVARD  
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REGISTERED ARCHITECT  
KURT B. ANDERSON  
C-15210  
REN. ....  
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City Revisions		
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0	PLANNING SUBMITTAL	05/09/24
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ARYA PROPERTIES LLC

Project

THE ARYA

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LOS GATOS, CA 95032

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1	Planning Resubmittal	08/30/24
2	2nd Planning Resubmittal	11/27/24

Initial Issued Date: 11/03/23

Scale:  $1/16" = 1'-0"$

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**GROSS FLOOR AREA :**  
**RES. GARAGE III = 59,522.8 SF**



① Garage III - Residential  
1/16" = 1'-0"

Required Residential Parking:

21 Studio X 1 =	21 Stalls
21 1 Bed X 1 =	21 Stalls
70 2 Bed X 2 =	140 Stalls
<u>63 3 Bed X 2 =</u>	<u>126 Stalls</u>
<b>Total 175 Units =</b>	<b>308 Stalls</b>

Required Long-term Bicycle Parking :  
1 per unit = 175

- Long-term Bicycle Parking Provided :  
( Double Stacked )

Garage III =	114
Garage II =	114
Total =	228

Motor cycle parking provided ( 3' X 6' ) :

Garage III = 12  
Garage II = 03  
Total = 15

EV Parking Required Per Cal. Green Bldg.  
Code Section 4.106.4.2.2, July 2004  
Supplement

1. EV Capable Parking @ 10%
2. EV Ready Parking @ 25%
3. EV Chargers @ 5%

Residential Parking Provided at  
Garage III:

Tandem = 96 Stalls  
Regular = 62 Stalls  
Accessible = 04 Stalls  
Total = 162 Stalls

EV Parking provided at Garage III

1. EV Capable Parking @ 10% = 18 Stalls
2. EV Ready Parking @ 25% = 42 Stalls
3. EV Chargers @ 5% = 09 Stalls

Overall Residential Parking  
Provided :

Garage II	= 148 Stalls
Garage III	= 162 Stalls
<u>Total</u>	<u>= 310 Stalls</u>

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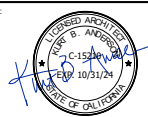
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Required Residential Parking:  
21 Studio X 1 = 21 Stalls  
70 2 Bed X 2 = 140 Stalls  
63 3 Bed X 2 = 126 Stalls  
Total 175 Units = 308 Stalls

EV Parking Required Per Cal. Green Bldg.  
Code Section 4.106.4.2.2, July 2004  
Supplement

1. EV Capable Parking @ 10%
2. EV Ready Parking @ 25%
3. EV Chargers @ 5%

Required Long-term Bicycle Parking:  
1 per unit = 175

\* Long-term Bicycle Parking Provided:  
(Double Stacked)

Garage III = 114  
Garage II = 114  
Total = 228

Motor cycle parking provided (3' X 6'):

Garage III = 12  
Garage II = 03  
Total = 15

Residential Parking Provided at  
Garage II:

Tandem = 80 Stalls  
Regular = 65 Stalls  
Accessible = 03 Stalls  
Total = 148 Stalls

Overall Residential Parking  
Provided:

Garage II = 148 Stalls  
Garage III = 162 Stalls  
Total = 310 Stalls

EV Parking provided at Garage II

1. EV Capable Parking @ 10% = 15 Stalls
2. EV Ready Parking @ 25% = 38 Stalls
3. EV Chargers @ 5% = 08 Stalls

GROSS FLOOR AREA:

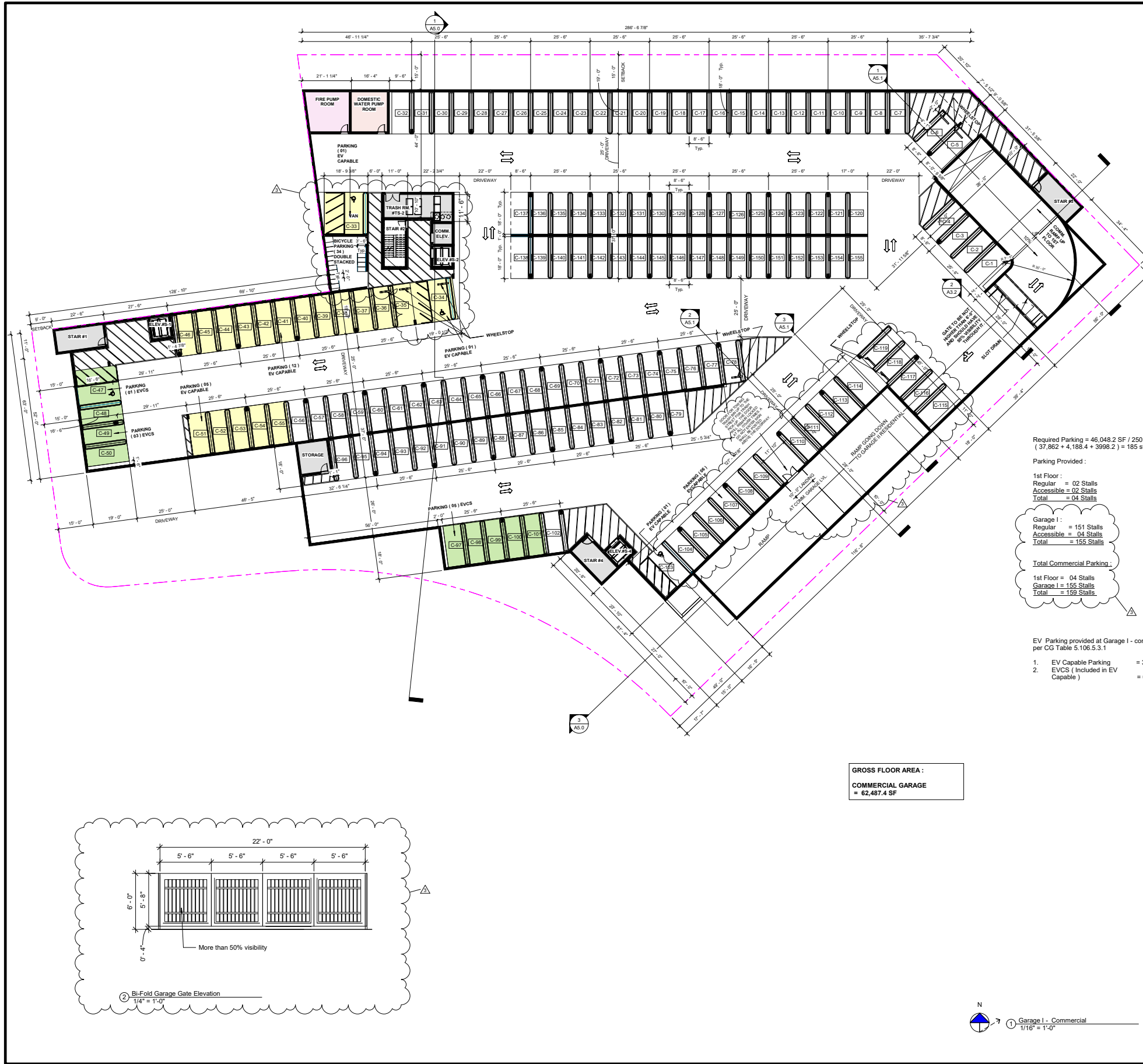
RES. GARAGE II = 59,522.8 SF

N



① Garage II - Residential  
1/16" = 1'-0"

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LOS GATOS, CA 95032

Project:  
**THE ARYA**

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

Required Parking = 46,048.2 SF / 250  
( 37,862 + 4,188.4 + 3998.2 ) = 185 stalls

Parking Provided :

1st Floor :  
Regular = 02 Stalls  
Accessible = 02 Stalls  
Total = 04 Stalls

Garage I :  
Regular = 151 Stalls  
Accessible = 04 Stalls  
Total = 155 Stalls

Total Commercial Parking :  
1st Floor = 04 Stalls  
Garage I = 155 Stalls  
Total = 159 Stalls

EV Parking provided at Garage I - commercial  
per CG Table 5.106.5.3.1

1. EV Capable Parking = 35 Stalls  
2. EVCS ( Included in EV Capable ) = 09 Stalls

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LEGISLATED ARCHITECT  
KURT B. ANDERSON  
C-15124  
EXPI. 10/31/24  
STATE OF CALIFORNIA

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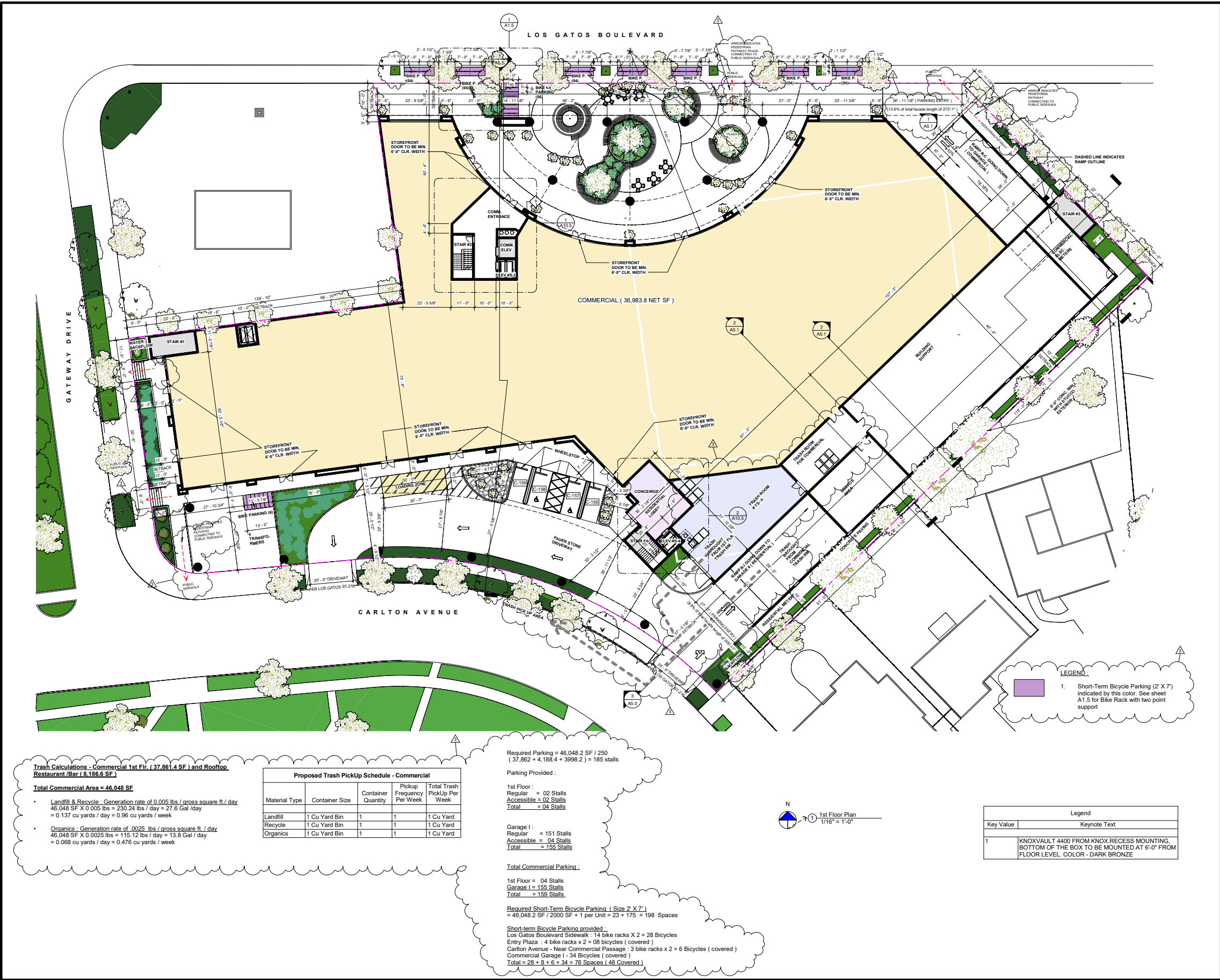
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Trash Calculations - Commercial 1st Flr. (37,861.4 SF) and Rooftop Restaurant/Bar (8,186.6 SF)

Total Commercial Area = 46,048 SF

- Landfill & Recycle: Generation rate of 0.005 lbs / gross square ft. / day  
46,048 SF X 0.005 lbs = 230.24 lbs / day = 27.6 Gal / day  
= 0.137 cu yards / day = 0.96 cu yards / week
- Organics: Generation rate of 0.0025 lbs / gross square ft. / day  
46,048 SF X 0.0025 lbs = 115.12 lbs / day = 13.8 Gal / day  
= 0.066 cu yards / day = 0.476 cu yards / week

Proposed Trash Pickup Schedule - Commercial				
Material Type	Container Size	Container Quantity	Pickup Frequency Per Week	Total Trash Pickup Per Week
Landfill	1 Cu Yard Bin	1	1	1 Cu Yard
Recycle	1 Cu Yard Bin	1	1	1 Cu Yard
Organics	1 Cu Yard Bin	1	1	1 Cu Yard

Required Parking = 46,048.2 SF / 250  
( 37,862 + 4,186.4 + 3998.2 ) = 185 stalls

Parking Provided:

1st Floor:  
Regular = 02 Stalls  
Accessible = 02 Stalls  
Total = 04 Stalls

Garage I:  
Regular = 151 Stalls  
Accessible = 04 Stalls  
Total = 155 Stalls

Total Commercial Parking:

1st Floor = 04 Stalls  
Garage I = 155 Stalls  
Total = 159 Stalls

Required Short-Term Bicycle Parking ( Size 2' X 7' )  
= 46,048.2 SF / 2000 SF + 1 per Unit = 23 + 175 = 198 Spaces

Short-term Bicycle Parking provided:

Los Gatos Boulevard Sidewalk: 14 bike racks X 2 = 28 Bicycles  
Entry Plaza: 4 bike racks X 2 = 08 bicycles ( covered )  
Carlton Avenue - Near Commercial Passage: 3 bike racks X 2 = 06 Bicycles ( covered )  
Commercial Garage I - 34 Bicycles ( covered )  
Total = 28 + 8 + 6 + 34 = 76 Spaces ( 48 Covered )

Legend	
Key Value	Keynote Text
1	KNOXVAULT 4400 FROM KNOX RECESS MOUNTING, BOTTOM OF THE BOX TO BE MOUNTED AT 6'-0" FROM FLOOR LEVEL. COLOR - DARK BRONZE

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15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

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0	Planning Submittal	05/09/24
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3	3rd Planning Resubmittal	03/17/25

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① 2nd Floor Plan  
1/16" = 1'-0"

GROSS FLOOR AREA :  
2ND FLOOR = 46,361.6 SF

Unit Count For All Floors	
Level	Unit Count
2nd Floor ( Podium )	25
3rd Floor	25
4th Floor	25
5th Floor	25
6th Floor	25
7th Floor	25
8th Floor	25
Grand total	175

Unit Count with Net Area Per Floor				
Name	Bedroom	Net Area ( S.F. )	Unit Count	
STUDIO - TYPE A 18'-6" X 29'-4"	0 Bedroom	430.4	1	
STUDIO - TYPE B 18'-3" X 28'-0"	0 Bedroom	402.4	1	
STUDIO - TYPE C 24'-0" X 31'-0"	0 Bedroom	549.2	1	
1 BEDROOM - TYPE A 32'-6" X 31'-0"	1 Bedroom	734.4	2	
1 BEDROOM - TYPE A-2 32'-6" X 31'-0"	1 Bedroom	755.2	1	
2 BEDROOM - TYPE A 53'-6" X 31'-0"	2 Bedroom	1302.1	5	
2 BEDROOM - TYPE B 51'-0" X 34'-0"	2 Bedroom	1332.3	3	
2 BEDROOM - TYPE C 51'-0" X 34'-0"	2 Bedroom	1129.5	1	
2 BEDROOM - TYPE D 51'-0" X 34'-0"	2 Bedroom	1129.5	1	
3 BEDROOM - TYPE A 54'-6" X 35'-4"	3 Bedroom	1656.6	2	
3 BEDROOM - TYPE B 54'-6" X 35'-4"	3 Bedroom	1799	1	
3 BEDROOM - TYPE C 54'-6" X 35'-4"	3 Bedroom	1809.0	1	
3 BEDROOM - TYPE D 62'-0" X 34'-0"	3 Bedroom	1687.6	1	
3 BEDROOM - TYPE E 77'-5 5/8" X 37'-4"	3 Bedroom	2013.0	1	
3 BEDROOM - TYPE F 68'-6" X 34'-4"	3 Bedroom	1895.2	2	
3 BEDROOM - TYPE G 84'-10" X 31'-0"	3 Bedroom	1962.6	1	
Grand total			25	25

#### Trash Calculations - Residential ( 175 Units )

Minimum gallons per week of service for each unit. A compactor with a compaction ratio of 4:1 will be used

- Landfill : 20 gal X 175 = 3500 gal = 17.5 = 18 cu yard
- Recycle : 20 gal X 175 = 3500 gal = 17.5 = 18 cu yard
- Organics : 10 gal X 175 = 1750 gal = 8.7 = 9 cu yard

#### Compacted values :

- Landfill : 18 cu yard / 4 = 4.5 = 5 cu yard
- Recycle : 18 cu yard / 4 = 4.5 = 5 cu yard
- Organics : 9 cu yard ( No Compaction )

#### Proposed Trash Pick Up Schedule - Residential ( 175 Units )

Material Type	Container Size	Container Quantity	Pick Up Frequency Per Week	Total Trash Pick Up Per Week
Landfill	2 cu Yard Bin	1	3	6 Cu yard
Recycle	2 cu Yard Bin	1	3	6 Cu yard
Organics	2 cu Yard Bin	1	5	10 Cu Yard

Common Rec. Space Required : 100 SF x 175 units = 17,500 SF + 2% of Commercial Space ( 2% x 46,048.2 = 921 SF ) = 18,421 SF  
Common Open Space Provided : 61,101.6 SF ( 15,079.8 SF - 2nd Floor courtyard + 46,021.8 SF - Roof Level )  
Please see sheet A1.4 for more detailed breakdown.

### INTRODUCING CHUTES INTERNATIONAL BIN BUTLER

#### THE BIN BUTLER

**MotORIZED Dumpster Dolly**

Trash dumpsters come in various sizes and weights. CHUTES Dumpster dolly is engineered to handle them all. Built with robust materials, this towing dolly provides a dependable platform for transporting industrial-size wheeled dumpsters. Its solid construction ensures stability and longevity, making it perfect for heavy-duty tasks associated with dumpster transportation.

**Bin Butler by CHUTES International**

33 Industrial Park Drive, Westport, ME 04093  
(800) 88-CHUTES (280) 449-5000 WWW.CHUTES.COM

OR EQUAL

RF control button once engaged

Battery level indicator on the foot

Forward and reverse lower underneath

Contracting bracket

**Standard Features:**

- Tow capacity of up to 8,000 pounds/3629 kilograms
- Tackles grades up to 8 percent when towing
- Speed max velocity 222 feet per minute
- Easy connect system
- 36V x 3 battery system
- Chargers work with 120 volt standard electric outlets
- Power lift option offers greater traction
- Compact design allowing for easy storage

### GTS-Apartment Trash Compactor OR EQUAL

**FEATURES:**

- Unit can be installed with high-rise elevators, ground floor garages, and all other standard equipment
- Can be deployed on single into building or into and out without service
- 4,000 LBS Capacity (1800 kg)
- 4000 LBS (1800 kg) Capacity
- Load Capacity: 1000 lbs

**DESIGN FEATURES:**

- Highly corrosion resistant, long life
- Corrosion resistant paint (1) depending on model
- Exterior composite of 100% steel and stainless

**LOADING CAPABILITIES:**

- Load the growth of a unit into a building or through the wall

**CHUTES INTERNATIONAL SOLUTIONS**

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INC.

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Cell 408.202.5462

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Principal

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Unit Count with Net Area Per Floor				
Name	Bedroom	Net Area ( S.F. )	Unit Count	
STUDIO - TYPE A	18'-6" X 29'-4"	0 Bedroom	430.4	1
STUDIO - TYPE B	18'-3" X 28'-0"	0 Bedroom	402.4	1
STUDIO - TYPE C		0 Bedroom	549.2	1
1 BEDROOM - TYPE A	32'-6" X 31'-0"	1 Bedroom	734.4	2
1 BEDROOM - TYPE A-2	32'-6" X 31'-0"	1 Bedroom	755.2	1
2 BEDROOM - TYPE A	53'-6" X 31'-0"	2 Bedroom	1302.1	5
2 BEDROOM - TYPE B	51'-0" X 34'-0"	2 Bedroom	1332.3	3
2 BEDROOM - TYPE C		2 Bedroom	1129.5	1
2 BEDROOM - TYPE D		2 Bedroom	1129.5	1
3 BEDROOM - TYPE A	54'-6" X 35'-4"	3 Bedroom	1656.6	2
3 BEDROOM - TYPE B		3 Bedroom	1799	1
3 BEDROOM - TYPE C		3 Bedroom	1809.0	1
3 BEDROOM - TYPE D	62'-0" X 34'-0"	3 Bedroom	1887.6	1
3 BEDROOM - TYPE E	77'-5 5/8" X 37'-4"	3 Bedroom	2013.0	1
3 BEDROOM - TYPE F	68'-6" X 34'-4"	3 Bedroom	1895.2	2
3 BEDROOM - TYPE G	84'-10" X 31'-0"	3 Bedroom	1962.6	1
Grand total			25	25

Unit Count For All Floors	
Level	Unit Count
2nd Floor ( Podium )	25
3rd Floor	25
4th Floor	25
5th Floor	25
6th Floor	25
7th Floor	25
8th Floor	25
Grand total	175

GROSS FLOOR AREA :

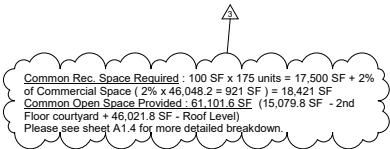
3RD FLOOR = 46,361.6 SF  
4TH FLOOR = 46,361.6 SF  
5TH FLOOR = 46,361.6 SF  
6TH FLOOR = 46,361.6 SF  
7TH FLOOR = 46,361.6 SF  
8TH FLOOR = 46,361.6 SF




① 3rd Floor ( 4th through 8th Sim. )  
1/16" = 1'-0"

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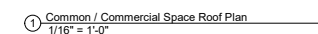




N  
  
 ① Roof Level - 9th Floor  
 $1/16" = 1'-0"$

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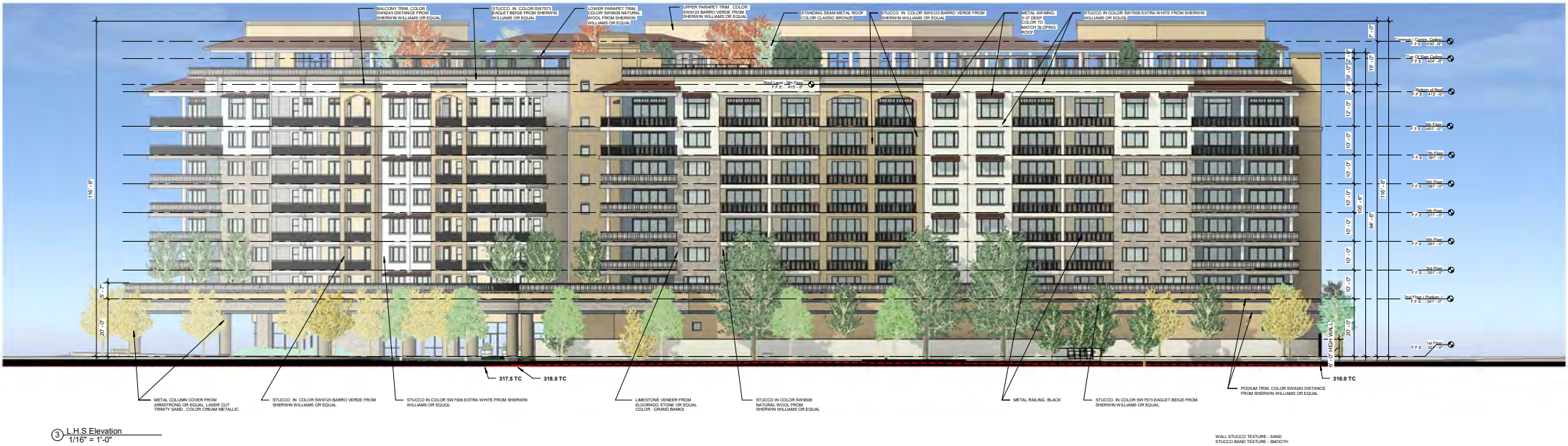
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① Los Gatos Avenue Elevation  
1/16" = 1'-0"



③ L.H.S. Elevation  
1/16" = 1'-0"

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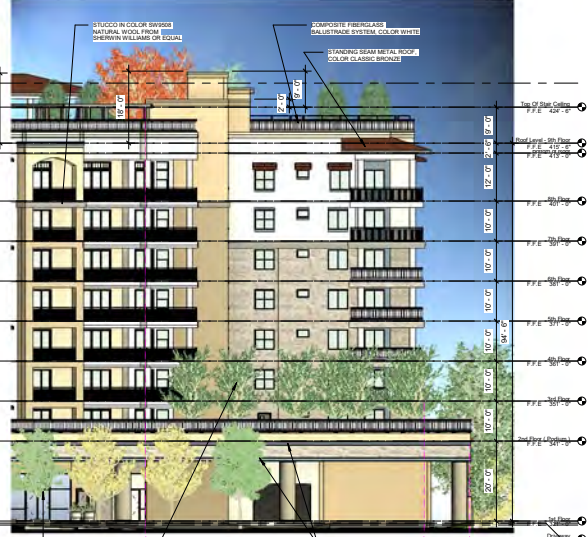
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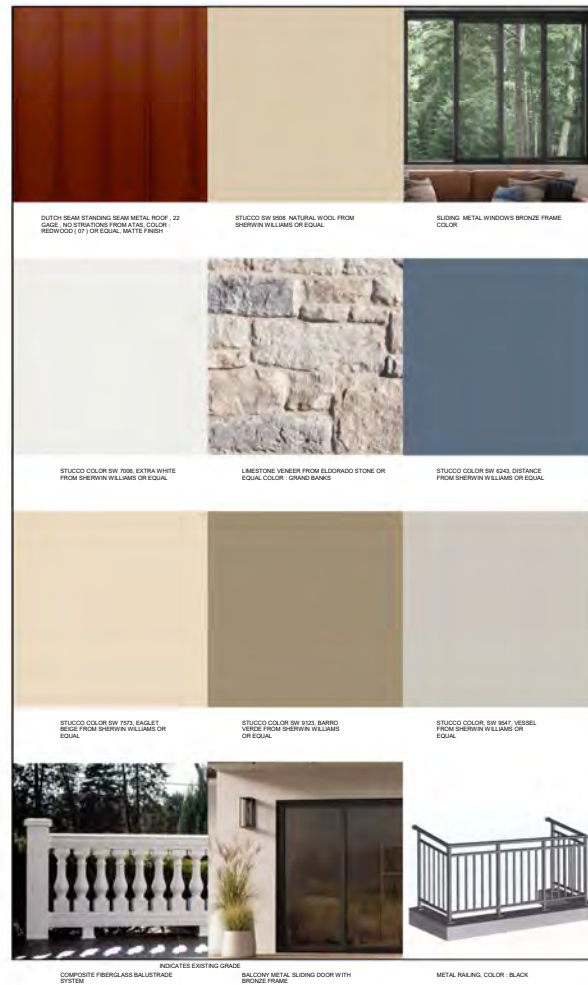
1 Carlton Avenue Elevation  
1/16" = 1'-0"



3 Carlton Ave. Partial Elevation - Facing Stair  
1/16" = 1'-0"



2 Gateway Drive Elevation  
1/16" = 1'-0"



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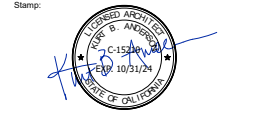
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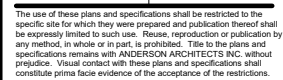
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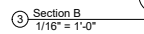
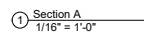




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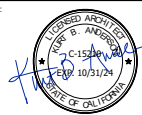
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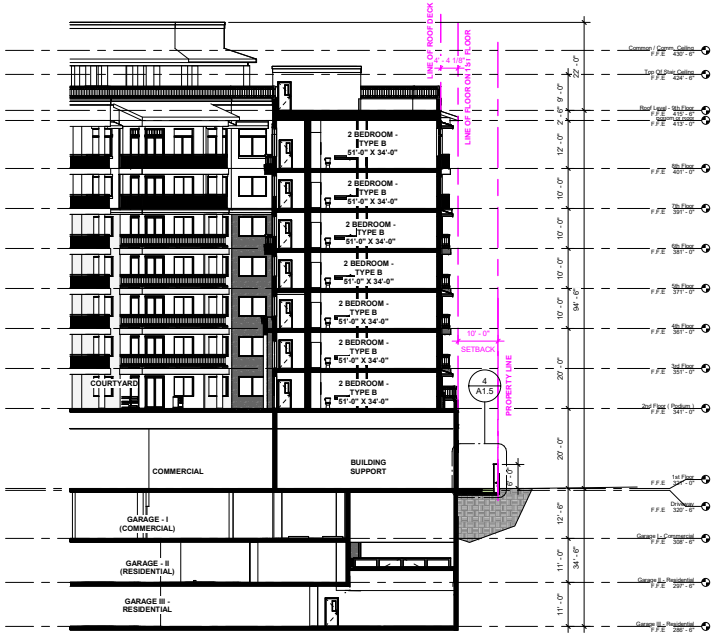
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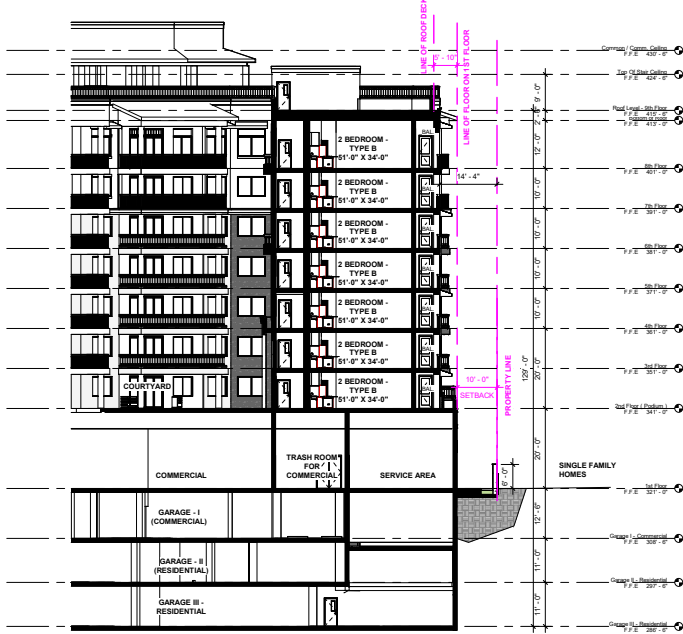
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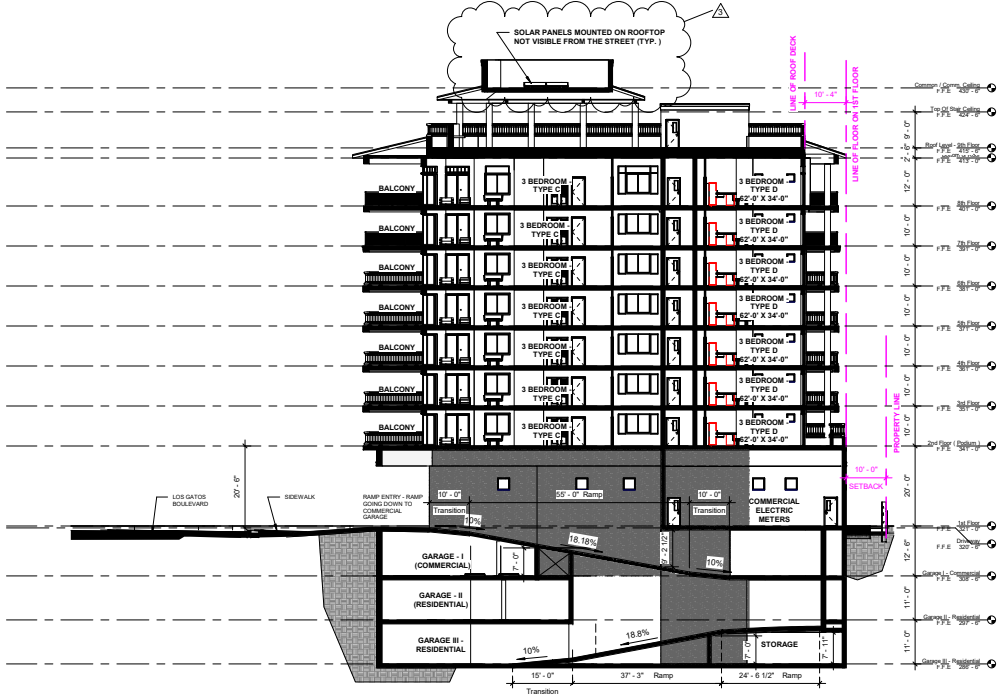
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Section 3  
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Section 1  
1/16" = 1'-0"



Garage Ramp Section  
1/16" = 1'-0"

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④ Gateway Drive View



③ Los Gatos Blvd View



② View From The Residential Area



① Carlton Avenue View

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2 Rooftop Restaurant / Bar Area



1 Rooftop Community Room View



4 Courtyard view looking at Gateway Drive



3 Courtyard View



6 Entry Plaza



5 Commercial on Carlton Avenue

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VIEW 1- ALONG LOS GATOS BLVD.



VIEW 2- ALONG CARLTON AVENUE



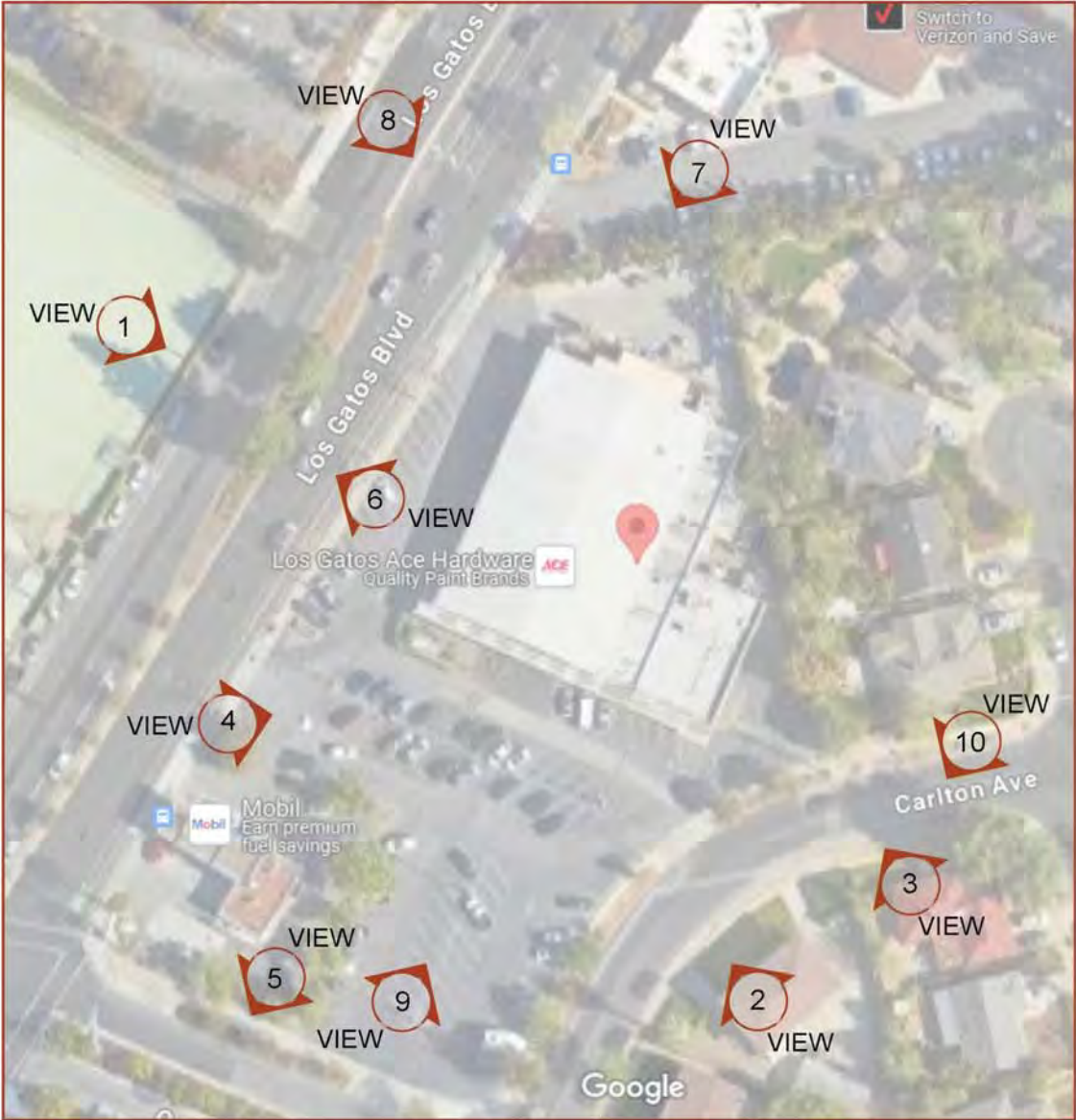
VIEW 3



VIEW 4



VIEW 5- FACING GATEWAY DR.



1 EXISTING VICINITY MAP LOCATION



VIEW 6- LOS GATOS BLVD. ACROSS THE SITE



VIEW 7



VIEW 8



VIEW 9



VIEW 10-FACING CARLTON AVENUE

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[illegible]

This aerial map illustrates the proposed building site, outlined in white and green, located at the intersection of Canyon Ave and Gateway Dr. The map shows the surrounding context, including existing residential and commercial properties. Key labels include 'San Joaquin Water Co.' to the west, 'Canyon Ave' running north-south, and 'Gateway Dr' running east-west. The proposed building is labeled 'Proposed Building M.O.B.'. Surrounding areas are labeled 'Residential' and 'Commercial'. The map also shows 'Industrial' areas to the east and south. The proposed building is situated on a corner lot, with a 'Proposed Building M.O.B.' label pointing to it. The map includes a scale bar and a north arrow.

[illegible][illegible][illegible]

R1	2 Story Apartment, 19 ft. High
R2	2 Story Apartment, 19 ft. High
R3	1 Story House, 14 ft. High
R4	1 Story House, 14 ft. High
R5	1 Story House, 15 ft. High
R6	1 Story House, 15 ft. High
R7	1 Story House, 15 ft. High
R8	1 Story House, 15 ft. High
R9	1 Story House, 15 ft. High
R10	1 Story House, 15 ft. High
R11	2 Story House, 19 ft. High

Project:

THE ARYA

15300 AND 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

No.	Description	Date
0	SB330 SUBMITTAL	11/03/23
0	PLANNING SUBMITTAL	05/09/24
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KEY MAP 



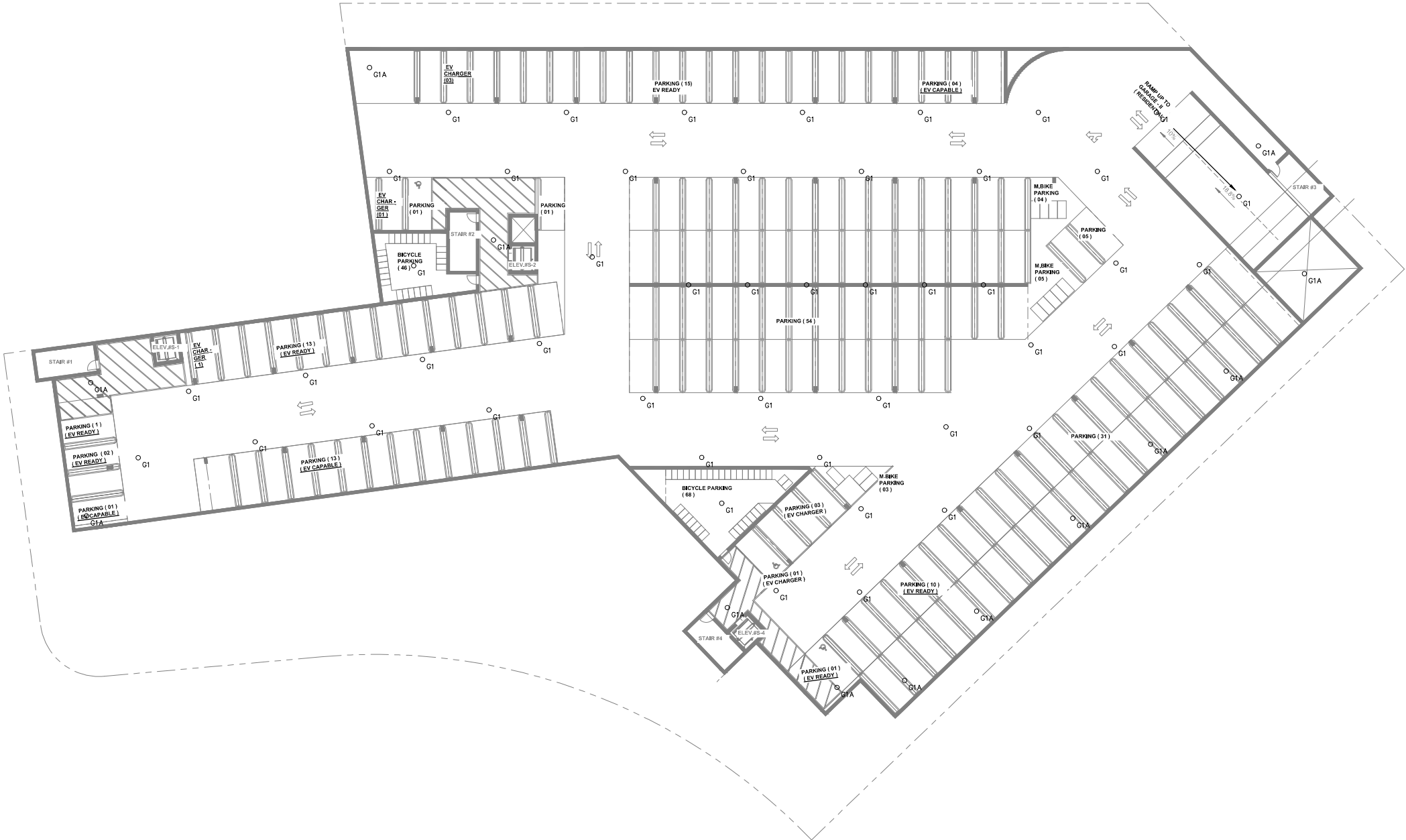
- GENERAL NOTES
1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.

2. ALL EXTERIOR MOUNTED LIGHTING SHALL BE CONTROLLED BY PHOTOCONTROL OR ASTRONOMIC TIME-CLOCK SCHEDULING PER CALIFORNIA ENERGY CODE (CENC) REQUIREMENTS 160.5(c)2. PROVIDE MOTION SENSING CONTROLS FOR LUMINAIRES OVER 40 WATTS MOUNTED LESS THAN 24' ABOVE GRADE AND WALL MOUNTED LUMINAIRES MORE THAN 24' ABOVE GRADE.

3. ALL EXTERIOR MOUNTED LUMINAIRES SHALL FOLLOW MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS FOUND IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 5.106.8.

4. ALL EXTERIOR LIGHTING SHALL BE DIMMABLE. PROVIDE LIGHTING CONTROLS FOR HIGH END TRIM TO DIM LIGHT FIXTURES TO 80% OUTPUT AT INITIAL INSTALLATION. FUTURE MAINTENANCE SHALL INCREASE OUTPUT POWER TO MAINTAIN INITIAL LIGHT LEVEL.

5. ALL EXTERIOR FIXTURES WILL COMPLY WITH THE TOWN REQUIREMENTS TO BE DOWNWARD DIRECTED AND MAINTAIN A MINIMUM 30 DEGREE SHIELDED ANGLE.



Anderson Architects INC

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Kurt B. Anderson, AIA  
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16400 LARK AVENUE  
LOS GATOS, CA 95032

Project:

THE ARYA

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

ROBISON  
ENGINEERING, INC

19401 40TH AVE W., SUITE 302  
LYNNWOOD, WA 98036  
206-864-2343 TEL  
RE PROJECT NO: 692-030  
CONTACT: JON ROBISON

Stamp:

REGISTERED PROFESSIONAL ENGINEER  
MARK H. STEINKE  
No. E-24894  
EXP. 12-31-24  
ELECTRICAL  
STATE OF CALIFORNIA

11/26/24

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Drawn By:		CM
Checked By:		AJS
Sheet Title:		

Garage III

Lighting Plan

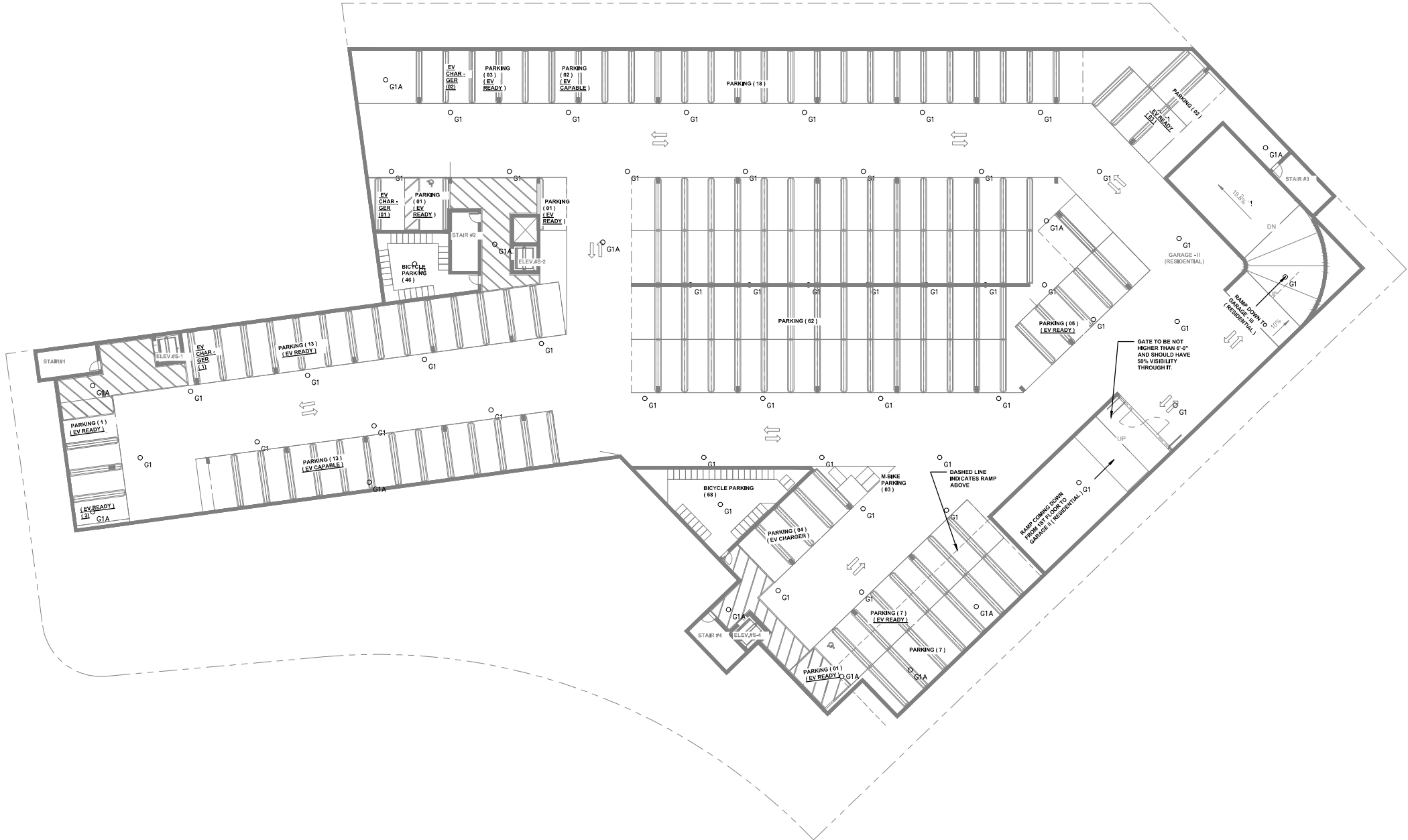
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16400 LARK AVENUE  
LOS GATOS, CA 95032

Project:

THE ARYA

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

ROBISON  
ENGINEERING, INC

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206-864-2343 TEL  
RE PROJECT NO: 692-030  
CONTACT: JON ROBISON

Stamp:

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Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title:

Garage II  
Lighting Plan

Sheet No.:

E1.1

Job: THE ARYA



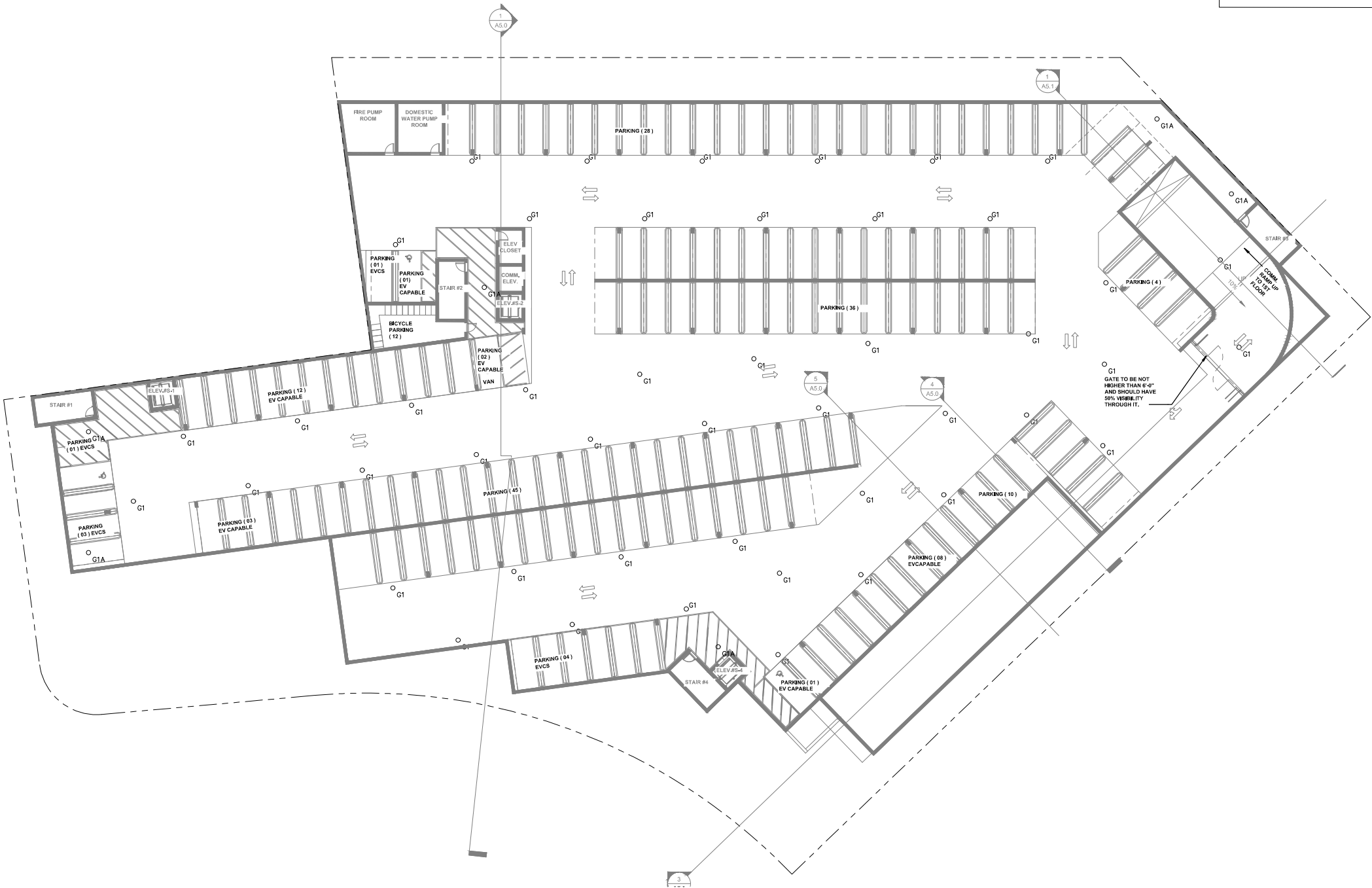
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Project:

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LOS GATOS, CA 95032

ROBISON

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REGISTERED PROFESSIONAL ENGINEER  
MARK H. STEINKE  
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Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title:

Garage I  
Lighting Plan

Sheet No.:

E1.2

Job: THE ARYA

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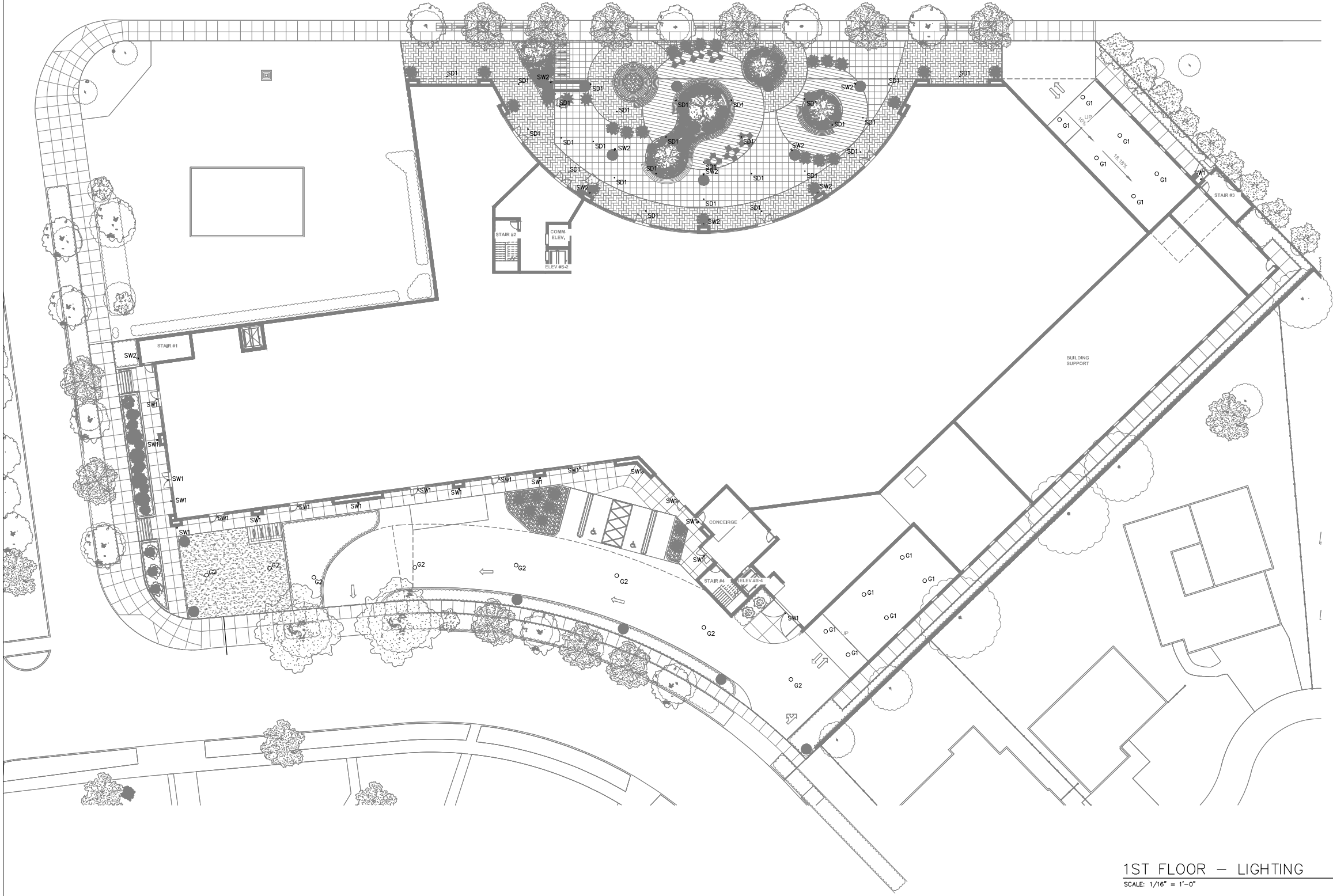
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Initial Issued Date: 08/30/24  
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Drawn By: CM  
Checked By: AJS  
Sheet Title:

1st Floor  
Lighting Plan

Sheet No.:  
  
E1.3  
Job: THE ARYA



1ST FLOOR – LIGHTING  
SCALE: 1/16" = 1'-0"



NOTE: IF SHEET NOT IS 30"X42" THEN IT IS REDUCE PRINT



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LOS GATOS, CA 95032

Project:

THE ARYA

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LOS GATOS, CA 95032

Robison Engineering, Inc

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LYNNWOOD, WA 98036  
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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title:

2nd Floor  
(Podium)  
Lighting Plan

Sheet No.:

E1.4

Job: THE ARYA

2ND FLOOR (PODIUM) – LIGHTING

SCALE: 1/16" = 1'-0"

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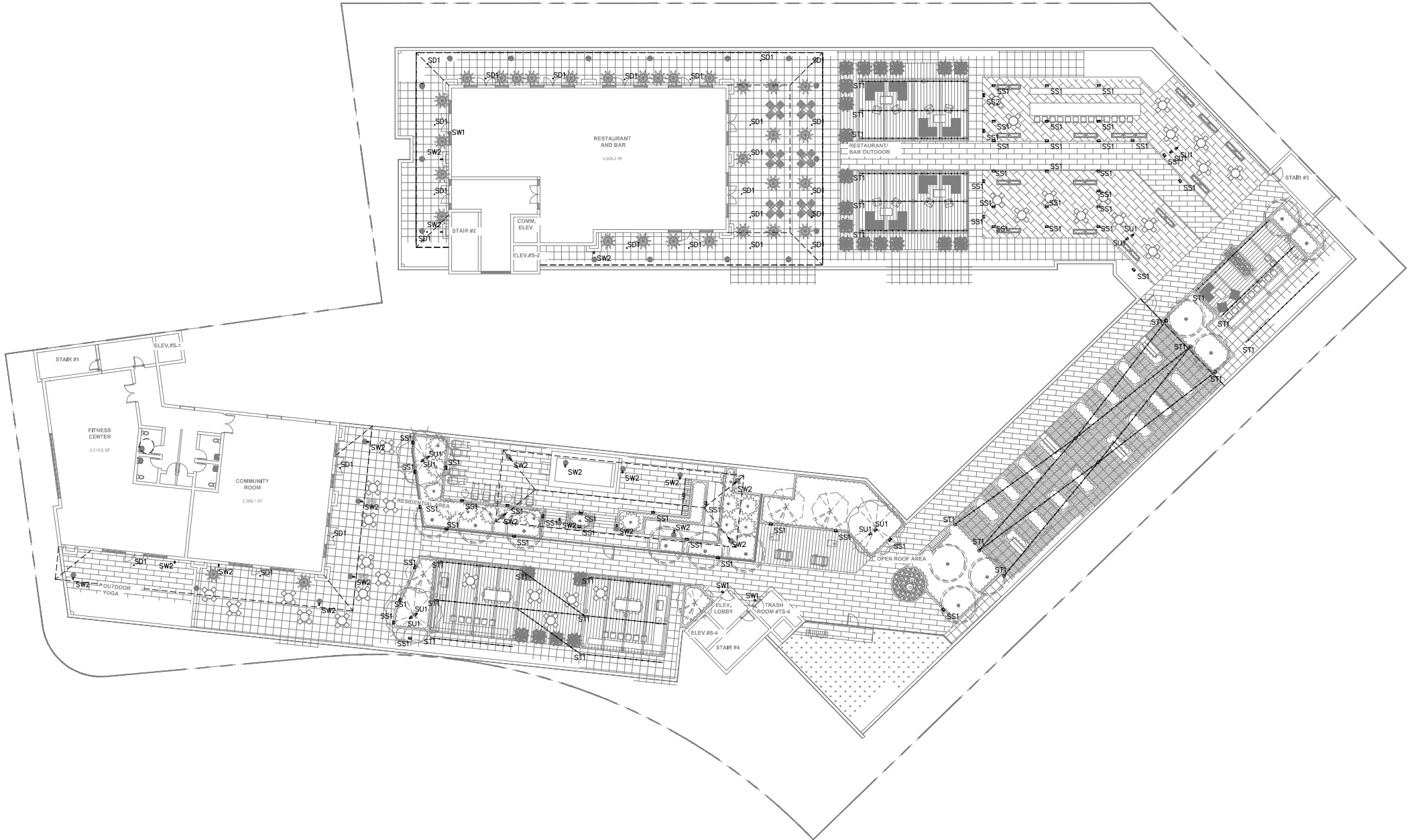
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LOS GATOS, CA 95032

Project:

THE ARYA

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LOS GATOS, CA 95032



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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AJS

Sheet Title:

Roof Lighting Plan

Sheet No.:

E1.6

Job: THE ARYA

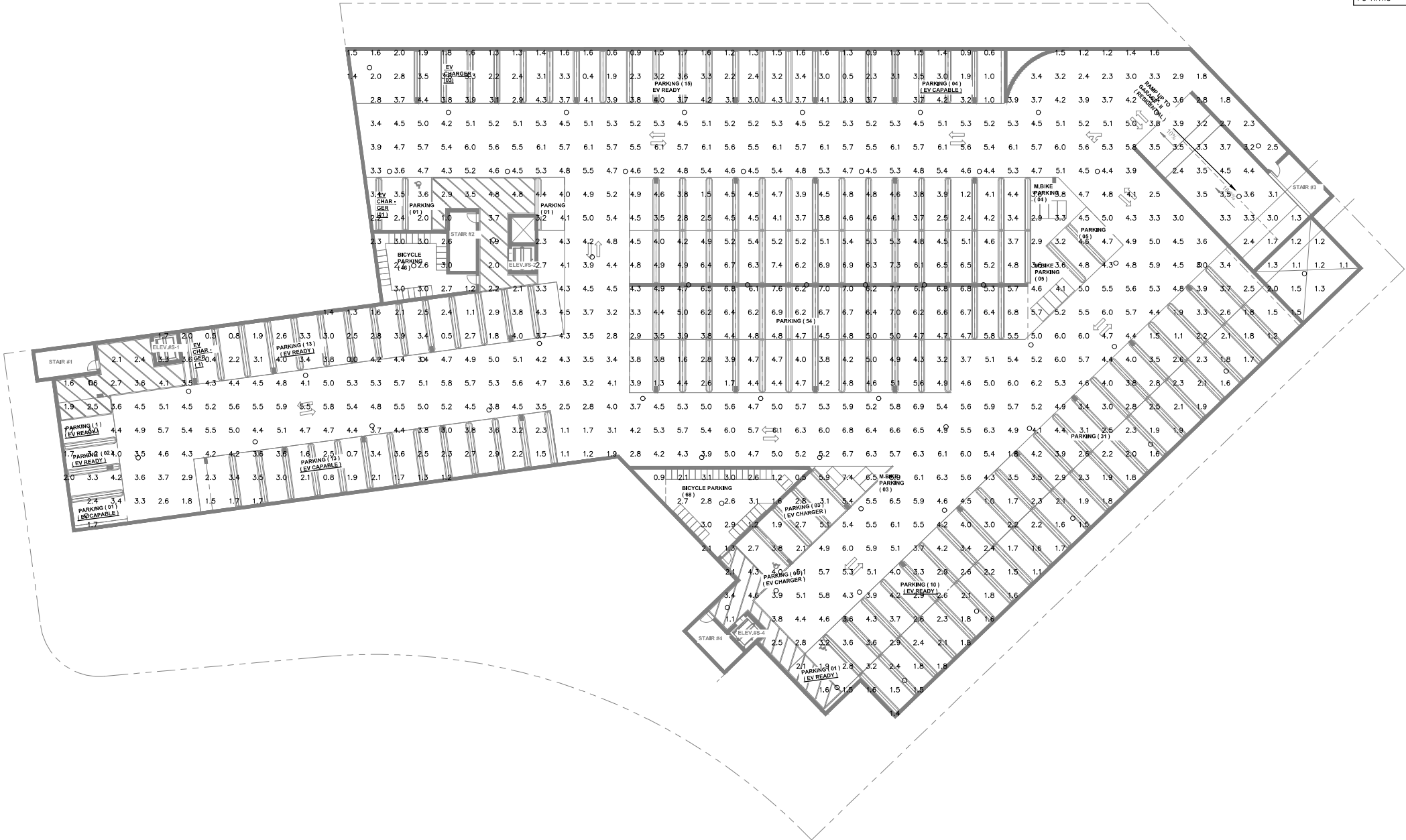


PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
4. LIGHT TRESPASS CALCULATIONS ARE FOR LIGHTING WHICH TRAVELS PAST PROPERTY LINE.

Garage Level 3  
Photometric Schedule

AVERAGE FOOT-CANDLES	3.83
MAXIMUM FOOT-CANDLES	7.7
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	7.66 / 0.00
AVERAGE TO MINIMUM FC RATIO	3.83 / 0.00



GARAGE PLAN III – PHOTOMETRIC  
SCALE: 1/16" = 1'-0"

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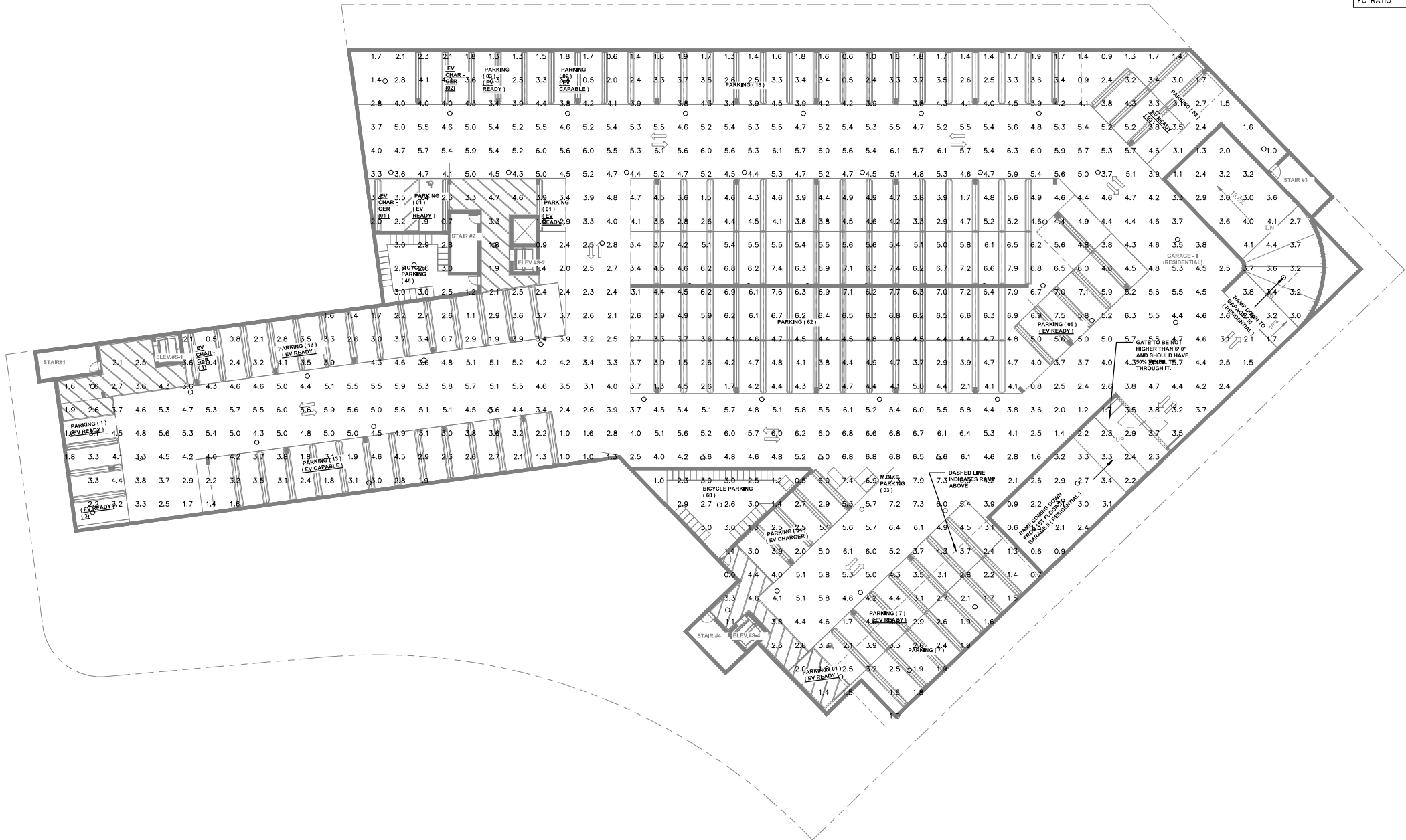
Garage III  
Lighting Plan

Sheet No.:

E2.0

Job: THE ARYA

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  3. SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
  4. LIGHT TRESPASS CALCULATIONS ARE FOR LIGHTING WHICH TRAVELS PAST PROPERTY LINE.

Garage Level 2 Photometric Schedule	
AVERAGE FOOT-CANDLES	3.93
MAXIMUM FOOT-CANDLES	7.9
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	7.92 / 0.00
AVERAGE TO MINIMUM FC RATIO	3.93 / 0.00

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Initial Issued Date: 08/30/24

Scale: 1/16" = 1'-0"

Drawn By: CM

Checked By: AIS

Sheet Title:

**Garage II  
Lighting Plan**

Sheet No.:

**E2.1**

Job: THE ARYA

GARAGE PLAN II – PHOTOMETRIC

SCALE: 1/16" = 1'-0"



NOTE: IF SHEET NOT IS 30"x42" THEN IT IS REDUCE PRINT

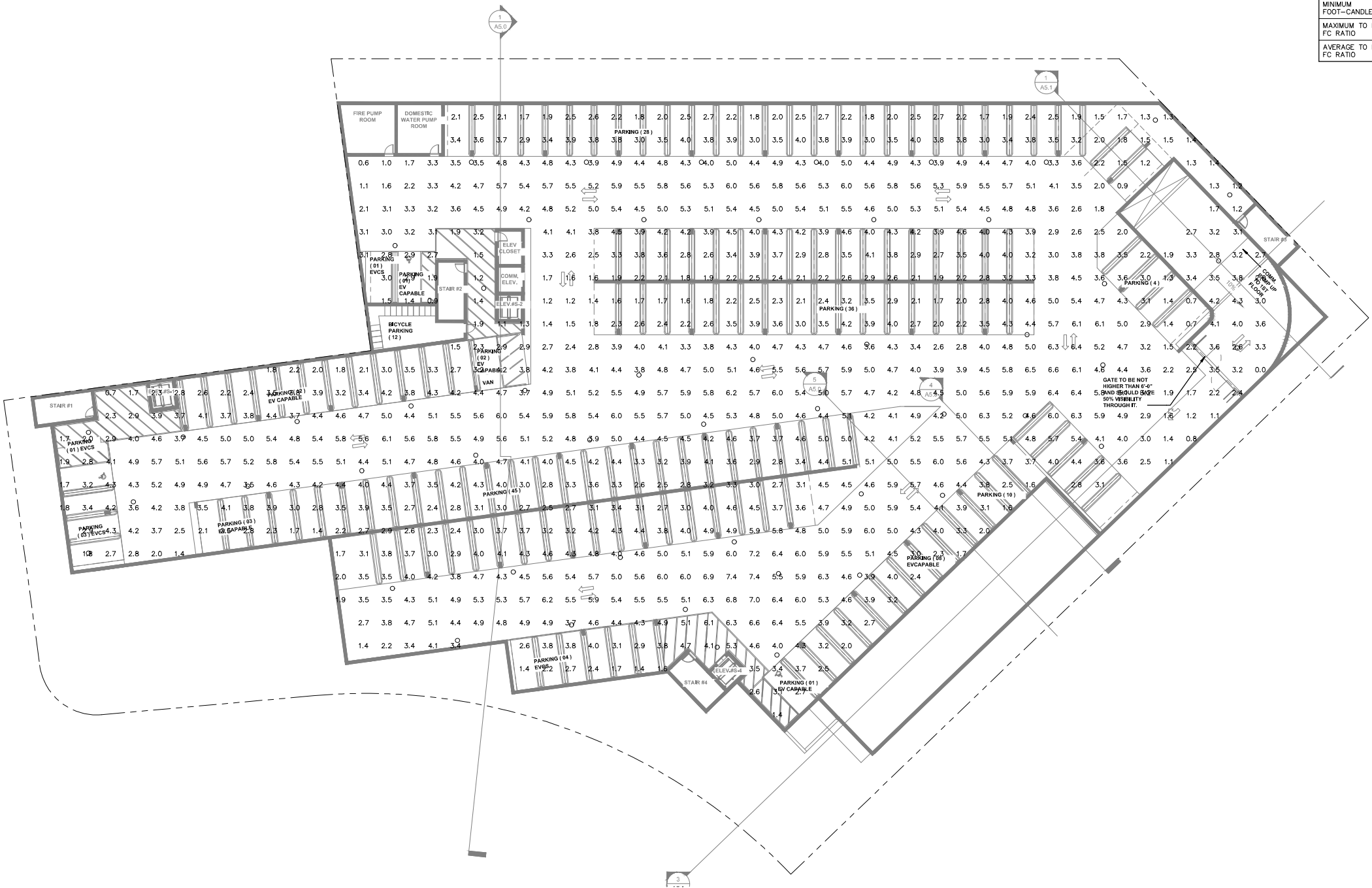


PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
4. LIGHT TRESPASS CALCULATIONS ARE FOR LIGHTING WHICH TRAVELS PAST PROPERTY LINE.

Garage Level 1  
Photometric Schedule

AVERAGE FOOT-CANDLES	3.80
MAXIMUM FOOT-CANDLES	7.4
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	7.43 / 0.00
AVERAGE TO MINIMUM FC RATIO	3.80 / 0.00



GARAGE PLAN I - PHOTOMETRIC

SCALE: 1/16" = 1'-0"



Garage I  
Photometric Plan

Sheet No.:

E2.2

Job: THE ARYA

**Anderson Architects INC**

kanderson@andarchinc.com  
Cell 408.202.5462

120 W. Campbell Ave, Suite D  
Campbell, CA 95008

Kurt B. Anderson, AIA  
Principal

Tel. 408.371.1269  
Fax. 408.371.1276

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Client: ARYA PROPERTIES LLC

16400 LARK AVENUE  
LOS GATOS, CA 95032

Project:

THE ARYA

15300 & 15320 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

**ROBISON ENGINEERING, INC**

19401 40TH AVE W., SUITE 302  
LYNNWOOD, WA 98036  
206-864-2343 TEL  
RE PROJECT NO: 692-030  
CONTACT: JON ROBISON

Stamp:



11/26/24

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Sheet Title:

Garage Entry II Photometric Schedule	
AVERAGE FOOT-CANDLES	8.51
MAXIMUM FOOT-CANDLES	12.2
MINIMUM FOOT-CANDLES	5.6
MAXIMUM TO MINIMUM FC RATIO	2.16
AVERAGE TO MINIMUM FC RATIO	1.51

Garage Entry 1 Photometric Schedule	
AVERAGE FOOT-CANDLES	8.21
MAXIMUM FOOT-CANDLES	11.4
MINIMUM FOOT-CANDLES	4.6
MAXIMUM TO MINIMUM FC RATIO	2.51
AVERAGE TO MINIMUM FC RATIO	1.80

Walkway Photometric Schedule	
AVERAGE FOOT-CANDLES	2.57
MAXIMUM FOOT-CANDLES	5.8
MINIMUM FOOT-CANDLES	0.9
MAXIMUM TO MINIMUM FC RATIO	6.15
AVERAGE TO MINIMUM FC RATIO	2.71

Drive Aisle Photometric Schedule	
AVERAGE FOOT-CANDLES	1.43
MAXIMUM FOOT-CANDLES	6.6
MINIMUM FOOT-CANDLES	0.7
MAXIMUM TO MINIMUM FC RATIO	8.92
AVERAGE TO MINIMUM FC RATIO	1.94

Commerical Plaza Photometric Schedule	
AVERAGE FOOT-CANDLES	1.81
MAXIMUM FOOT-CANDLES	7.3
MINIMUM FOOT-CANDLES	0.2
MAXIMUM TO MINIMUM FC RATIO	29.24
AVERAGE TO MINIMUM FC RATIO	7.26

Residential Light Trespass Photometric Schedule	
AVERAGE FOOT-CANDLES	0.20
MAXIMUM FOOT-CANDLES	0.4
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	9.14
AVERAGE TO MINIMUM FC RATIO	5.11

PHOTOMETRIC NOTES

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LOS GATOS, CA 95032

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ENGINEERING, INC

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LYNNWOOD, WA 98036  
206-864-2343 TEL  
RE: PROJECT NO. 692-030  
CONTACT: JON ROBISON

Stamp:

REGISTERED PROFESSIONAL ENGINEER  
MARK H. STEINKE  
No. E-24894  
EXP. 12-31-24  
ELECTRICAL  
STATE OF CALIFORNIA

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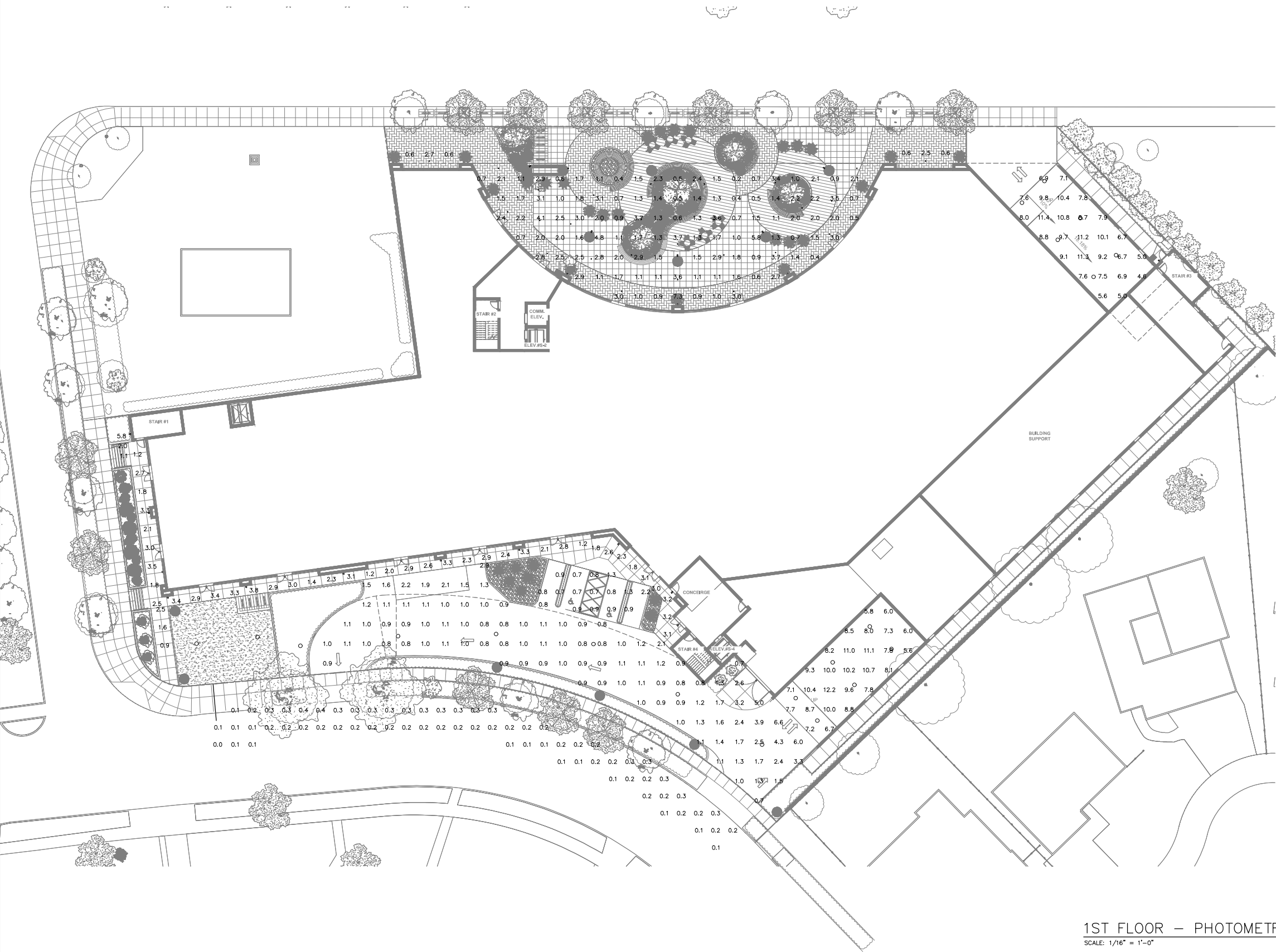
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Checked By: AIS  
Sheet Title:

1st Floor  
Photometric  
Plan

Sheet No.:

E2.3

Job: THE ARYA





1ST FLOOR - PHOTOMETRIC  
SCALE: 1/16" = 1'-0"



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Sheet Title: **2. LEI**Sheet Title: **2nd Floor**

### 2nd Floor

*(Podium)*

**RI**  $\rightarrow$  **RI**  $\rightarrow$  **RI**

### Photometric Plan

Sheet No.: \_\_\_\_\_

### E2.4

	Job: THE ARVA
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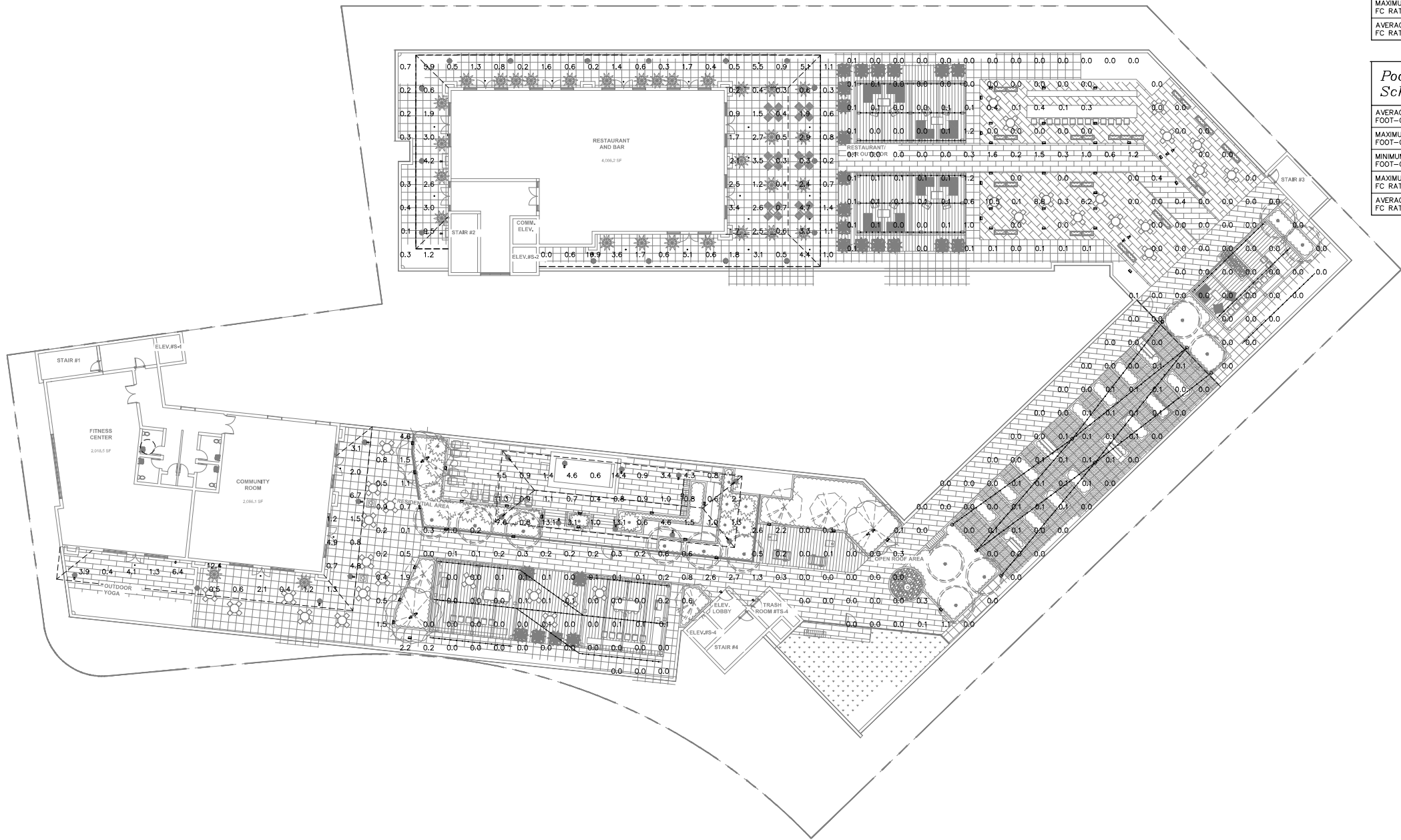
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2ND FLOOR (PODIUM) – PHOTOMETRIC  
SCALE: 1/16" = 1'-0"

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2ND FLOOR (PODIUM) - PHOTOMETRIC 



PHOTOMETRIC NOTES

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Podium Photometric Schedule

AVERAGE FOOT-CANDLES	3.02
MAXIMUM FOOT-CANDLES	16.9
MINIMUM FOOT-CANDLES	0.6
MAXIMUM TO MINIMUM FC RATIO	26.28
AVERAGE TO MINIMUM FC RATIO	4.68

Pool Photometric Schedule

AVERAGE FOOT-CANDLES	3.85
MAXIMUM FOOT-CANDLES	19.1
MINIMUM FOOT-CANDLES	1.4
MAXIMUM TO MINIMUM FC RATIO	13.28
AVERAGE TO MINIMUM FC RATIO	2.68

ROOF PLAN – PHOTOMETRIC

SCALE: 1/16" = 1'-0"



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LOS GATOS, CA 95032

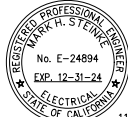
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Sheet Title:

Roof  
Photometric  
Plan

Sheet No.:

E2.6

Job: THE ARYA

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GENERAL LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	VOLTAGE	TYPE	CRI / CCT	LAMPING	WATTAGE
G1	○	SURFACE	PARKING GARAGE – INTEGRAL MOTION SENSING	SIGNIFY – GARDCO: SVPG A03 840 5RD [MOUNTING] UNV BLBT L3	MULTIPLE	BI–LEVEL MOTION SENSOR	80 / 4000K	(1) 21W LED	21
G1A	○	SURFACE	PARKING GARAGE – INTEGRAL MOTION SENSING	SIGNIFY – GARDCO: SVPG A01 840 5RD [MOUNTING] UNV BLBT L3	MULTIPLE	BI–LEVEL MOTION SENSOR	80 / 4000K	(1) 21W LED	21
G2	○	SURFACE	PARKING GARAGE – INTEGRAL MOTION SENSING	SIGNIFY – GARDCO: SVPG A01 840 5RD [MOUNTING] UNV BLBT L3	MULTIPLE	BI–LEVEL MOTION SENSOR	80 / 4000K	(1) 21W LED	21

NOTES:  
1. CONTRACTOR TO FURNISH AND INSTALL ALL FIXTURES.  
2. LUMINAIRE SCHEDULE IS BOB ONLY. CONTRACTOR TO SUBMIT FIXTURE MODEL OR EQUIVALENT. CONTRACTOR TO COORDINATE FIXTURE FINISHES WITH ARCHITECT/OWNER.  
3. FIXTURE CATALOG NUMBERS DO NOT NECESSARILY DENOTE SPECIFIC MOUNTING ACCESSORIES. CONTRACTOR TO PROVIDE ALL NECESSARY ACCESSORIES TO SUCCESSFULLY COMPLETE THE INSTALLATION.

EXTERIOR LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	VOLTAGE	TYPE	CRI / CCT	LAMPING	WATTAGE
SB1	●	' POLE	BOLLARD	LANDSCAPE FORMS: AJ100 T5 40F	MULTIPLE	TBD DIMMING	TBD / 3000K	(1) 10.9W LED	10.9
SD1	•	RECESSED	CANOPY LIGHT	DMF: MD 07 9 30 FL O / M4TRS [FINISH]	MULTIPLE	0–10V DIMMING	90 / 3000K	(1) 9.5W LED	9.5
SP2	—○	16' POLE	POLE LIGHT	NLS LIGHTING: ORX 2 T4 35 30K8 UNV ASA FSP20	MULTIPLE	TBD DIMMING	TBD / 3000K	(1) 26W LED	26
SS1	■	RECESSED	WALL LIGHT – B0 U4 G2	BEGA: B33159 K3	MULTIPLE	0–10V DIMMING	80 / 3000K	(1) 24W LED	24
ST1	•	STRING	STRING LIGHT – B0 U0 G0 WITH CANOPY	TIVOLI: LSL2 B 24 S 27 F 12 / SHADE HT BK BK B	12	0–10V DIMMING	NA / 2700K	(1) 0.23W LED	0.23
SU1	■	IN GRADE	LANDSCAPE – TREE UPLIGHT – PROVIDE ELV DIMMABLE MAGNETIC TRANSFORMER 120V INPUT / 12V OUTPUT	HK LIGHTING: ZX11 OR1 [STYLE HOOD FINISH] 023V 07W 30 M LVR [MOUNTING]	12	0–10V DIMMING	90 / 3000K	(1) 7W LED	7
SW1	■	SURFACE	WALL SCONCE – B0 U0 G0	LITHONIA: WDGE1 LED P0 30K 80 VW MVOLT [MOUNTING] DMG	MULTIPLE	0–10V DIMMING	80 / 3000K	(1) 7W LED	7
SW2	■	SURFACE	WALL SCONCE	DMF: DC4 WM W M D 07 SP 0 NS 30 [FINISH] 0 00	MULTIPLE	0–10V DIMMING	90 / 3000K	(1) 9.5W LED	9.5

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LOS GATOS, CA 95032

Project:  
THE ARYA

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LOS GATOS, CA 95032

ROBISON  
ENGINEERING, INC

19401 40TH AVE W, SUITE 302  
LYNNWOOD, WA 98036  
206-864-5343 TEL  
RE: PROJECT NO: 692-030  
CONTACT: JON ROBISON

Stamp:

REGISTERED PROFESSIONAL ENGINEER  
MAX H. STEINKE  
No. E-24894  
EXP. 12-31-24  
ELECTRICAL  
STATE OF CALIFORNIA

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Sheet Title:

Luminaire Schedules

Sheet No.:

E3.0

Job: THE ARYA

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## M Series Commercial

**SD1**

### 4" Round Downlight

**Versatile Solution** for all spaces providing high quality lighting ranging from 780lm all the way up to 3850lm

**Expeditious Install** with our easily adjustable universal bracketing and bar hanger systems allowing for applications in most ceiling types

**Enhanced Serviceability** is achieved through interchangeable modules, optics, and trim, all of which allow for ease of maintenance and implementation of design changes below the ceiling plane

**Boundless Integration** with several control systems allowing two-channel control dimming options down as low as 0.1%

#### INSTALLATION

##### Ceiling Thickness

1/2" up to 2"

##### Ceiling Material

Drywall, Millwork

#### TRIM

##### Aperture

4"

##### Shape

Round

##### Style

Standard, Hyperbolic, Pinhole, Wall Wash, Hinged, Sloped, Concave

##### Finish

White, Black, Bronze, Clear Diffused, Warm, Diffused, Glossy

#### LIGHT OUTPUT & DISTRIBUTION

##### Module

Downlight

##### Lumen Footcandle

750 lm (8.5W), 1000 lm (12.5W),  
1250 lm (14.5W), 1500 lm (16.5W),  
1900 lm (24.5W), 2000 lm (27.5W),  
2500 lm (34.5W), 3500 lm (40.5W)

##### Color Quality

95+ CRI, e-clip SDLCM

##### Color Temperature

- 2700K ● 3000K ● 3500K
- 4000K ● Warm Dim (2000-1600K)
- Tunable White (1600-1600K) ● Tunable White (1600-1600K)

##### Beam Spread

- ▲ Narrow Spot (12°)
- ▲ Spot (22°)
- ▲ Flood (40°)
- ▲ Wide Flood (64°)
- ▲ General (80°+)

#### POWER & CONTROLS

##### Input Voltage

180-277V

##### Dimming

0-10V (1W), DALI 2 (2-7W)

#### RATINGS & CERTIFICATIONS

##### Warning

✓ RoHS Compliant

Module and Trim

UL Listed for Wet Location

(Indirect Wet Only)

NSF Listed  
(Drinks and Stage Wash Only)

##### Warranty

5 year limited warranty; 60,000 hours

DRP: L811118 1116 E. 20TH DR. CANON, GA 30045 TEL: 770.242.7778 INFO@SPELLOLIGHT.COM [www.spelloglight.com](http://www.spelloglight.com)

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LYNNWOOD, WA 98036  
206-364-3343 TEL.  
REI PROJECT NO.: 692-030  
CONTACT: JON ROBISON

**NLS**  
 LIGHTING

**ORGANIX ORX-2-AM**

ARCHITECTURAL

**SPX**

ORGANIX ORX-2-AM

	1" x 4" LED	2" x 4" LED	4" x 4" LED	6" x 4" LED
1" x 4" LED	—	—	—	—
2" x 4" LED	1000 (1000) 1000 Lumen	—	—	—
4" x 4" LED	2000 (2000) 2000 Lumen	2000 (2000) 2000 Lumen	—	—
6" x 4" LED	3000 (3000) 3000 Lumen	3000 (3000) 3000 Lumen	3000 (3000) 3000 Lumen	—
8" x 4" LED	4000 (4000) 4000 Lumen	4000 (4000) 4000 Lumen	4000 (4000) 4000 Lumen	—
10" x 4" LED	5000 (5000) 5000 Lumen	5000 (5000) 5000 Lumen	5000 (5000) 5000 Lumen	—
12" x 4" LED	6000 (6000) 6000 Lumen	6000 (6000) 6000 Lumen	6000 (6000) 6000 Lumen	—
14" x 4" LED	7000 (7000) 7000 Lumen	7000 (7000) 7000 Lumen	7000 (7000) 7000 Lumen	—
16" x 4" LED	8000 (8000) 8000 Lumen	8000 (8000) 8000 Lumen	8000 (8000) 8000 Lumen	—
18" x 4" LED	9000 (9000) 9000 Lumen	9000 (9000) 9000 Lumen	9000 (9000) 9000 Lumen	—
20" x 4" LED	10000 (10000) 10000 Lumen	10000 (10000) 10000 Lumen	10000 (10000) 10000 Lumen	—
22" x 4" LED	11000 (11000) 11000 Lumen	11000 (11000) 11000 Lumen	11000 (11000) 11000 Lumen	—
24" x 4" LED	12000 (12000) 12000 Lumen	12000 (12000) 12000 Lumen	12000 (12000) 12000 Lumen	—
26" x 4" LED	13000 (13000) 13000 Lumen	13000 (13000) 13000 Lumen	13000 (13000) 13000 Lumen	—
28" x 4" LED	14000 (14000) 14000 Lumen	14000 (14000) 14000 Lumen	14000 (14000) 14000 Lumen	—
30" x 4" LED	15000 (15000) 15000 Lumen	15000 (15000) 15000 Lumen	15000 (15000) 15000 Lumen	—

**FORM**

- Rugged Die-Cast Aluminum Housing
- Corrosion Resistant Built-In Good Board Hardware
- Steel, Low Profile Housing
- Super Grade Performance
- Engineered For Optimum Thermal Management
- 5 Architectural Finishes (Standard, RAL Colors Available)

**FUNCTION**

- Micro Optics F5 Distribution 12, 13, 14, 15
- D-10W Dimming Drivers
- THD @ Max Load < 18%
- Power Factor @ Max Load > 0.95
- Ambient, 2700K, 3000K, 3500K, 4000K, or 5000K
- 11L, 12L, or 14L LED Configuration
- CRI70, 90, or 90
- 5 Milb Powder Coat
- Up to 21,666 Lumens

**RELIABILITY**

- 3-5 Year Micro Optics
- 5 Year Standard Warranty
- IP67 Optics
- IP65 Fixture

**BUY AMERICAN**

To ensure the latest BAA/TAA/BABA Standards are being met, please select BAA, TAA, or BABA in the options section. Please contact the factory before placing an order for any NLS products requesting BAA (Buy American), TAA (Trade Agreement Act), or BABA (Buy America, Buy American).

NLS-001-01

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# Motive Path Light

Spec Sheet | A700

SB1

© 2022 SB1 Lighting

## Housing & Materials

A UV stable, impact resistant, diffused acrylic lens sits at the top of an anodized metal housing. Housing. Laminates around the clear, diffused acrylic, bolted directly to the top of cast aluminum pole. The luminaire case is to be secured with three socket head set screws. All hardware is pre-assembled.

## Electrical

Internally insulated surge protected 120V through E77V 60/90W. electronic driver. -40°F to 140°F operating, housing edge used trailing edge phase-out dimmable. Motive path light system provided.

## Light Engine

Cast stainless light carriage features high powered LED mounted into T6 Ti compliant (cnc), bead defining, indirect lighting in combination with semi-specular aluminum reflector. Motive Path Light can be configured with a Type I or Type II distribution. The replaceable cartridge provides areas of insulation and conductivity. Available in 2000K, 3000K, 3500K, and 4000K >80 CRI source at available color temperature.

## Distributions

TV

TV

## Warranty

Lighting products are warranted for six years.

Motive is a sophisticated family of lights that blend the line between indoor and outdoor lighting to create an e-e-e-e-e-e-e-e-e-e. Designed for Justin Chavonius, Motive combines the beauty of illumination in its interaction with architecture, objects, and spaces. The luminaire's metal enclosure has an anodized finish of applications for buildings and grounds, porches, social spaces, and high-profile areas such as art installations and entrance.

## Certification

UL Listed for Wet Location, ENEC International Light Sign Approval, Dry Ventilation Compliance, IEC 60598-1, IEC 60598-2-1

## Designed by Justin Chavonius

[Click here](#) for patient information related to this product.

Weight 18 lbs

THIN L70000-000000 hns

Product Class: P01

1 | Revised February 21, 2022 | Landscape Portfolio Inc. | 888.882.1245 | 763.882.1245 | 2000 L. Ellington Ave., Minneapolis, MN 55405

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Initial Issued Date: 08/30/24

Scale:  $1/16'' = 1'-0''$

Drawn By: CM

Checked By: AJS

Sheet Title:

### *Light Fixture*

### Light Fixture

### Details

Sheet No.: \_\_\_\_\_

### E3.1

	10th THE ARYA
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NOT TO 22"X12" THEN IT IS REDUCED 5

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Drawn By: CM

doi:10.1017/S0022292413001607 Printed in the United Kingdom © 2013 Cambridge University Press

Checked By: \_\_\_\_\_ AJS

Sheet Title:

## LIFE

### *Light Fixture*

9

### Details

## Results

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Sheet No.:

E3 2

### LS.2

	Lab. THE ARVA
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NOT IS 30"X42" THEN IT IS REDUCE F

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Anderson  
Architects INC

lancensend@andarchinc.com  
Call 408.220.5462

129 W. Conwell Ave. Suite D  
Campbell, CA 95008

Kurt B. Anderson, AIA  
Principal  
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Fax. 408.371.1276

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LOS GATOS, CA 95032

Project:

THE ARYA

15300 & 15350 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

THE  
Guzzardo  
Partnership, INC.

Landscape Architects | Land Planners

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LICENSED LANDSCAPE ARCHITECT  
Kurt B. Anderson  
No. 11111  
6-00-00  
12/17/23  
STATE OF CALIFORNIA

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No.	Description	Date
0	SE330 Submittal	11/03/23
0	Planning Submittal	08/06/24
1	Planning Resubmittal	08/06/24
2	2nd Planning Resubmittal	11/23/24
3	3rd Planning Resubmittal	03/17/25

Initial Issued Date: 05/09/24

Scale: 1/2" = 1'-0"

Drawn By: A/W Author

Checked By: M. Checker

Sheet Title: **Conceptual  
Landscape Plan -  
Groundfloor**

Sheet No.: **L-1.1**

File: Job:

NOTE:  
Traffic Safety Visibility Area  
Within this area planted or allowed to grow  
exceeding three feet in height, with the  
exception of trees with canopies no lower  
than six feet.

SCALE: 1/16" = 1'-0"  
0' 6' 12'

SHEET INDEX

- L1.1 Conceptual Landscape Plan - Groundfloor
- L1.2 Conceptual Landscape Plan - Podium
- L1.3 Conceptual Landscape Plan - Roof
- L2.1 Landscape Imagery
- L3.1 Conceptual Planting Plan - Groundfloor
- L3.2 Conceptual Planting Plan - Podium
- L3.3 Conceptual Planting Plan - Roof
- L3.4 Proposed Tree Canopy Diagram - Groundfloor
- L3.5 Proposed Tree Canopy Diagram - Podium
- L3.6 Proposed Tree Canopy Diagram - Roof
- L4.1 Hydrozone Plan - Groundfloor
- L4.2 Hydrozone Plan - Podium
- L4.3 Hydrozone Plan - Roof
- L5.1 Lighting Plan - Podium
- L5.2 Lighting Plan - Roof
- L5.3 Lighting Cutsheet
- T-1.0 Tree Disposition Plan



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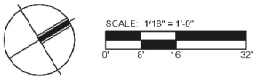
Sheet Title:

**Conceptual  
Landscape Plan -  
Podium**

Sheet No.:

**L-1.2**

File: Job:



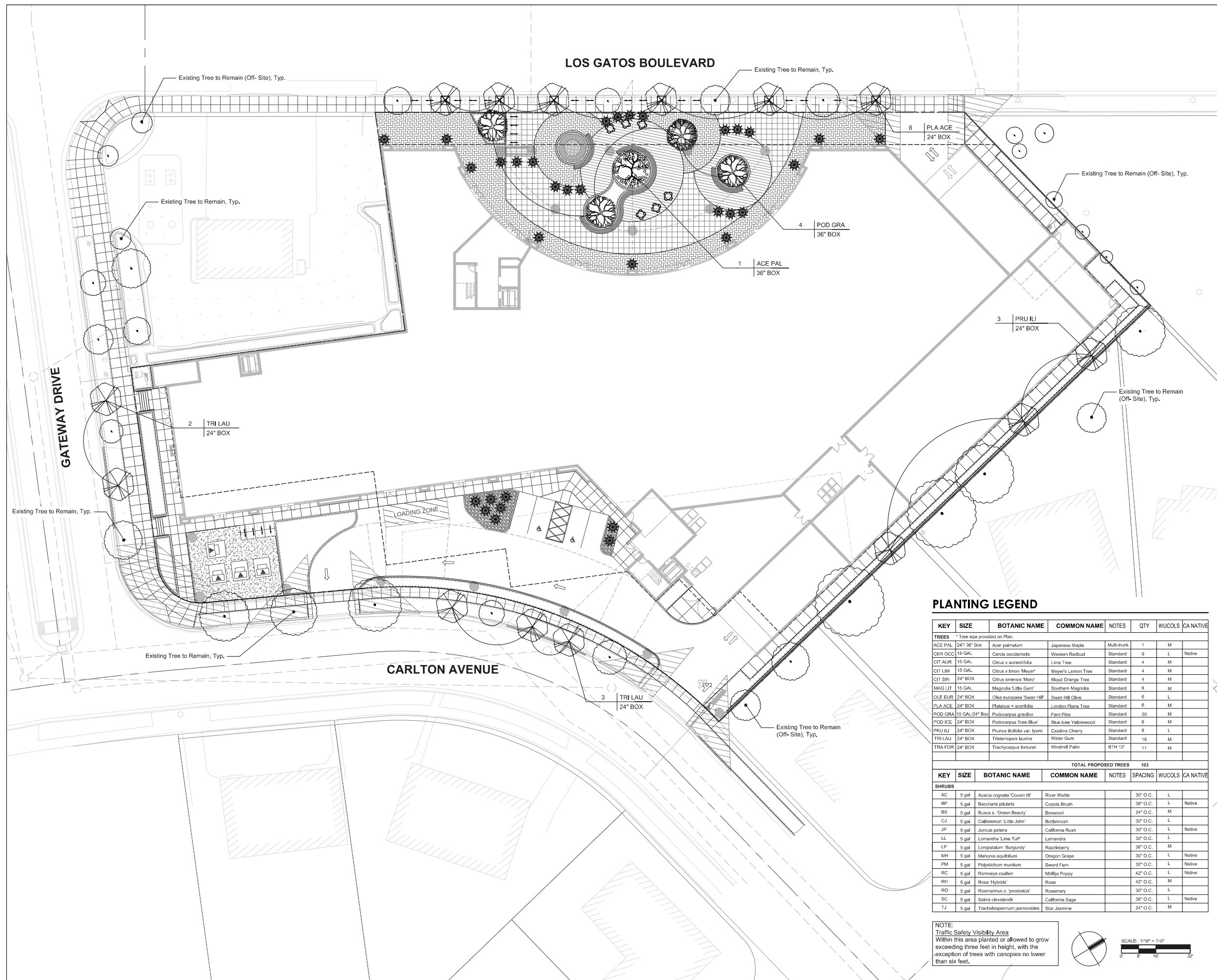














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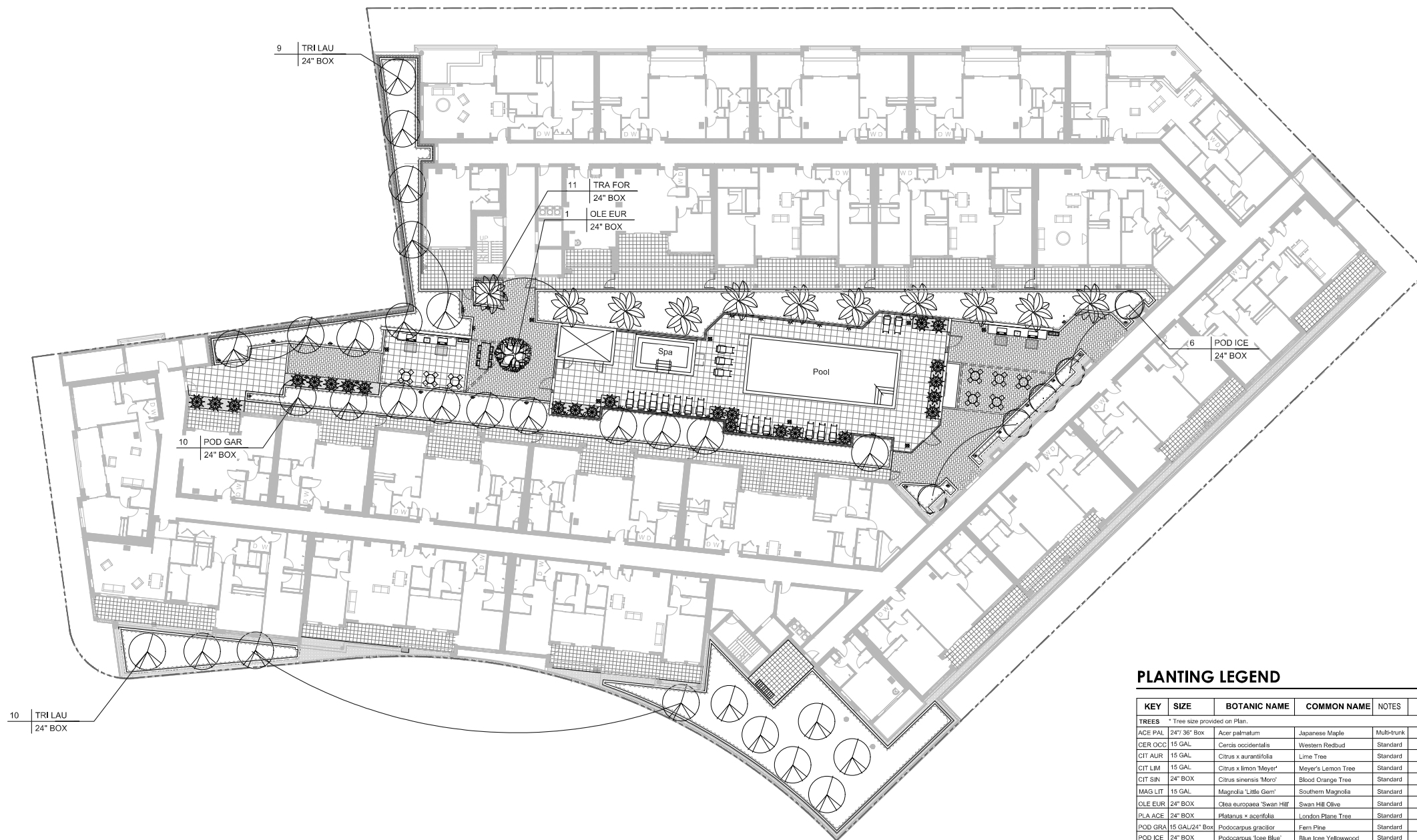
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KEY	SIZE	BOTANIC NAME	COMMON NAME	NOTES	QTY	WUCOLS	CA NATIVE
<b>TREES</b> * Tree size provided on Plan.							
ACE PAL	24' 38' Box	Acer palmatum	Japanese Maple	Multi-trunk	1	M	
CER OCC	15 GAL	Cercis occidentalis	Western Redbud	Standard	9	L	Native
CIT AUR	15 GAL	Citrus x aurantiifolia	Lime Tree	Standard	4	M	
CIT LIM	15 GAL	Citrus x limon 'Meyer'	Meyer's Lemon Tree	Standard	4	M	
CIT SIN	24" BOX	Citrus sinensis 'Moro'	Blood Orange Tree	Standard	4	M	
MAG LT	15 GAL	Magnolia 'Little Gem'	Southern Magnolia	Standard	6	M	
OLE EUR	24" BOX	Olea europaea 'Swan Hill'	Swan Hill Olive	Standard	6	L	
PLA ACE	24" BOX	Platanus x acerifolia	London Plane Tree	Standard	6	M	
POD GRA	15 GAL/24" Box	Podocarpus gracilior	Fern Pine	Standard	20	M	
POD ICE	24" BOX	Podocarpus Torre Blue'	Blue Ice Yellowwood	Standard	6	M	
PRU ILI	24" BOX	Prunus ilicifolia var. lyonii	California Cherry	Standard	8	L	
TRI LAU	24" BOX	Tristanopsis laurina	Water Gum	Standard	18	M	
TRA FOR	24" BOX	Trachycarpus fortunei	Windmill Palm	BTH 12"	11	M	

		TOTAL PROPOSED TREES		103			
KEY	SIZE	BOTANIC NAME	COMMON NAME	NOTES	SPACING	WUCOLS	CA NATIVE
<b>SHRUBS</b>							
AC	5 gal	Acacia cognata 'Cousin It'	River Wattle		30" O.C.	L	
BP	5 gal	Baccharis pilularis	Coyote Brush		36" O.C.	L	Native
BS	5 gal	Buxus s. 'Green Beauty'	Boxwood		24" O.C.	M	
CJ	5 gal	Callistemon 'Little John'	Bottlebrush		30" O.C.	L	
CP	5 gal	Juncus patens	California Rush		30" O.C.	L	Native
LL	5 gal	Lomandra 'Lime Tuff'	Lomandra		30" O.C.	L	
LP	5 gal	Longpetalum 'Burgundy'	Razzeberry		36" O.C.	M	
MH	5 gal	Mahonia aquifolium	Oregon Grape		30" O.C.	L	Native
PM	5 gal	Polystichum munitum	Sword Fern		30" O.C.	L	Native
RC	5 gal	Romneya coulteri	Milliea Poppy		42" O.C.	L	Native
RO	5 gal	Rosa 'Hybride'	Rose		42" O.C.	M	
RH	5 gal	Rosmarinus o. 'prostratus'	Rosemary		30" O.C.	L	
SC	5 gal	Salvia clevelandii	California Sage		36" O.C.	L	Native
TJ	5 gal	Trachelospermum jasminoides	Star Jasmine		24" O.C.	M	



SCALE: 1/16" = 1'-0"

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Sheet Title: **Cumtural**

### Conceptual

### ***Planting Plan -***

## Wanting to be a

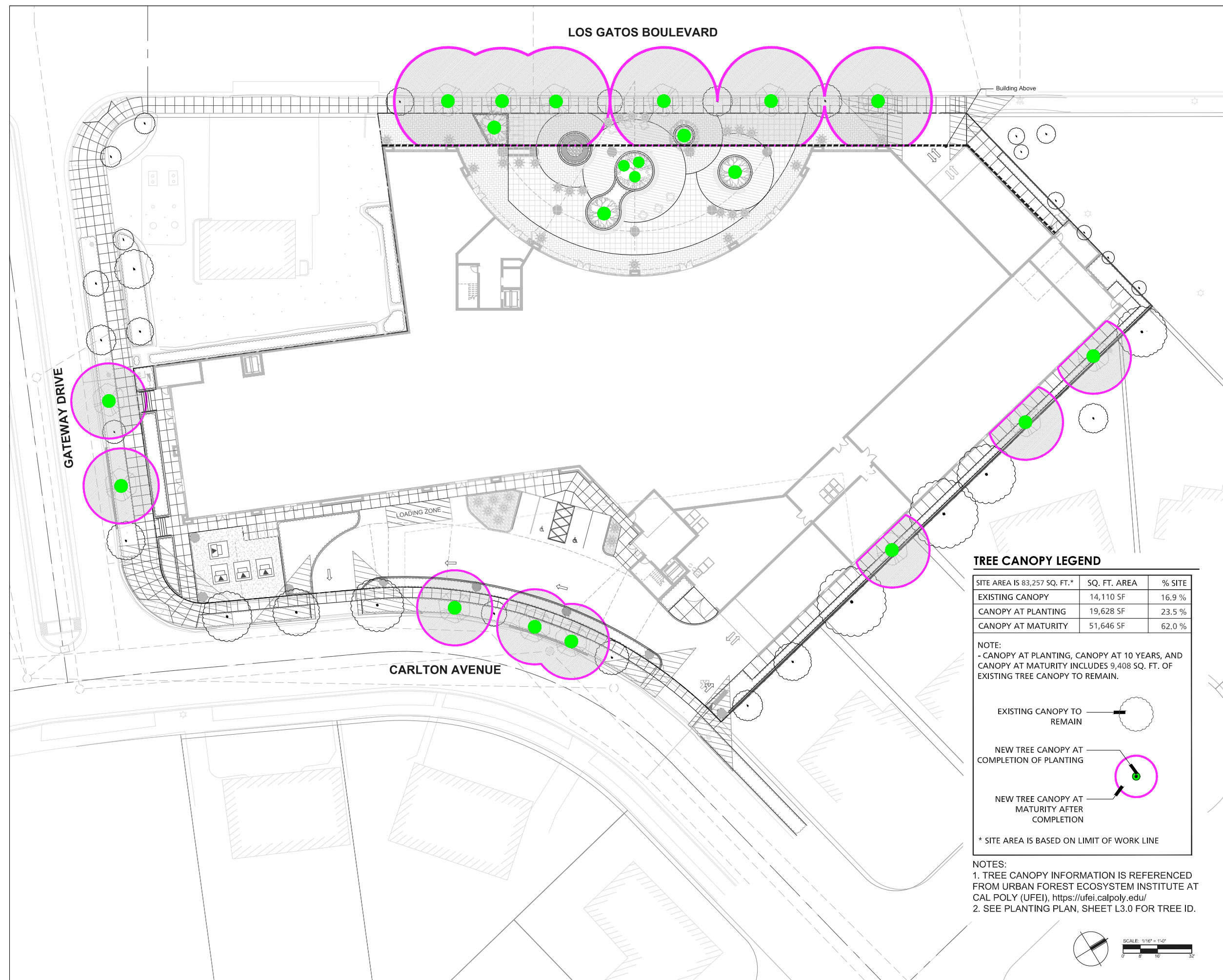
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Sheet Title: **D** **1 T**

**Proposed Tree  
Canopy Diagram  
Groundfloor**

Sheet No.: \_\_\_\_\_

File:	Job:
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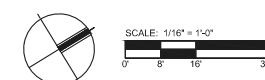
NOTE:  
- CANOPY AT PLANTING, CANOPY AT 10 YEARS, AND  
CANOPY AT MATURITY INCLUDES 9,408 SQ. FT. OF  
EXISTING TREE CANOPY TO REMAIN.

NEW TREE CANOPY AT COMPLETION OF PLANTING

NEW TREE CANOPY AT MATURITY AFTER COMPLETION

\* SITE AREA IS BASED ON LIMIT OF WORK LINE

NOTES:  
1. TREE CANOPY INFORMATION IS REFERENCED FROM URBAN FOREST ECOSYSTEM INSTITUTE AT CAL POLY (UFEI), <https://ufei.calpoly.edu/>  
2. SEE PLANTING PLAN, SHEET L3.0 FOR TREE ID.



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Sheet Title: **D** **LT**

### Proposed Tree

### Canopy Diagram

### Canopy Diagram

### Podium

Sheet No.: \_\_\_\_\_

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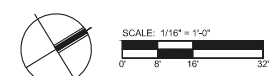
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Sheet Title:

### *Hydrozone Plan - Podium*

Sheet No. \_\_\_\_\_

***L-4.2***

File:	Job:
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### WATER USE LEGEND

Key	WUCOLS Category
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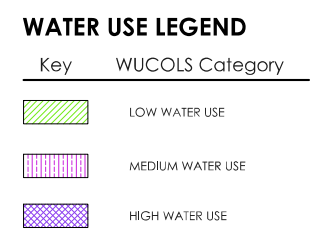
LOW WATER USE

MEDIUM WATER USE

HIGH WATER USE



SCALE:  $1/16" = 1'-0"$



### WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and is a required element of the Landscape Documentation Package.

#### Reference Evapotranspiration (ET<sub>0</sub>) 45.3

Hydzone # (Planting Description)*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)†	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)†
--------------------------------------	----------------------	-----------------------	-----------------------------------	-----------------	-----------------------------	-------------	---

#### Regular Landscape Areas

Low Water-Use Plants	0.20	Drip	0.81	0.25	14,218	3,555	99,832
Moderate Water-Use Plants	0.50	Drip	0.81	0.62	5,243	3,251	91,299
High Water-Use Plants	0.80	Drip	0.81	0.99	0	0	0
Moderate Water-Use Turf EVA	0.50	Spray	0.75	0.67	0	0	0
					(A)	(B)	
					Totals	19,461	6,805
							191,130

#### Special Landscape Areas

water feature					39		
					(C)	(D)	
					Totals	0	0
						ETWU Total	191,130

#### Maximum Allowed Water Allowance (MAWA):

245,562

\*Hydzone #/Planting Description

E.g.	†Irrigation Method overhead spray or drip	†Irrigation Efficiency 0.75 for spray head 0.81 for drip
1) front lawn		
2) low water use plantings		
3) medium water use planting		

**ETWU (Annual Gallons Required) = (E<sub>0</sub>) x 0.62 x ETAF x Area**

where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

**MAWA (Annual Gallons Allowed) = (E<sub>0</sub>) x (A<sub>0</sub>) x (ETAF x LA) ÷ (ETAF x SLA)**

where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

#### ETAF Calculations

**Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.**

#### Regular Landscape Areas

Total ETAF x Area (B)	6,805
Total Area (A)	19,461
Average ETAF	0.34968192

#### All Landscape Areas

Total ETAF x Area (B+D)	6,805
Total Area (A+C)	19,461
Sitewise ETAF (B+D) ÷ (A+C)	0.349681927858481

 <b>Anderson Architects Inc.</b>		
kanderson@andarchinc.com Cell: 408.202.5462		 Kurt B. Anderson, AIA Principal
120 W. Campbell Ave., Suite D Campbell, CA 95008		 Tel. 408.371.1269 Fax. 408.371.1276

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## *Hydrozone Plan - Roof*

Sheet No.:

***L-4.3***

File:	Job:
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Sheet Title:

### ***Lighting Plan - Podium***






Sheet No.:

***L-5.1***

File:	Job:
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## LIGHTING LEGEND

- |   |                |
|---|----------------|
|  | POLE LIGHT     |
|  | BOLLARD LIGHT  |
|  | WALL LIGHT     |
|  | STRING LIGHT   |
|  | TREE DOWNLIGHT |

NOTES:  
EXTERIOR LIGHTING FIXTURES WILL COMPLY  
WITH TOWN REQUIREMENTS TO BE DOWNWARD  
DIRECTED AND SHIELDED. LIGHTING CUTSHEET  
SEE AT SHEET L5.3.



SCALE: 1/16" = 1'-0"

File:	Job:
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Pole-top Luminaire - Symmetric

BEGA

# **Application**

Pole-top luminaire with unshielded symmetric light distributions. The symmetric light distribution is ideal for illuminating squares, plazas and other open areas.

# **Materials**

White (unshielded) acrylic diffuser

Marine grade, copper free (0.2% copper content) A9606 aluminum alloy

**NTPL** listed to North American Standards, suitable for wet locations  
 Protection class IP 24

**Weight:** 30.8 lbs.

**EPA (Effective projection area):** 1.6 sq. ft.

# **Electrical**

Operating voltage 120-277V AC

Minimum stall temperature <35°C

LED module voltage 234 V

System wattage 27.0 W

**Control(s)** 0-10V dimming down to 1%

Color-rendering index Ra = 80

Luminaires lumens 2300 lm

LED service life (L70) 100,000 hrs

# **LED color temperature**

□ 3000K (K)

□ 3500K (K2)

□ 4000K (K3)

□ 5000K (K2)

□ 5700K (K2)

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.

# **Finish**

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unshield® finish: a Nanopolimer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available: RAL and custom color finishes provided in either polyester powder or liquid paint.

# **Available colors**

□ Black (SLU)

□ Silver (SLU)

□ RAL

□ Bronze (BR2)

□ White (WH1)

□ CUS:

# **Available options**

□ CUS:

□ FSC:

□ MAGU

□ RAL

□ Custom finish

□ Fusing

□ Marine grade anodized

□ RAL finish

# **Pole-top luminaire - Symmetric**

LED	W	H
BT770	33.0 W	28" x 36"

**BEGA 1009 Biega Way, Carlsbad, CA 92008 | (800) 844-0337 | [www.bega-usa.com](http://www.bega-usa.com)**

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10/2019/01010

Bolard - Directed light

BEGA

#### Application

Bolard luminaires with indirect light distribution, the light is directed onto the top reflector and then reflected downward onto the illuminated surface. These luminaires are ideal where glare-free illumination is required. Provided with mounting system that allows the luminaire to be adjusted independent of anchor bolt orientation.

#### Materials

Borosilicate glass  
Die-cast aluminum  
Extruded aluminum  
Mechanically captive stainless steel fasteners  
High temperature silicone gasket  
Galvanized steel anchorage  
Pure anodized aluminum reflector

**NITL**, listed to North American Standards, suitable for wet locations  
Protection class IP 65

#### Weight is (lbs.)

##### Electrical

Operating voltage 120-277V AC  
Minimum install temperature -20°C  
LED module voltage 12-24V  
System wattage 22-50W  
Controllability 0-10V, TRIAC, and ELV dimmable  
Color rendering index Ra > 90  
Luminaires lumens 640lm  
LED service life L70 60,000hrs

#### LED color temperature

☐ 3000K (R9)

☐ 3000K (R35)

☐ 3000K (R2)

☐ 2700K (R27)

#### BEGA

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.

#### Finish

All BEGA standard finishes are made. Anodized powder coat with minimum 3 mil thickness. BEGA Unisurable finish, a homopolymer technology,

provides superior protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available

RAL, and color color finishes provided in either polyester powder or liquid paint.

#### Available colors

☐ Black (BLK)

☐ Silver (SLV)

☐ RAL:

☐ Bronze (BRZ)

☐ White (WHT)

☐ L: LUS:

#### Type:

BEGA Product:

Project:

Modified:

#### Available options

☐ 70865 Direct burial anchorage (replaces included anchorage kit, pre-assemblable)

☐ CUS Custom finish


☐ TSC Tinting

☐ WOU Marine grade undercoat

☐ IAL RAL trim

☐ Included (available for pre-shipment)

☐ 707617 Anchorage kit

Dimensions (mm)				
	115	A	B	C
	115	317	317	
D				
70760	115	317	317	914

BEGA, Inc. 1001 BEGA Way, Westminster, CA 93793 866-646-0533 info@bega-usa.com

For the most current and up-to-date technical information, please visit our website at [www.bega-usa.com](http://www.bega-usa.com). For the most current technical data, please visit our website at [www.bega-usa.com](http://www.bega-usa.com). For the most current technical data, please visit our website at [www.bega-usa.com](http://www.bega-usa.com). For the most current technical data, please visit our website at [www.bega-usa.com](http://www.bega-usa.com).

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Recessed wall luminaire - Location luminaire

BEGA

**Application**

Recessed wall luminaire with unshielded light to be used in location luminaires for means of way finding. Separate installation housing allows for seamless incorporation into construction and easy maintenance.

**Materials**

- Clear safety glass with white ceramic coating on one side
- Marine grade, copper free (≥21% copper content) A306.0 aluminum alloy
- BEGA Thaco® II, a 34-year finishing technology for increased corrosion protection
- Mechanically passive stainless steel fasteners
- Stainless steel screw domes
- Composite installation housing

**NTL** listed to North American Standards, suitable for vent locations  
Protection class IP 65

**Weights** / Lbs.

**Electrical**

- Operating voltage 120-277V AC
- Minimum start temperature -40°F
- LED module wattage 12W
- System wattage 24W
- Connectivity 0-10V dimmable
- Color rendering index Ra > 90
- Lumens lumens 298lm
- LED service life (L70) 50,000hrs

**LED color temperature**

- 2700K (K1)
- 3000K (K3)
- 3500K (K5)
- 2700K (K27)

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.

**Finish**

All BEGA standard finishes are matte, textured powder coat with minimum 3mil thickness. BEGA Unisure® trim, a Ruspodimer technology, provides the highest scratch protection in Black, Bronze, and Silver. BEGA standard White is a super durable polymeric powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

**Available colors**

- Black (B)
- Silver (SLV)
- RAL:
- Bronze (BRZ)
- White (WHT)
- G.OUS

**Type:**

BEGA Product:

Project:

Modified:

**Available options**

- G.OUS Custom finish
- ISC Fusing
- MARL Marine grade undercoat
- RAL finish

**Included (available for pre-shipment)**

LB B24064 Installation housing.

**Recessed wall luminaire - Location Luminaire**

LED	A	B	C
R31163	2.7W	10 1/4"	2 1/4"

BEGA, 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0333 [info@bega.com](mailto:info@bega.com)

Click on the image to view all the products and their associated specifications. Luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please visit [bega.com](http://bega.com).  
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## Catenary Luminaires - Symmetric

BEGA

### Application

Luminaires for catenary systems with shelled, downward directed light distribution. The ceiling holder system is suitable of transverse suspension systems and longitudinal chain systems. The luminaire is designed especially for luminaires, plant, passageways and pedestrian zones.

### Materials

Clear safety glass

Non-ferrous, copper free (0.3% copper content) A360.0 aluminum alloy

Mechanically inactive stainless steel fasteners

High temperature silicone gasket

Pure anodized aluminum reflector

**NOTE:** List to North American Standards, suitable for wet locations

Protection class: IP 65

Weight: 14.8 lbs.

EPA (Effective projection area): 1.0 sq. ft.

### Electrical

Operating voltage 120-277VAC

Minimum start temperature <40°F

Maximum ambient temperature 50°C

LED module wattage 30-30W

System wattage 45.0W

Connectivity 4-10W dimmable

Color rendering index Ra > 80

Luminaire lifetime >40,000 hrs

LED service life (L70) 60,000 hrs

LED color temperature

☐ 4000K (K4)

☐ 5000K (K5)

☐ 6000K (K6)

☐ 7000K (K7)

☐ 7000K (K7)

☐ 7000K (K7)

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Type:

BEGA Product:

Project:

Modified:

BEGA 1000 BEGA Inc., Carle Place, CA 94704 949-864-9023 [info@bega-us.com](mailto:info@bega-us.com)

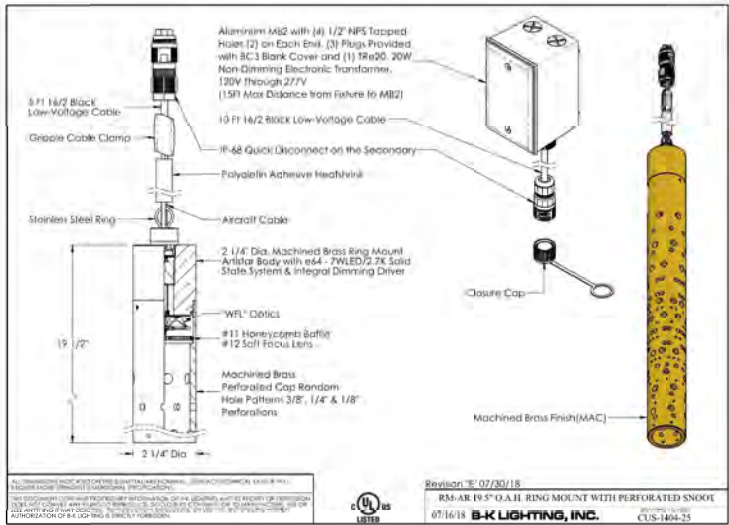
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### Available options

[illegible]16400 LARK AVENUE  
LOS GATOS, CA 95032

### Projects

15300 & 15330 LOS GATOS BOULEVARD  
LOS GATOS, CA 95032

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Stamp:

[illegible]

## Lighting Cutsheet

Sheet No. \_\_\_\_\_

### *L-5.3*

File: \_\_\_\_\_ Job: \_\_\_\_\_

