

PROJECT TEAM	
OWNER	LOS GATOS BOULEVARD PROPERTIES, LLC 16400 LOS GATOS BLVD., SUITE 400 LOS GATOS, CA 95032 ALI MOAYED alimoayed@msn.com
CIVIL	WOOD RODGERS, INC. 4670 WILLOW ROAD, SUITE 125 PLEASANTON, CA 94588 COLT ALVERNAZ, PE, PRINCIPAL 925.847.1556
ARCHITECT	ANDERSON ARCHITECTS, INC. 120 W. CAMPBELL AVE., SUITE D CAMPBELL, CA 95008 KURT ANDERSON, PRINCIPAL, AIA 408.202.5462
LANDSCAPE ARCHITECT	THE GUZZARDO PARTNERSHIP, INC. PIER 9, THE EMBARCADERO, SUITE 115 SAN FRANCISCO, CA 94111 GARY LAYMON 415.433.4672 X 23
ELECTRICAL	ROBISON ENGINEERING, INC. 19401 40TH AVENUE W, SUITE 302 LYNNWOOD, WA 98036 CHRISTOPHER MOORE 206.364.3343 X 163
LEGAL	MILLER STARR REGALIA 1531 NORTH CALIFORNIA BOULEVARD, FIFTH FLOOR, WALNUT CREEK, CA 94596 TRAVIS A. BROOKS 925.935.9400 F: 925.933.4126 M: 518.424.846

VICINITY MAP	
APPLICABLE CODE	
THE CURRENT CODES, AS AMENDED AND ADOPTED BY THE TOWN OF LOS GATOS AS OF JANUARY 1, 2023, ARE THE 2022 CALIFORNIA BUILDING STANDARDS CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24, PARTS 1-12, INCLUDING LOCALLY ADOPTED ENERGY REACH CODES.	
NOTES	
1. THIS DEVELOPMENT WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, AND ELECTRIC VEHICLE REQUIREMENTS IN ACCORDANCE WITH TOWN CODE. 2. HIGH FIRE REQUIREMENT WILL BE MET.	

DEFERRED SUBMITTAL LIST	
1.	FIRE ALARM INSTALLATION PER CFC 907 AND NFPA 72
2.	STANDOFF SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 14 AS AMENDED IN CHAPTER 47, CFC SEC. 905
3.	TWO-WAY COMMUNICATION SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72 (2022 EDITION), THE CALIFORNIA ELECTRICAL CODE (2022 EDITION), THE CALIFORNIA FIRE CODE (2022 EDITION), THE CALIFORNIA BUILDING CODE (2022 EDITION), AND THE CITY ORDINANCES WHERE TWO WAY SYSTEM IS BEING INSTALLED. POLICES, AND STANDARDS, OTHER STANDARDS ALSO CONTAIN DESIGN/INSTALLATION CRITERIA FOR SPECIFIC LIFE SAFETY RELATED EQUIPMENT, THESE OTHER STANDARDS ARE REFERRED TO IN NFPA 72.
4.	ERRC

ABBREVIATIONS & SYMBOLS	
(E) EXISTING (N) NEW AC ACREAGE BALCONY BALCONY BED BEDROOM BOT BOTTOM CONTRL. CONTROL COMM COMMUNITY CY CIRCULAR DA DIAMETER DU DWELLING UNIT DN DOWN ELEV ELEVATOR ELEV ELEVATION ENCLOSURE ENCLOSURE ELECTRIC VEHICLE LEVEL MAX MAXIMUM MIN MINIMUM RES RESIDENTIAL RM ROOM STO STORAGE SQ.FT. SQUARE FEET T.O.P. TOP OF TYP TYPICAL UP UP	SECTION MARK ELEVATION MARK NORTH ARROW DOOR

ADDRESS
A.P.N.
ZONING & GENERAL PLAN
PROPOSED USE
(E) LOT SIZE
OCCUPANCY TYPE
CONSTRUCTION TYPES
PROPOSED
BUILDING COVERAGE
FIRE SPRINKLER
OCCUPANCY TYPE
NO. OF LEVELS (PROPOSED)
TOTAL RESIDENTIAL UNITS
DENSITY

14849 LOS GATOS BLVD., LOS GATOS, CA 95032
424-07-064
NORTH FORTY SPECIFIC PLAN
MIXED USE (RESIDENTIAL APARTMENTS AND COMMERCIAL)
39,550 SF (0.9 ACRE)
R-2 (RESIDENTIAL), S-2 (GARAGE), M (COMM),
A-2 (FITNESS/COMMUNITY RM & ROOF DECK)
TYPE I-A (SUPER STRUCTURE), TYPE I-A (GARAGE & COMMERCIAL)
306,273 SF
MIXED USE-RESIDENTIAL APARTMENTS AND COMMERCIAL
3 STORES BASEMENT GARAGE, 1 STORY COMMERCIAL & 8 STORES RESIDENTIAL
120 UNITS
125.6 DU/AC

Residential Unit Mix And Parking Cals.

Floor Level	# of Levels	Studio	1 Bed	2 Bed	3 Bed	Total Units	Total
2nd Through 9th Floor	8	1	3	7	4	120	
Total Units	8	24	56	32	120		
Parking Ratio	1	1	2	2			
Parking Required	8	24	112	64		208	
Guest						32	100
Single Stalls Req'd.	32						
Tandem Stalls Req'd.					176		
Accessible Stalls Req'd.							4
Bicycle Parking Required	Long Term					120	

Gross Building Area Calculations

Level	No. of Levels	Area (S.F.)	Total Area (S.F.)
Basement 3rd Level - Residential Parking	1	34,296	34,296
Basement 2nd Level - Residential Parking	1	35,287	35,287
Basement 1st Level - Commercial Parking	1	29,656	29,656
1st Floor Plan - Commercial	1	18,893	18,893
2nd Floor Plan - Residential	1	22,536	22,536
3rd - 9th Floor Plan - Residential	7	22,536	157,752
Roof Deck	1	7,693	7,693
Total Area			306,273

Private Open Space (Deck/ Balcony) Required Area = 120 Units X 60 SF = 7,200 SF

Levels	No. Of Levels	Area	Total Provided Area
2nd Floor Plan	1	6,936	6,936
3rd thru 9th Floor Plan	7	6,902	48,314
Total Area Provided			55,270

Common Open Space Calculations : Required = 120 Units X 100 SF = 12,000 SF

Common Open Space Provided At Roof Deck Level = 14,181 SF

THE LUXE

PROPOSED NEW DEVELOPMENT

MIXED USE (RESIDENTIAL & COMMERCIAL)

APPLICATION # S-24-008 and M-24-005

PROJECT DATA		PROJECT SUMMARY	
Landscaping Area Provided		THE SITE IS LOCATED ON LOS GATOS BOULEVARD BETWEEN BURTON ROAD AND NOODIN AVENUE. WE PLAN TO DEMOLISH EVERYTHING ON THE EXISTING SITE. THE NEW PROJECT WILL HAVE 1 BUILDING WITH THREE LEVELS OF BASEMENT GARAGES. THE BUILDING HAS 8 STORES ABOVE GROUND (1 FIRST FLOOR COMMERCIAL AND 7 FLOORS RESIDENTIAL) WITH COMMON OPEN SPACES ON ROOF DECK. THE BUILDING HAS A COMBINATION OF STUDIOS, 1 BEDROOM, 2 BEDROOM, AND 3 BEDROOM UNITS. THE ROOF TERRACE WILL HAVE BOTH RESIDENTS SIDE AND COMMERCIAL SIDE. A WALL W/ DOOR IS PLACED IN BETWEEN TO SEPARATE THE TWO SPACES. THE CONSTRUCTION WILL ENTAIL THE FOLLOWING: • SITE WORK, GRADING, EXCAVATION, BASEMENT • A NEW STRUCTURE WITH ALL MECHANICAL, ELECTRICAL, INSULATION AND PLUMBING SYSTEMS INCLUDING SUMP PUMP. • ALL INTERIOR FINISHES INCLUDING DRYWALL, TRIM AND FLOORING. • ALL EXTERIOR FINISH AND ROOFING. • LANDSCAPING AND IRRIGATION. • STREET IMPROVEMENTS.	
Level		Basement Residential Car Parking	
Area (SF)		Studio: 8 Units X 1 = 8 Stalls	
Lot Size (SF)		1-Bed : 24 Units X 1 = 24 Stalls	
Basement 1		2-Bed : 56 Units X 2 = 112 Stalls	
1st Floor		3-Bed : 32 units X 2 = 64 Stalls	
2nd Floor		Total Req'd. 120 Units = 208 Stalls	
Roof Deck		Parking Provided (Assigned):	
Total		Basement 2 = 103 Stalls	
11,800		Basement 3 = 109 Stalls	
30%		Total Prov. = 212 Stalls	
Commercial Parking Garage		Guest Stalls Required :	
29,656 GSF		120 Units X 0.5 = 60 Stalls	
Roof. Parking (1st comm.) = 18,817 SF /500 = 38 Stalls		Guest Stalls Provided : 55	
Restaurant (Roof Deck) = 2,391 SF /400 = 06 Stalls		Commercial parking will be used for	
Total = 44 Stalls		guest parking after hours	
1. Garage :		• Road. Bicycle Parking	
47 Single Stalls (9X19)		= 120 Units X 1 = 120	
03 Tandem Stalls (or 6 Stalls) (9X11')		Provided Bicycle Parking :	
1 Accessible (9X18')		Short Term (Guest)	
Total 54 Stalls		Basement - Comm. Level) Outdoor : 52	
2. 1st Floor : 0		Long Term (Residents):	
Total Parking 1st Floor & Garage		Basement 2 : 97	
= 54 + 0 = 54 Stalls		Basement 3 : 26	
Bicycle Parking Required :		Total = 125	
18,817 + 2,391 = 21,208 SF/2000 SF = 11		PUBLIC OPEN SPACE REQUIREMENT	
Bicycle Parking Provided :		REQUIRED 30% MIN.	
1st Floor = 28		= 12,000 SF	
PROPOSED TOTAL 24		TOTAL OPEN SPACE	
PUBLIC ACCESSIBLE OPEN SPACE		PROVIDED	
REQUIRED 20% OF 30%		AT LEVEL 1 PLAZA = 7,155 SF	
ACCESSIBLE SPACE PROVIDED 6,155 SF		AT ROOF DECK = 16,624 SF	
12,000 SF / 6,155 SF = .51 = 51%		TOTAL = 17,779 SF	
CONCLUSION 45% > 30%		17,779 SF / 39,550 SF = .45 OR 45%	
PUBLIC ACCESSIBLE OPEN SPACE		A4.0 - Floor Plans - Basement 1 Commercial Garage	
REQUIRED 20% OF 30%		A5.0 - Floor Plans - Residential Building Plans	
A4.0 - Sections		Levels 2 thru 9	
A8.1 - Sections		A5.1 - 0 - Unbuilt	
A9.0 - Enlarged Unit Plans - Studio, 1, 2 & 3 Bedrooms		A6.0 - 0 - Unbuilt	
A9.1 - Enlarged Unit Plans - 3 Bedrooms		A6.1 - Facade Design & Articulation Diagrams - Floor Plans	
A9.2 - Enlarged Unit Plans - 1 Bedroom, Studio, 3 Bedroom		A7.0 - 0 - Unbuilt	
		A7.1 - Facade Design & Articulation Diagrams - Elevations	
		A7.2 - 0 - Unbuilt	
		A7.3 - Facade Renderings	
		A7.4 - Facade Renderings	
		A7.5 - Building Color and Materials	
		A8.0 - Sections	
		A8.1 - Sections	
		A9.0 - Enlarged Unit Plans - Studio, 1, 2 & 3 Bedrooms	
		A9.1 - Enlarged Unit Plans - 3 Bedrooms	
		A9.2 - Enlarged Unit Plans - 1 Bedroom, Studio, 3 Bedroom	

Anderson Architects INC.

kanderson@andarcn.com
120 W. Campbell Ave., Suite D
Campbell, CA 95008

Kurt B. Anderson, AIA
Principal
Tel. 408.371.1269
Fax. 408.371.1276
www.andarcn.com

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Client:
Los Gatos Boulevard Properties LLC
16400 Los Gatos Blvd., Suite 400
Los Gatos, CA 95032

Project:
The Luxe
16400 Los Gatos Blvd.
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Stamp:

Issued For		
No.	Description	Date
0	INITIAL SUBMITTAL	03/07/24
1	RESPONSE TO PLANNING COMMENTS	07/01/24
2	RESPONSE TO PLANNING COMMENTS	10/21/24
3	RESPONSE TO PLANNING COMMENTS	02/13/2025
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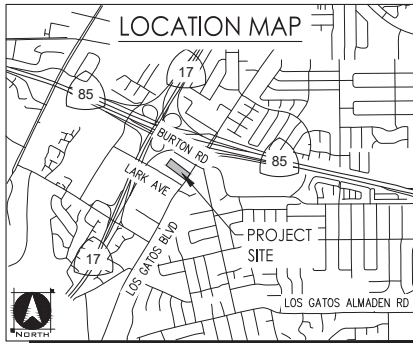
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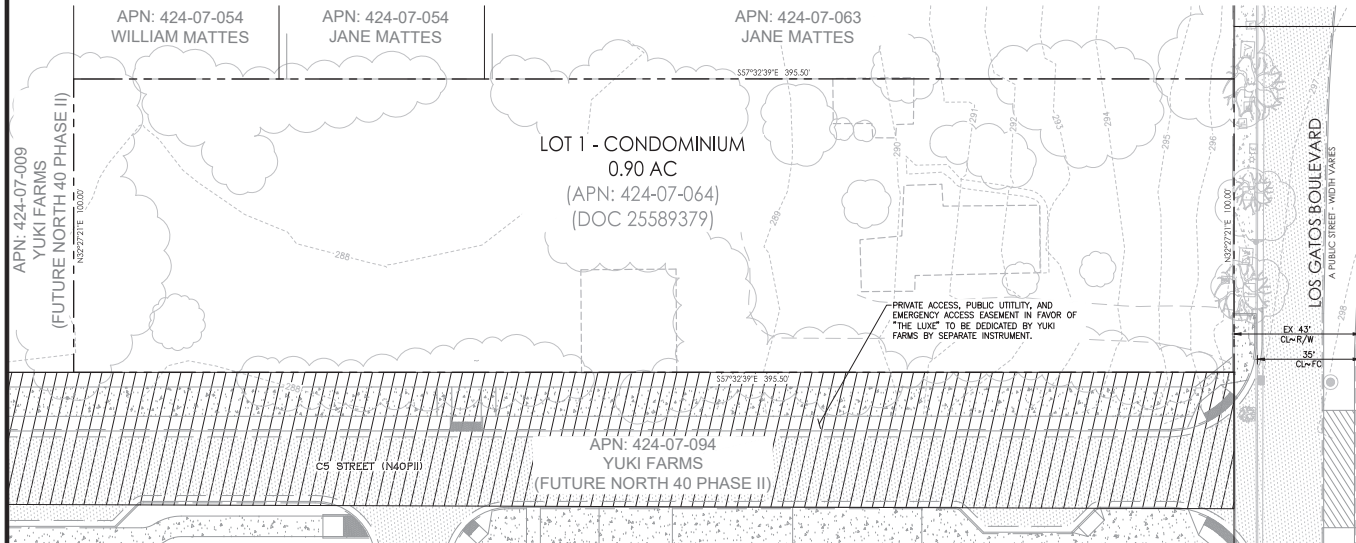
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TENTATIVE SUBDIVISION MAP FOR CONDOMINIUM PURPOSES

THE LUXE

TOWN OF LOS GATOS, SANTA CLARA COUNTY, CALIFORNIA
OCTOBER 2024



LEGEND

PROPOSED	EXISTING

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER	MH	MANHOLE
BFP	BACKFLOW PREVENTOR	N40P11	NORTH 40 PHASE II
BL	BASEMENT LEVEL	P	PAVEMENT
BW	BOTTOM OF WALL	POC	POINT OF CONNECTION
C	CONCRETE	RET	RETAINING
CB	CATCH BASIN	R/W	RIGHT-OF-WAY
DCA	DOUBLE CHECK DETECTOR ASSEMBLY	SD	STORM DRAIN
DI	DI	SF	SQUARE FEET
DW	DRIVEWAY	SS	SANITARY SEWER
EX	EXISTING	SW	SIDEWALK
FC	FACE OF CURB	TC	TOP OF CURB
FG	FINISHED FLOOR	TG	TOP OF GRATE
FT	FINISHED FLOOR	TW	TOP OF WALL
FG	FINISHED GRADE	TYP	TYPICAL
FH	FIRE HYDRANT	W	WATER
FS	FIRE SERVICE	WM	WATER METER
FU	FUTURE	WS	WATER SERVICE

PROJECT NOTES

APPLICANT/OWNER

LOS GATOS BOULEVARD PROPERTIES, LLC
16400 LARK AVENUE
LOS GATOS, CA 95032
CONTACT: AUI MOAYED
PHONE: (408) 515-4699

PLANNER/ENGINEER

WOOD RODGERS, INC.
4270 WILLOW ROAD, SUITE 125
PLEASANTON, CA 94588
CONTACT: PAUL MEUSER | COLT ALVERNAZ
PHONE: (925) 847-1549 | (925) 393-2811

ARCHITECT

ANDERSON ARCHITECTS INC.
120 W CAMPBELL AVE, SUITE D
CAMPBELL, CA 95008
CONTACT: KURT ANDERSON
PHONE: (408) 371-1269

ASSESSOR'S PARCEL NO.

424-07-064

ADDRESS

14849 LOS GATOS BOULEVARD

AREA

0.92 ACRES GROSS / 0.92 ACRES NET

PARKING SPACE COUNT

240 GARAGE SPACES
13 OPEN SPACES

UNIT COUNT

117 CONDOMINIUMS

COMMERCIAL AREA

19,621 SF

DENSITY

130 D.U./AC. GROSS

EXISTING USE

VACANT

PROPOSED USE

MIXED USE

EXISTING ZONING

NORTH 40 SPECIFIC PLAN

EXISTING GENERAL PLAN

MIXED USE COMMERCIAL

PARK DISTRICT

TOWN OF LOS GATOS

FIRE PROTECTION

SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRICT

SCHOOL DISTRICT

LOS GATOS UNIFIED SCHOOL DISTRICT

SEWER

WEST VALLEY SANITATION DISTRICT

STORM DRAIN

SANTA CLARA COUNTY

WATER

SAN JOSE WATER COMPANY

ELECTRICITY

PG & E

GAS

PG & E



kanderson@andarchinc.com
Ced 408.202.5462
Kurt B. Anderson, AIA
Principal
120 W. Campbell Ave, Suite D
Campbell, CA 95008
Tel. 408.371.1269
Fax. 408.371.1278
www.andarchinc.com

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Los Gatos, CA 95032

Project:

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14849 Los Gatos Blvd.
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:



Stamp:



Issued For		
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0	INITIAL SUBMITTAL	
1	CYCLE 2 PLANNING SUBMITTAL	7/1/2024
2	CYCLE 3 PLANNING SUBMITTAL	10/18/2024
3	CYCLE 4 PLANNING SUBMITTAL	2/14/2025
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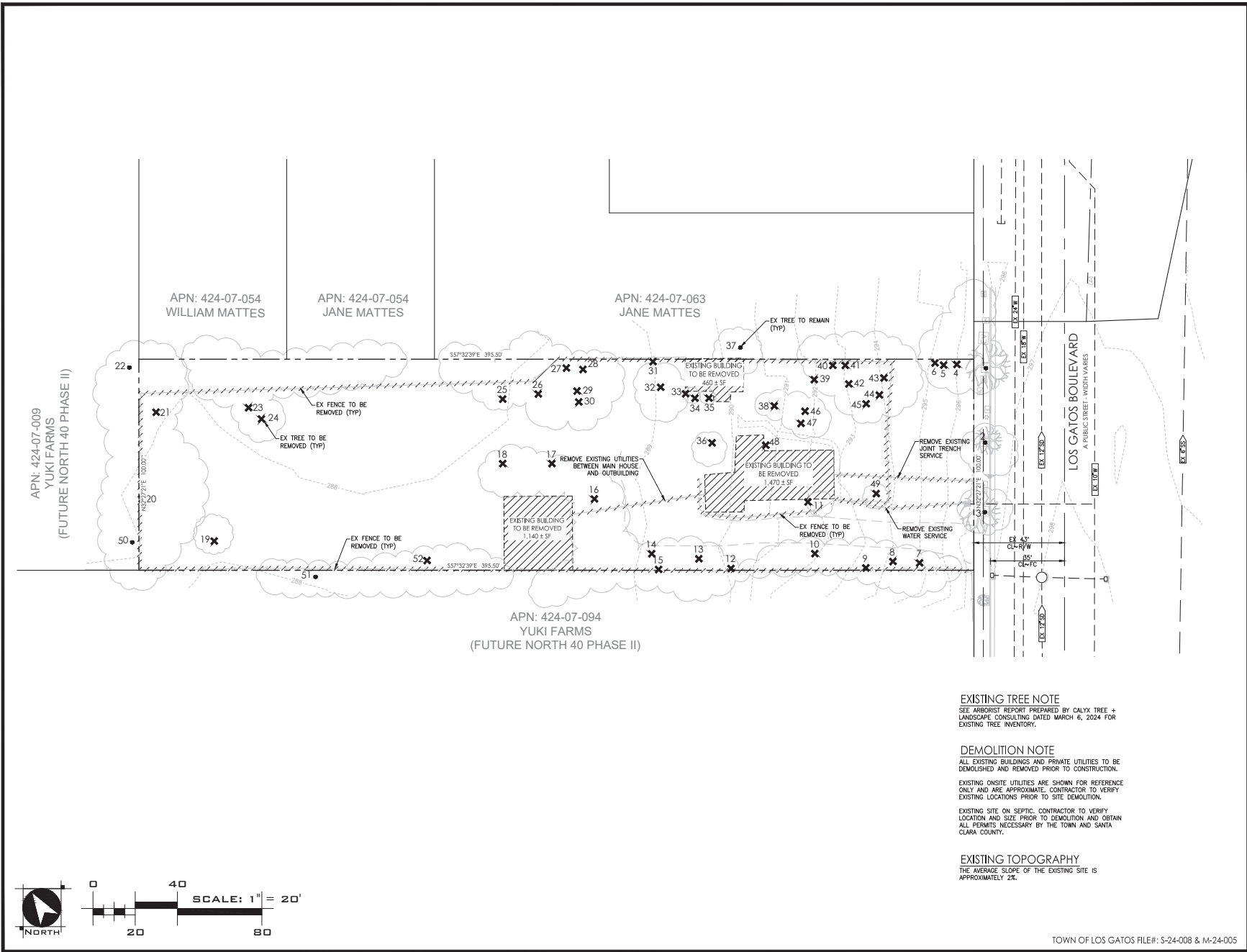
TENTATIVE MAP FOR
CONDOMINIUM PURPOSES

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TOWN OF LOS GATOS FILE#: S-24-008 & M-24-005



EXISTING TREE NOTE
SEE ARBORIST REPORT PREPARED BY CALYX TREE + LANDSCAPE CONSULTING DATED MARCH 6, 2024 FOR EXISTING TREE INVENTORY.

DEMOLITION NOTE
ALL EXISTING BUILDINGS AND PRIVATE UTILITIES TO BE DEMOLISHED AND REMOVED PRIOR TO CONSTRUCTION.

EXISTING ONSITE UTILITIES ARE SHOWN FOR REFERENCE ONLY AND ARE APPROXIMATE. CONTRACTOR TO VERIFY EXISTING LOCATIONS PRIOR TO SITE DEMOLITION.

EXISTING SITE ON SEPTIC. CONTRACTOR TO VERIFY LOCATION AND SIZE PRIOR TO DEMOLITION AND OBTAIN ALL PERMITS NECESSARY BY THE TOWN AND SANTA CLARA COUNTY.

EXISTING TOPOGRAPHY
THE AVERAGE SLOPE OF THE EXISTING SITE IS APPROXIMATELY 2%.

Anderson Architects

kanderson@andarchinc.com
Cell 408.202.5462

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Campbell, CA 95008

www.andarchinc.com

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Fax. 408.371.1276

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Planner/Civil Engineer:

WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
3875 HOPKINS ROAD, SUITE 345 TEL. 925.847.1556
PLEASANTON, CA 94588 FAX 925.847.1557

Stamp:

Professional Engineer
No. C75740
Exp. 06-30-26
State of California

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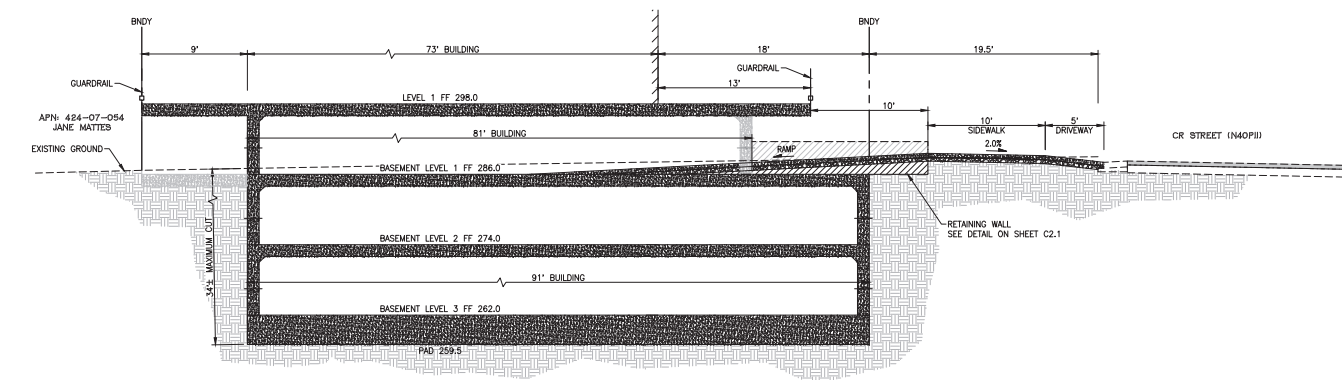
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EXISTING CONDITIONS PLAN

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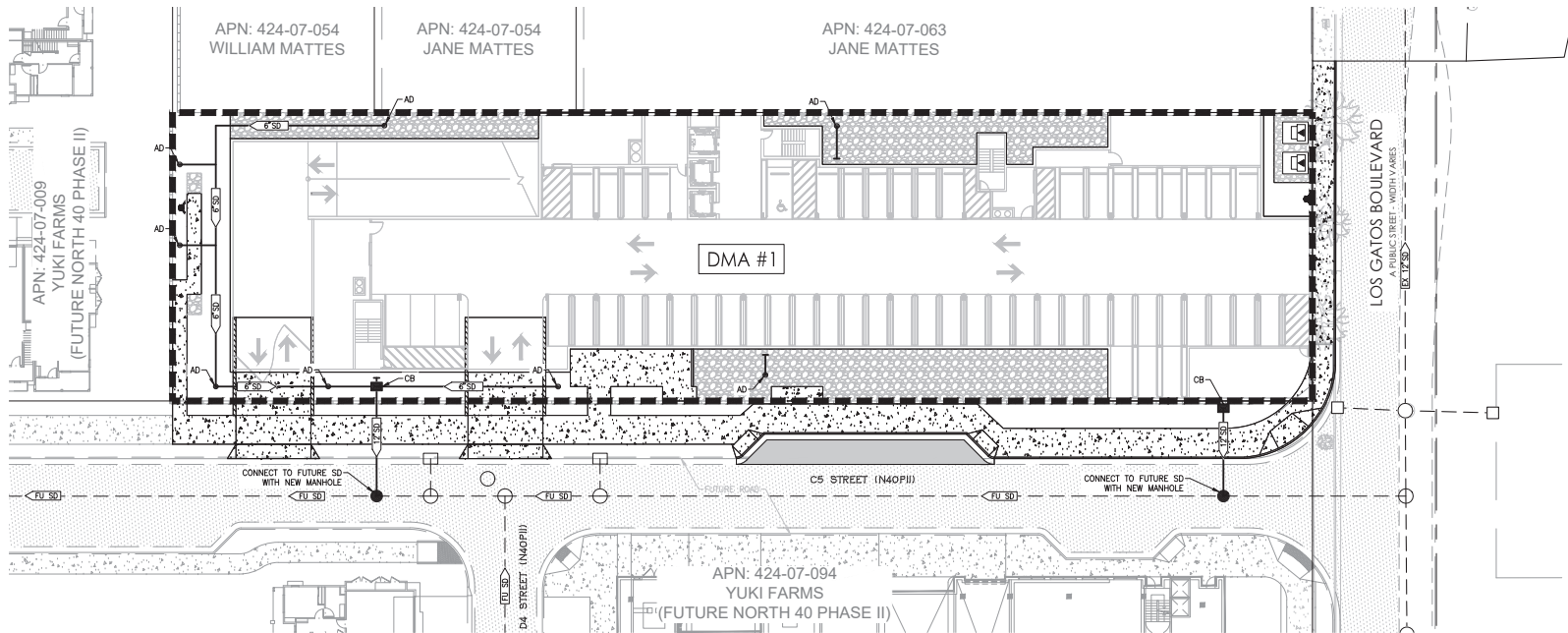
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GRADING, DRAINAGE & UTILITY NOTES:

1. ALL STORM DRAIN PIPES SHALL HAVE A MINIMUM OF 30" COVER.
2. ALL PEDESTRIAN WALKWAYS ON SITE SHALL HAVE A CROSS SLOPE OF 1.5% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.

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2. Project Size

a. Total Site Area: 39,550 (ft ²)		b. Total Land Area Disturbed During Construction: 39,550 (ft ²) (including clearing, grading, stockpiling, or excavating)			
Project Totals	Total Existing (Pre-project) Area (ft ²)	Existing Area Retained ¹ (ft ²)	Existing Area Replaced ² (ft ²)	New Area Created ³ (ft ²)	Total Post-Project Area (ft ²)
Impervious Area (IA)					
c. Total on-site IA	3,930	0	3,930	33,255	37,185
d. Total off-site IA ³					0
e. Total project IA	3,930	0	3,930	33,255	37,185
f. Total new and replaced IA				37,185	
Pervious Area (PA)⁴					
g. Total on-site PA	35,620				2,365
h. Total off-site PA ³					
i. Total project PA	35,620				2,365
j. Total Project Area (2.e.+2.i.)	39,550				39,550
k. Percent Replacement of IA in Redevelopment Projects: (Existing on-site IA Replaced + Existing Total on-site IA) x 100% = 100 %					

STORMWATER CONTROL PLAN NOTES:

SITE RUNOFF WILL BE TREATED IN THE NORTH 40 PHASE II INFILTRATION GALLERY. SEE PLANS BY MACKAY & SOMPS.

- SOURCE CONTROL MEASURES:**
1. BENEFICIAL LANDSCAPING.
 2. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
 3. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
 4. STORM DRAIN LABELING.

- SITE DESIGN MEASURES:**
1. PROTECT EXISTING TREES, VEGETATION, AND SOIL.
 2. CREATE NEW PERVIOUS AREAS.
 3. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
 4. PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.
 5. PARKING:
 - a. NOT PROVIDED IN EXCESS OF CODE.

IMPERVIOUS SURFACE SUMMARY

TOTAL SITE AREA	EXISTING IMPERVIOUS SURFACE AREA (SF)	PROPOSED IMPERVIOUS SURFACE AREA (SF)
39,550	3,930 (10%)	37,185 (94%)

Anderson Architects

kanderson@andarchinc.com
Cel 408.202.5462

Kurt B. Anderson, AIA
Principal
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Fax. 408.371.1276
www.andarchinc.com

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Los Gatos, CA 95032

Project:

The Luxe

14849 Los Gatos Blvd.
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:

WOOD RODGERS

BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

3875 HOPKINS ROAD, SUITE 345 TEL. 925.847.1556
PLEASANTON, CA 94588 FAX 925.847.1557

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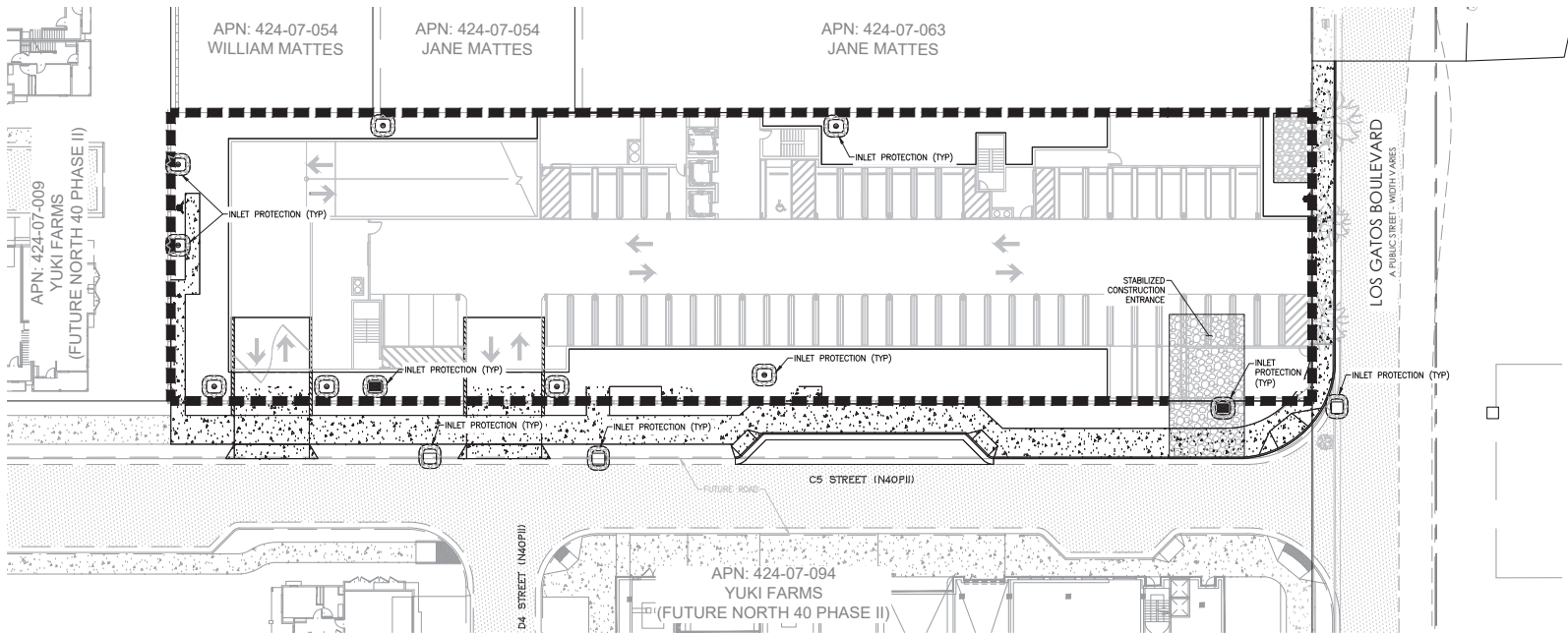
PRELIMINARY STORMWATER CONTROL PLAN

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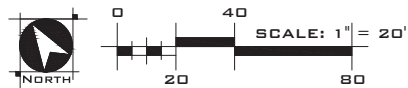
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TOWN OF LOS GATOS FILE#: S-24-008 & M-24-005



LEGEND

-  STRAW WATTLE/FIBER ROLL (SE-5)
-  INLET PROTECTION (SE-10)
-  STABILIZED CONSTRUCTION ENTRANCE/EXIT (TC-1)



TOWN OF LOS GATOS FILE#: S-24-008 & M-24-005

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Cell 408.202.5462

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Fax. 408.371.1275

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1	CYCLE 2 PLANNING SUBMITTAL	7/1/2024
2	CYCLE 3 PLANNING SUBMITTAL	10/18/2024
3	CYCLE 4 PLANNING SUBMITTAL	2/14/2025
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Initial Submittal Date: 02/01/2024

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Drawn By: CRA

Checked By: CRA

Sheet Title:

EROSION CONTROL PLAN

Sheet No.

C5.0

File: J:\Jobs\4378_Boulevard Villas Job: 4378_Boulevard Villas



Client:
Los Gatos Boulevard Properties LLC
16400 Los Gatos Blvd., Suite 400
Los Gatos, CA 95032

Project:
LGBV
14849 Los Gatos Blvd.
Los Gatos, CA 95032

Stamp:

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Scale:	1" = 20'-0"
Drawn By:	ML
Checked By:	KBA
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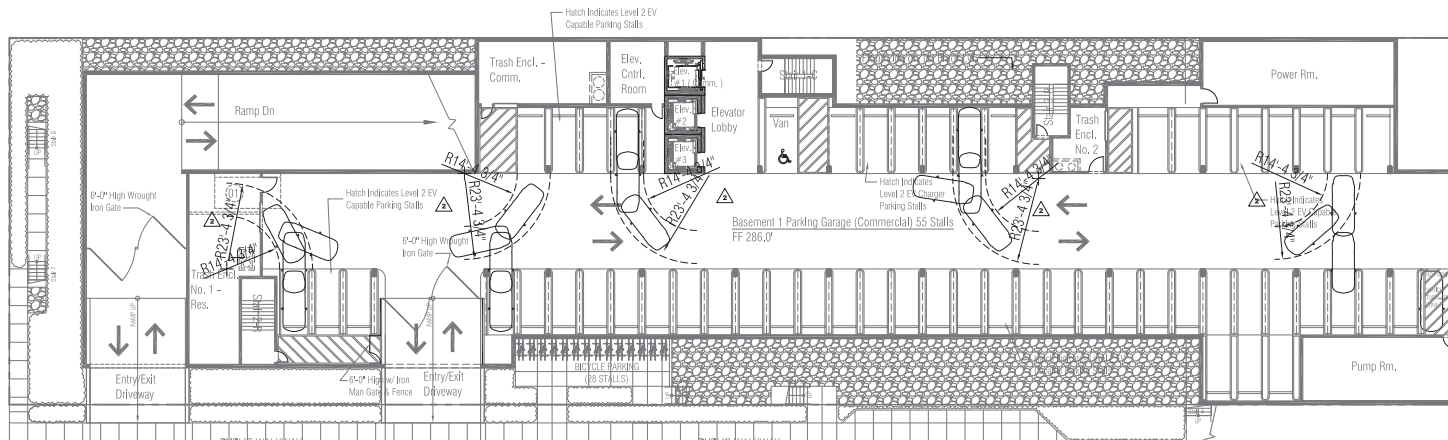
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File: P:\Projects\Los Gatos Boulevard Village\Job: LGBV



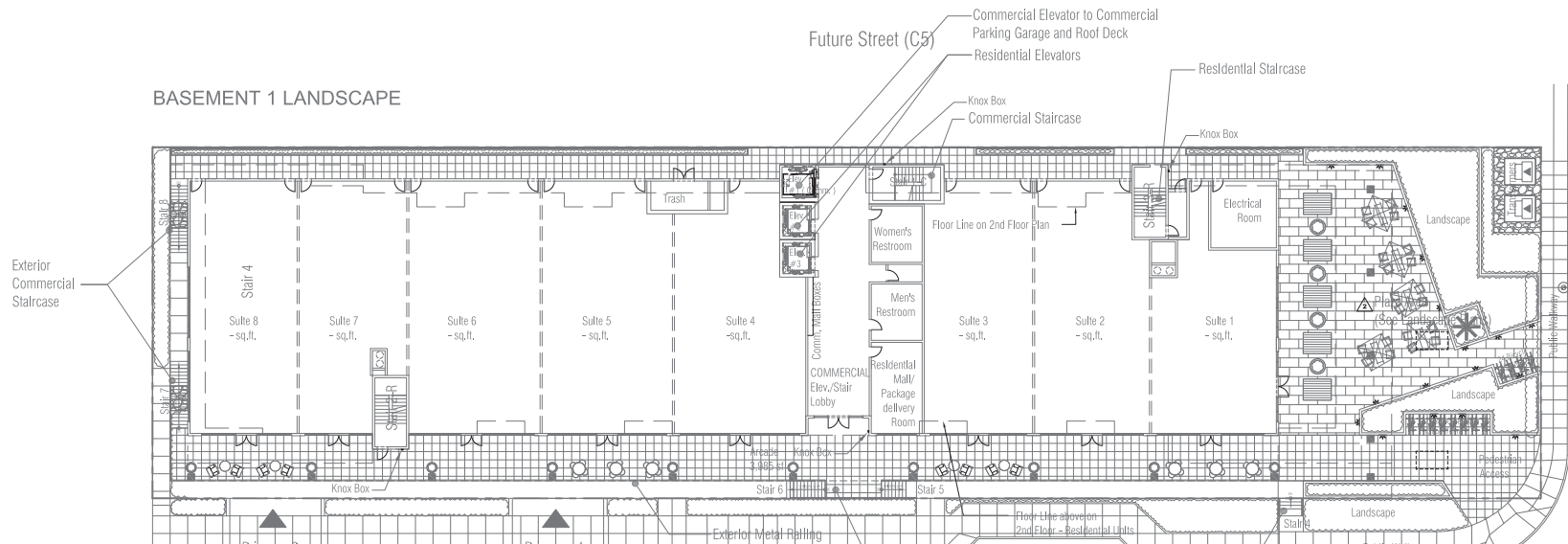
1. AS PER OBJECTIVE DESIGN STANDARD, B.4.1, AT LEAST 2 DIFFERENT FACADE MATERIALS SHOULD BE USED COVERING MINIMUM 20% OF THE FACADE AREA. REFER TO ELEVATIONS AND MATERIALS SHOWN ON SHEET A7.0 AND A7.1.
2. AS PER OBJECTIVE DESIGN STANDARD, B.4.1a, THE FACADE HEIGHT OF THE UPPER FLOOR (ROOF DECK LEVEL) IS 15 FEET AND THE HEIGHT OF THE FLOOR IMMEDIATELY BELOW IS 12 FEET, WHICH MEETS THE MINIMUM 2 FEET DIFFERENCE REQUIREMENT.
3. AS PER OBJECTIVE DESIGN STANDARD, B.4.2, ALL FACADE MATERIALS AND ARCHITECTURAL DETAILS ARE USED ON ALL BUILDING FACADES. REFER TO ELEVATIONS SHOWN ON SHEET A7.0 AND A7.1.
4. AS PER OBJECTIVE DESIGN STANDARD, B.4.13, CONTINUOUS BLANK FACADE ON ANY FLOOR DOES NOT EXCEED 25% OF ENTIRE LENGTH. REFER TO ELEVATIONS SHOWN ON SHEET A7.0 AND A7.1.

1 AS PER OBJECTIVE DESIGN STANDARD, A.7.4, ROOFTOP MECHANICAL EQUIPMENT IS SCREENED.



BASEMENT 1 COMMERCIAL PARKING GARAGE PLAN
SCALE: 1/16" = 1'-0"

BASEMENT 1 LANDSCAPE



FIRST FLOOR LEVEL (COMMERCIAL)
SCALE: 1/16" = 1'-0"



kanderson@andarch.com Kurt B. Anderson, AIA
Call 408.202.5462 Principal
120 W. Campbell Ave., Suite D Tel. 408.271.1269
Campbell, CA 95008 Fax. 408.271.1276
www.andarch.com

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Client:

Los Gatos Boulevard Properties LLC
16409 Los Gatos Blvd., Suite 400
Los Gatos, CA 95032

Project:

The Luxe

16409 Los Gatos Blvd.
Los Gatos, CA 95032

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Initial Submittal Date: 03/07/2024

Scale: AS NOTED

Drawn By: RK

Checked By: KBA

Sheet Title:

*Car Turning
Radius
First Flr. & Basement1*

Sheet No.:

A1.1

File: P:\Projects\Los Gatos Boulevard Villa Job: LGBV



kanderson@andarcn.com
Call 408.202.5462
120 W. Campbell Ave., Suite D
Campbell, CA 95008
www.andarcn.com

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Principal
Tel. 408.271.1269
Fax. 408.271.1276

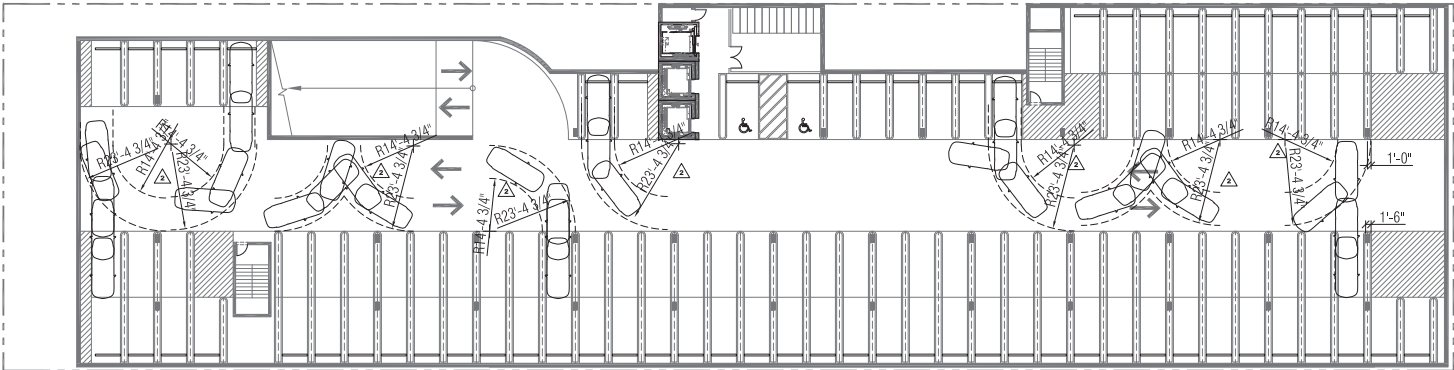
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Los Gatos, CA 95032

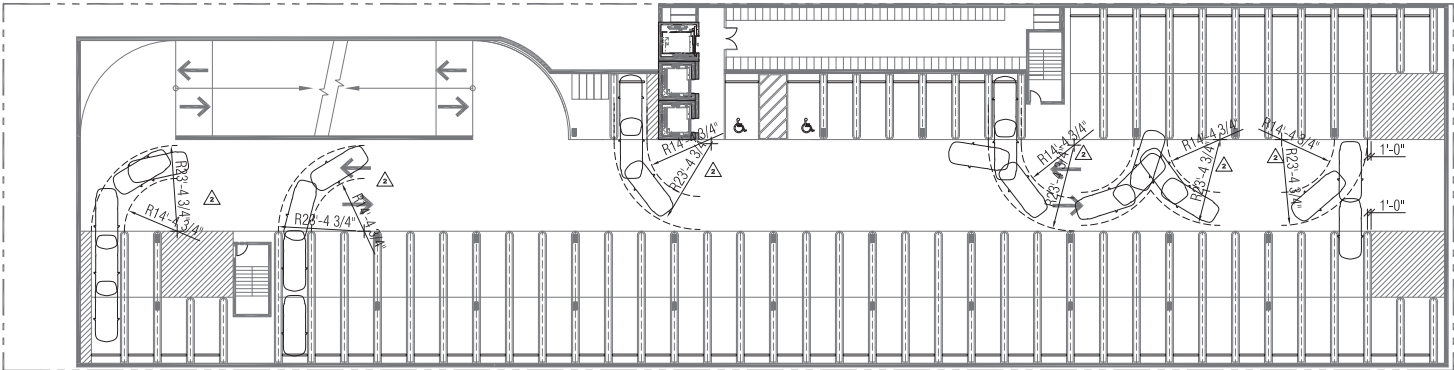
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14849 Los Gatos Blvd.
Los Gatos, CA 95032

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Stamp:



BASEMENT 3 PARKING GARAGE PLAN (RESIDENTIAL)
SCALE: 1/8" = 1'-0"



BASEMENT 2 PARKING GARAGE PLAN (RESIDENTIAL)
SCALE: 1/8" = 1'-0"

Issued For

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Initial Submittal Date: 03/07/2024

Scale: AS NOTED

Drawn By: RK

Checked By: KBA

Sheet Title:

Car Turning Radius Basement 2 and 3

Sheet No.:

A1.2



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16499 Los Gatos Blvd., Suite 400
Los Gatos, CA 95032

Project:
The Luxe
14849 Los Gatos Blvd.
Los Gatos, CA 95032

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Initial Submittal Date: 03/07/2024

Scale: AS NOTED

Drawn By: ML

Checked By: KBA

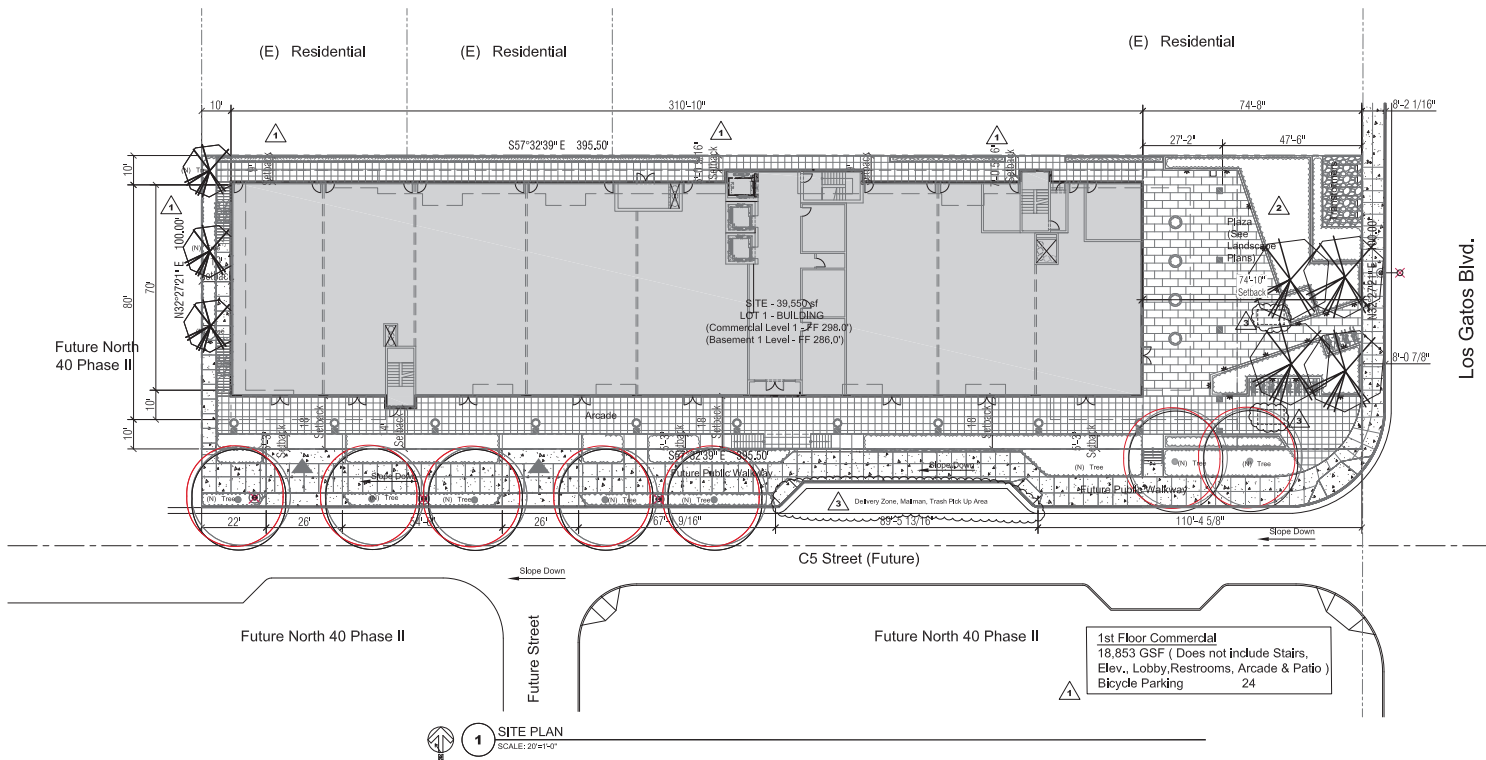
Sheet Title:

Site
Plan

Sheet No.

A2.0

File: P:\Projects\Los Gatos Boulevard Villa Job: LGBV



Commercial Parking Garage
27,928 GSF

Req'd. Parking (1st comm.) = 18,817 SF/300 = 63 Stalls
Restaurant (Road Deck) = 2,391 SF/300 = 08 Stalls
Total = 71 Stalls

Provided Commercial / Res. Guest Parking:
1. Garage:
53 Single Stalls (9'x18')
03 Tandem Stalls (or 6 Stalls)
1 Accessible (9'x18')
Total 53 Stalls

1st Floor: 0

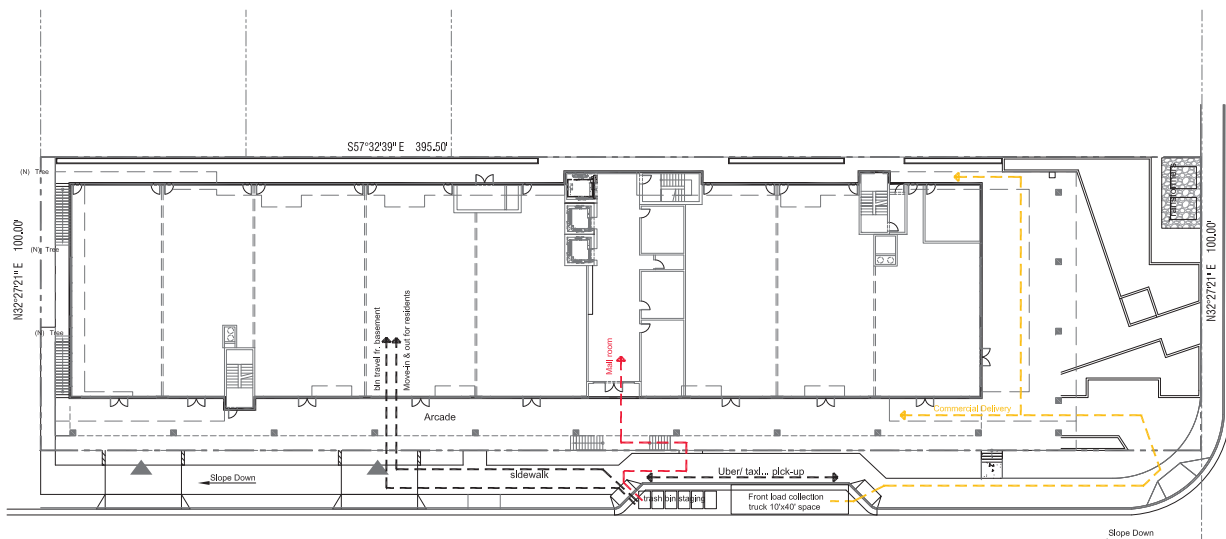
Total Parking 1st Floor & Garage
= 53 + 0 = 53 Stalls

Bicycle Parking Required:
18,817 + 2,391 = 21,208 SF/2000 SF = 11

Bicycle Parking Provided:
1st Floor = 28

Residential Unit Mix And Parking Calcs.						
Floor Level	# of Levels	Studio	1 Bed	2 Bed	3 Bed	Total Units
2nd Through 9th Floor	8	1	3	7	4	120
Total Units	8	24	56	32	120	
Parking Ratio	1	1	2	2		
Parking Required	8	24	112	64		208
Single Stalls Req'd.	32					
Tandem Stalls Req'd.				176		
Accessible Stalls Req'd.						4
Bicycle Parking Required (Long Term)						120

Site Calcs.		
	Lot Size (SF)	Area Percentage
	39,550	
Building Footprint	22,879	58%
Walkway/ Ext. Stairs	8,187	21%
Driveway/ Parking	5,485	13.9%
Landscaping	3,019	7.6%
	39,550	100%



Trash requirements based on Waste Management Protocols

Residential (without compaction/ if compaction is used we can reduce the waste by 50%)

Landfill: 119 units at 20 gallons per unit divided by 201 gallons per cu. yd. = 11.8 cu yds. weekly

Recycle: 119 units at 20 gallons per unit divided by 201 gallons per cu. yd. = 11.8 cu yds. weekly

Organics: 119 units at 10 gallons per unit divided by 201 gallons per cu. yd. = 5.9 cu yds

Using compaction:

Landfill: 6 cu. yds (3 – 2 cu yds bins, pick up at least one time per week)

Recycle: 6 cu. yds (3 – 2 cu yds bins, pick up at least one time per week)

Organics: 3 cu. yards (2 – 2 cu. yard bins, pick up once per week)

Commercial:

Commercial square footage (includes restaurant)

Landfill: 21,208SF x .005 lb/SF divided by 201 gallons per cu. yd. = .7 cu. yds daily (4.9 cu yds/week)

Recycle: 21,208SF x .005 lb/SF divided by 201 gallons per cu. yd. = .7 cu. yds daily (4.9 cu yds/week)

Organics: 21,208SF x .005 lb/SF divided by 201 gallons per cu. yd. = .7 cu. yds daily (4.9 cu yds/week)

Using compaction:

Landfill: 2.5 cu yds (2 – 2 cu. yard bins, pick up once per week)

Recycle: 2.5 cu yds (2 – 2 cu. yard bins, pick up once per week)

Organics: 2.5 cu yds (2 – 2 cu. yard bins, pick up once per week)

Summation based on meeting with Waste Management:

Christine Soper and Gerardo Torres Ruiz, we met in Anderson Architects office on Tuesday 2.11.2025.

We will use 2 cubic yard bins and we will have pickups a minimum of once per week based on the compaction numbers. Management will coordinate with Waste Management to insure the bins are delivered to the loading area for pick up and will return them to the appropriate trash rooms.

- SERVICE LEGEND:**
- Commercial delivery
 - Trash collection
 - Mail delivery
 - Uber/ taxi... pick-up/ drop-off
 - Truck parking, Move-in & out for residents

Anderson Architects INC.

kanderson@andarchi.com
Call 408.202.5462

Kurt B. Anderson, AIA
Principal

120 W. Campbell Ave., Suite D
Campbell, CA 95008

Tel. 408.271.1269
Fax: 408.271.1276

www.andarchi.com

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Client:

Los Gatos Boulevard Properties LLC

16400 Los Gatos Blvd., Suite 400
Los Gatos, CA 95032

Project:

The Luxe

14849 Los Gatos Blvd.
Los Gatos, CA 95032

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Initial Submittal Date: 03/07/2024

Scale: 1"=20'-0"

Drawn By: ML

Checked By: KBA

Site Service Access

Sheet No.:

A2.1

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Client:
Los Gatos Boulevard Properties LLC
16490 Los Gatos Blvd., Suite 400
Los Gatos, CA 95032

Project:
The Luxe
14849 Los Gatos Blvd.
Los Gatos, CA 95032

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Initial Submittal Date: 03/07/2024

Scale: AS NOTED

Drawn By: ML

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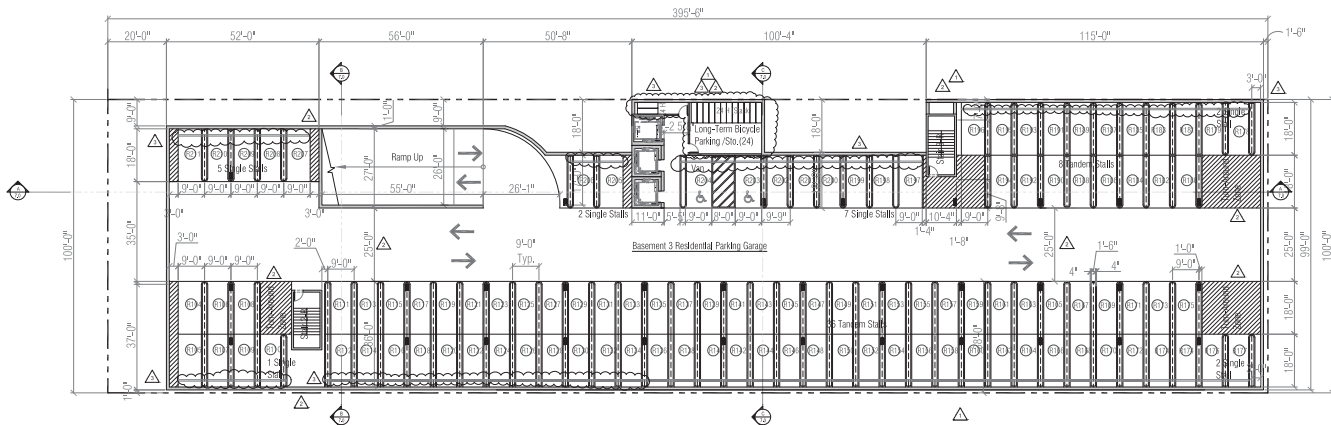
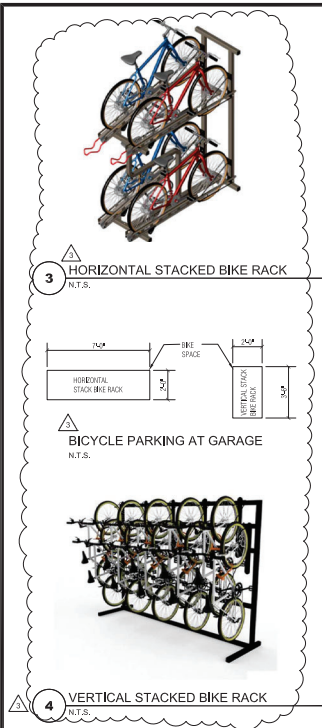
Sheet Title:

**Floor Plans:
Basement 2 & 3
Parking Garage**

Sheet No.:

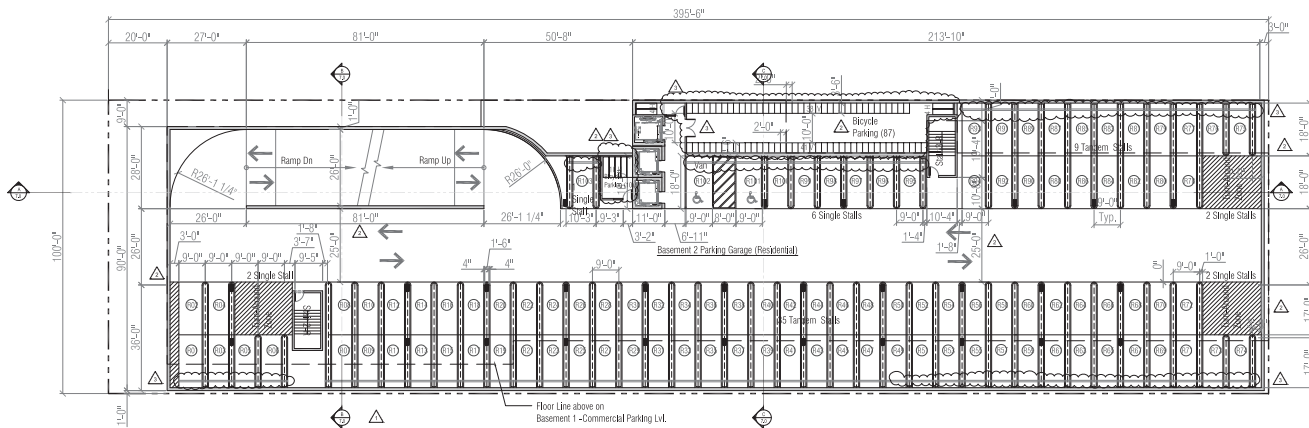
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File: P:\Projects\Los Gatos Boulevard Villa Job: LGBV



2 BASEMENT 3 PARKING GARAGE PLAN (RESIDENTIAL)
SCALE: 20' = 1'-0"

Basement 3 Residential Parking
34,286 GSF
19 Single Stalls (9x18)
44 Tandem Stalls or 88 (9x18)
02 Accessible Stalls
109 Total Parking Stalls
Bicycle Parking Provided (Long-Term) 28



1 BASEMENT 2 PARKING GARAGE PLAN (RESIDENTIAL)
SCALE: 20' = 1'-0"

Basement 2 Residential Car Parking
35,287 GSF
13 Single Stalls (9x18)
44 Tandem Stalls or 88 Stalls (9x18)
02 Accessible Stalls
103 Total Stalls
Bicycle Parking Provided (Long-Term) 97

Basement Residential Car Parking

Required Parking:
Studio : 8 Units X 1 = 8 Stalls
1-Bed : 24 Units X 1 = 24 Stalls
2-Bed : 56 Units X 2 = 112 Stalls
3-Bed : 32 Units X 2 = 64 Stalls
Total Req'd 120 Units = 208 Stalls

Guest Stalls Required:
120 units X 0.5 = 60 Stalls

Parking Provided:
Basement 2 = 103 Stalls
Basement 3 = 109 Stalls
Total Prov. = 212 Stalls

Guest Stalls Provided: 4

Req'd. Bicycle Parking
= 120
Provided Bicycle Parking:
Basement 1 & Comm. Level : 52
Basement 2 : 97
Basement 3 : 28
Total = 125

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Drawn By: MLRK

Checked By: KBA

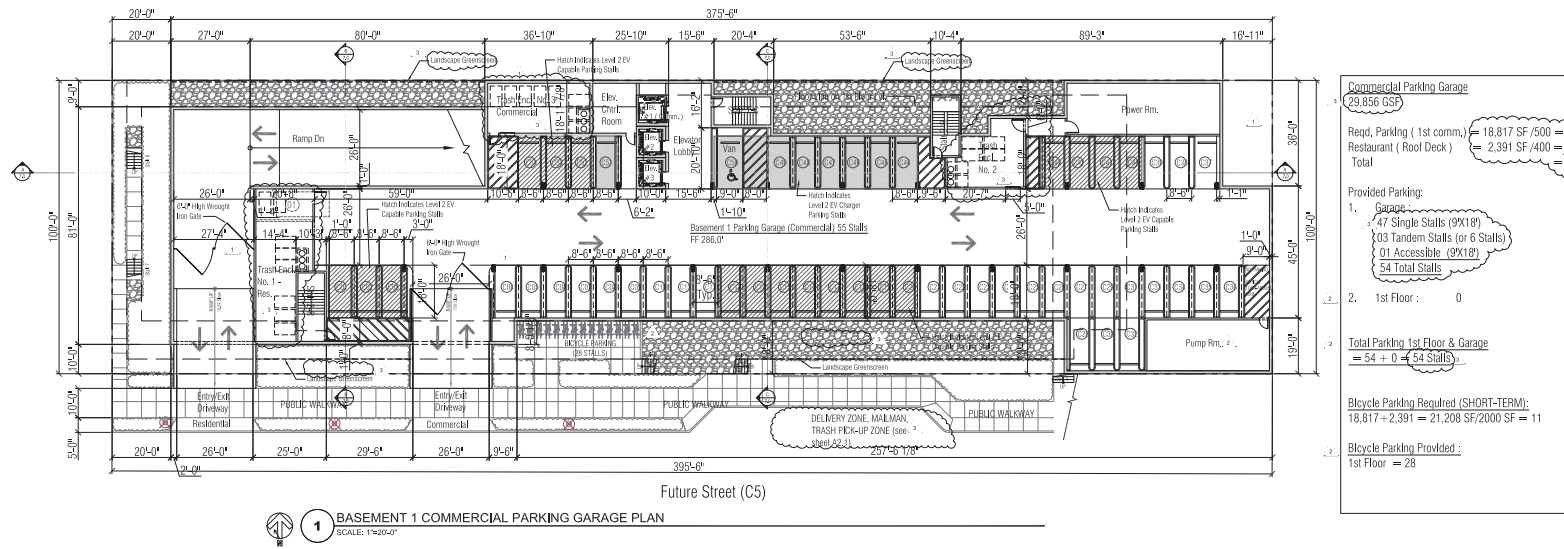
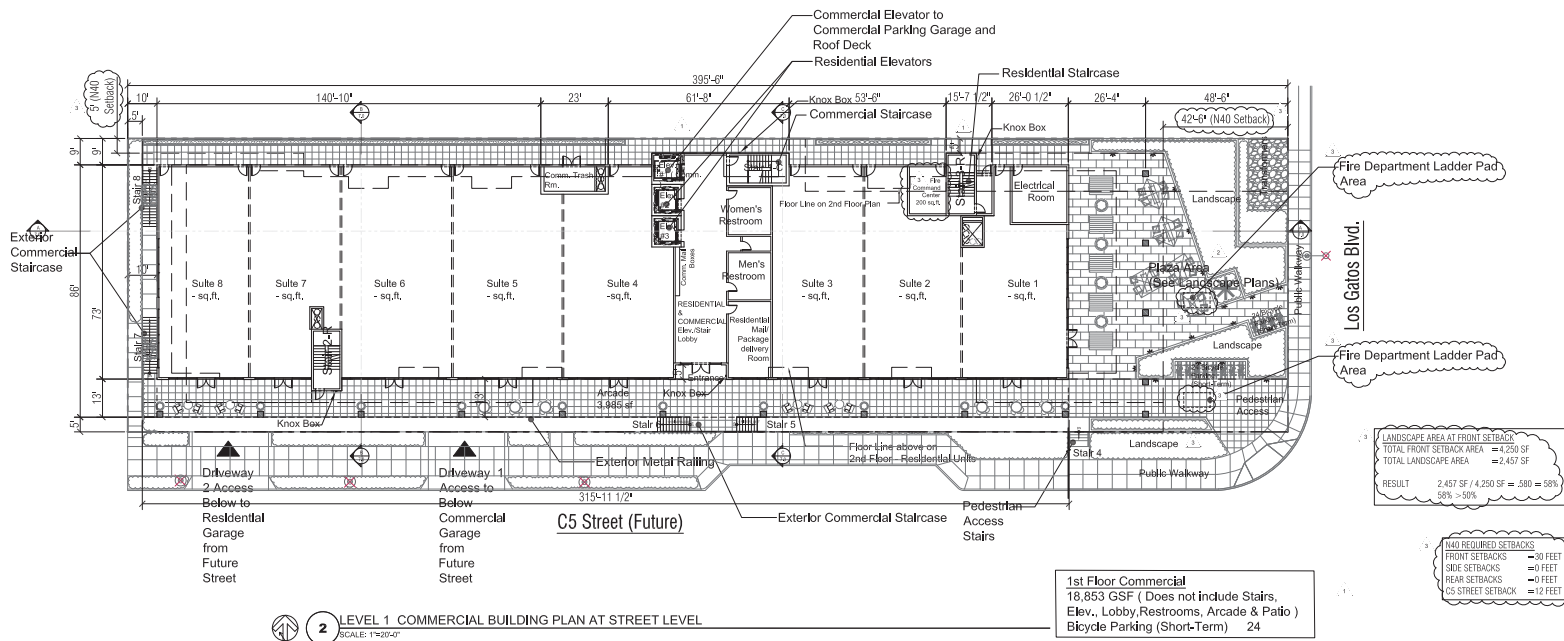
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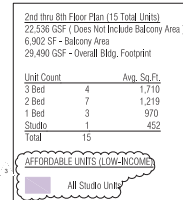
**Floor Plans:
Basement 1 Comm.
Garage & Comm. Plan**

Sheet No.:

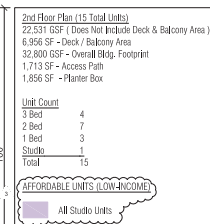
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 **2** RESIDENTIAL BUILDING PLAN AT LEVELS 3 THRU 9 (7 TOTAL FLOORS)
SCALE: 1"=20'-0"



 **1** RESIDENTIAL BUILDING PLAN AT LEVEL 2
SCALE: 1"=20'-0"

Project:

The Luxe

14849 Los Gatos Blvd.
Los Gatos, CA 95032

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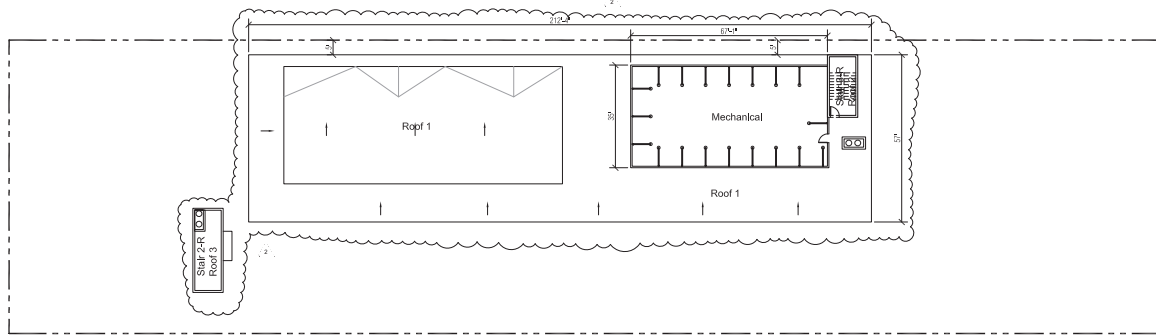
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Sheet Title:

*Floor Plans:
Residential Building Plan
Levels 2 thru 9*

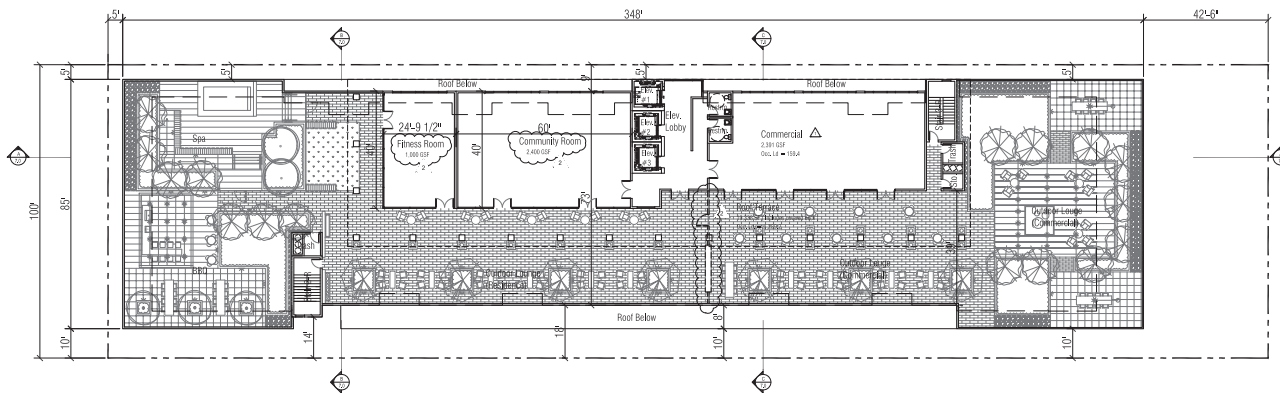
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Rooftop:
Area = 12,103 SF

2 ROOFTOP FLOOR PLAN
SCALE: 1"=20'-0"



Roof Level:
Lobby, Elev., Stairs, Restroom, Trashrm., Community
Fitness, Elevator, Staircases 7,693 SF
Common Open Space 14,181 SF
Overall Bldg. Sq.Ft. 29,469 SF

1 ROOF TERRACE FLOOR PLAN
SCALE: 1"=20'-0"



kanderson@andarchi.com
Call 408.202.5462
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Campbell, CA 95008
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Scale: AS NOTED

Drawn By: ML/RK

Checked By: KBA

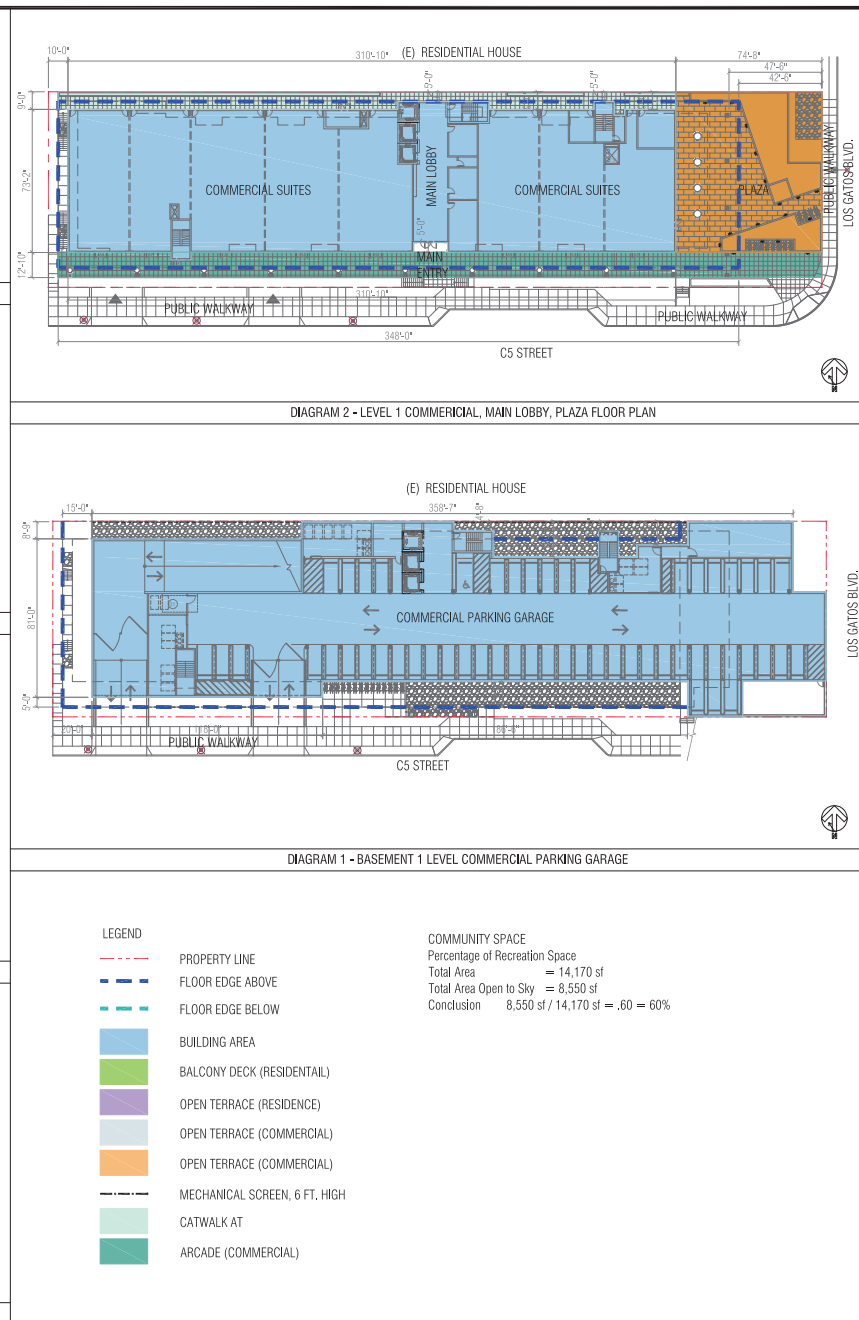
Sheet Title:

**Floor Plan:
Roof Terrace Level 10
& Rooftop Plan**

Sheet No.:

A6.0

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Anderson Architects INC.

kanderson@andarc.com
Call 408.202.5462
120 W. Campbell Ave., Suite D
Campbell, CA 95008

Kurt B. Anderson, AIA
Principal
Tel. 408.371.1269
Fax. 408.371.1276
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Scale: AS NOTED

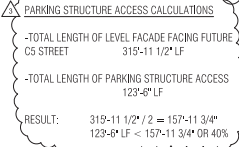
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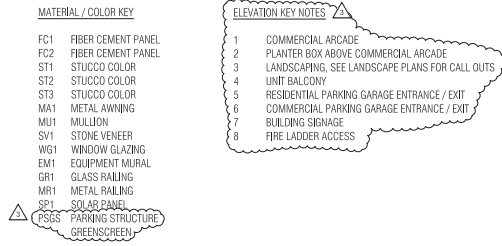
Sheet Title:
**Facade Design
& Articulation
Diagram-Floor Plans**

Sheet No.: **A6.1**

File: P:\Projects\Los Gatos Boulevard Villa Job: LGBV



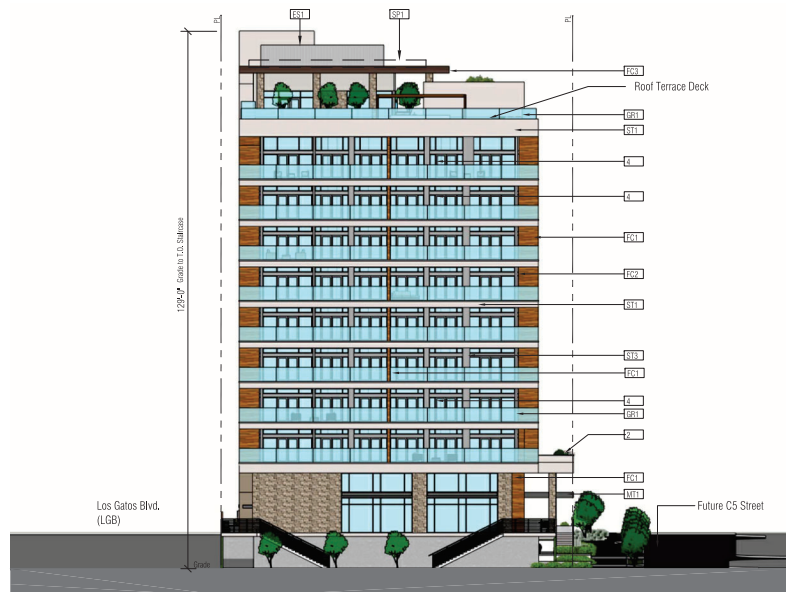
1 FRONT ELEVATION ALONG FUTURE C5 STREET
N.T.S.



2 RIGHT ELEVATION ALONG LOS GATOS BLVD.
N.T.S.



3 REAR ELEVATION FACING NORTHEAST
N.T.S.



4 LEFT ELEVATION FACING NORTHWEST
N.T.S.

- MATERIAL / COLOR KEY**
- FC1 FIBER CEMENT PANEL
 - FC2 FIBER CEMENT PANEL
 - ST1 STUCCO COLOR
 - ST2 STUCCO COLOR
 - ST3 STUCCO COLOR
 - MA1 METAL AWNING
 - MU1 MULLION
 - SV1 STONE VENEER
 - WG1 WINDOW GLAZING
 - EM1 EQUIPMENT MURAL
 - GR1 GLASS RAILING
 - MR1 METAL RAILING
 - SP1 SOLAR PANEL
 - PSGS PARKING STRUCTURE GREENSCREEN

- ELEVATION KEY NOTES**
- 1 COMMERCIAL ARCADE
 - 2 PLANTER BOX ABOVE COMMERCIAL ARCADE
 - 3 LANDSCAPING, SEE LANDSCAPE PLANS FOR CALL OUTS
 - 4 UNIT BALCONY
 - 5 RESIDENTIAL PARKING GARAGE ENTRANCE / EXIT
 - 6 COMMERCIAL PARKING GARAGE ENTRANCE / EXIT
 - 7 BUILDING SIGNAGE
 - 8 FIRE LADDER ACCESS

Anderson Architects INC.

kanderson@andarchinc.com
Call 408.202.5462

Kurt B. Anderson, AIA
Principal
Tel. 408.371.1269
Fax. 408.371.1276
www.andarchinc.com

120 W. Campbell Ave., Suite D
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Scale: AS NOTED

Drawn By: ML

Checked By: KBA

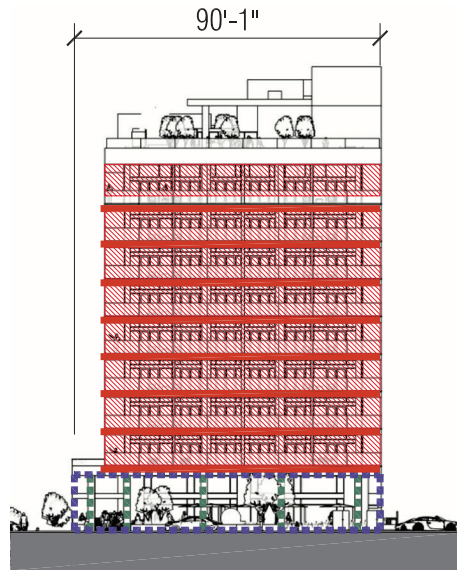
Sheet Title:

**Exterior Elevations:
Northwest & Northeast**







Sheet No.:

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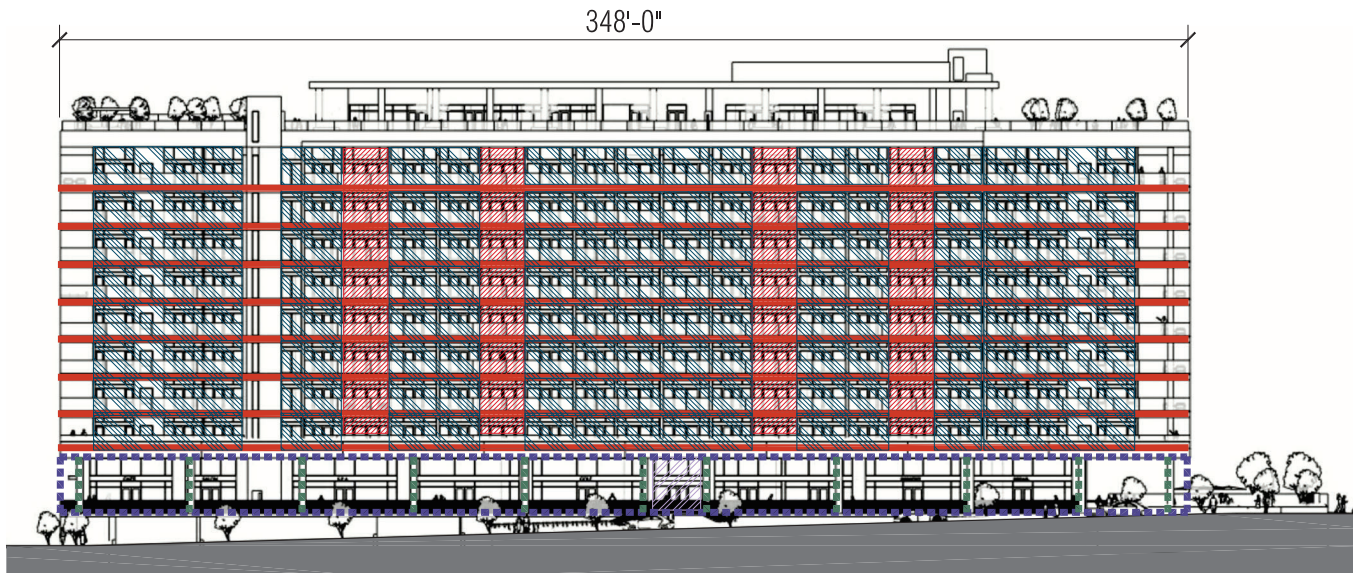
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LEGEND

-  11' FT. MIN. SETBACK FROM LEVEL 1 FACADE
-  4 FT. DEEP x 12 FT. LENGTH FACADE DEPTH CHANGE AT UPPER FLOORS
-  5 FT. DEEP x 12 FT. LENGTH RECESSED ENTRANCE FACADE DEPTH CHANGE (60 SQ.FT. GROUND FLOOR)
-  COVERED ARCADE (WALKWAY) AREA AT LEVEL 1
-  FULL HEIGHT COLUMNS AT LEVEL 1
-  6 FT. MIN. DEPTH BALCONIES AT UPPER FLOORS

1 DIAGRAM 7 - RIGHT ELEVATION FACING LOS GATOS BLVD.
N.T.S.



2 DIAGRAM 8 - FRONT ELEVATION ALONG FUTURE C5 STREET
N.T.S.



kanderson@andarc-inc.com
Call 408.202.5462
120 W. Campbell Ave., Suite D
Campbell, CA 95008
www.andarc-inc.com

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Principal
Tel. 408.271.1269
Fax. 408.271.1276

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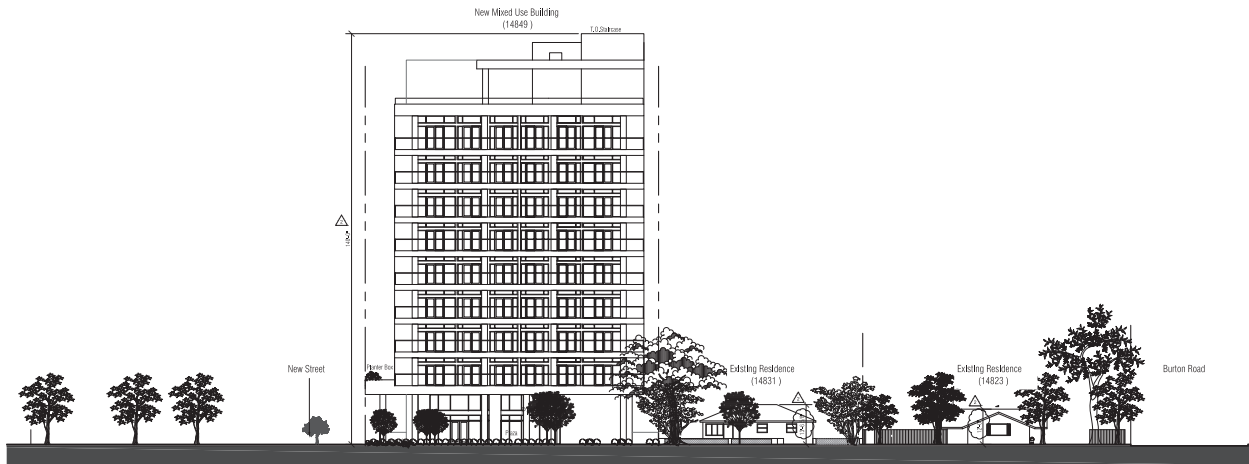
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*Facade Design
& Articulation
Diagrams-Elevations*

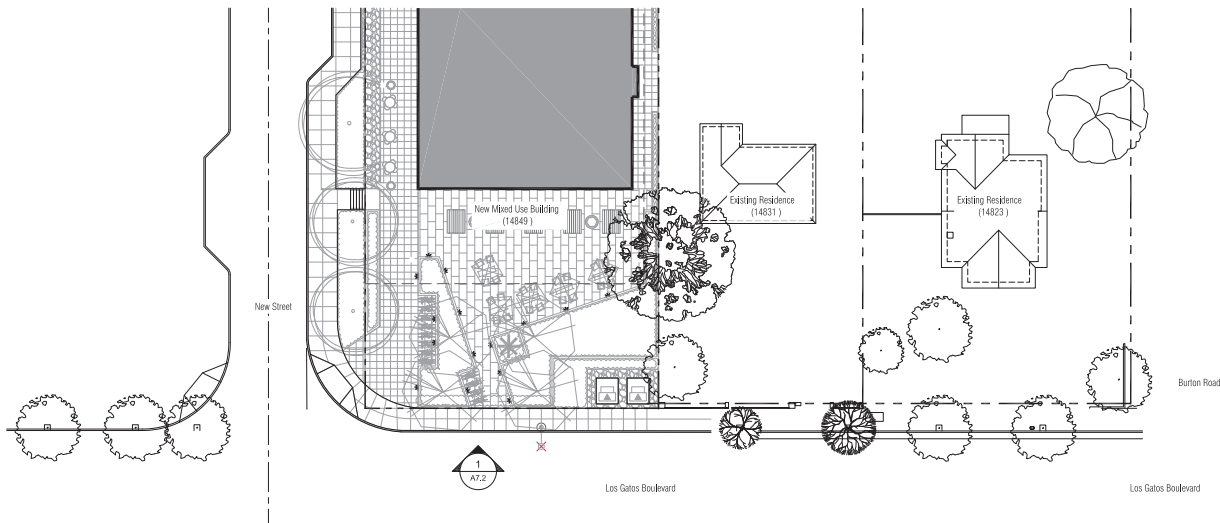
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ELEVATION 1 - LOS GATOS BOULEVARD STREET VIEW
SCALE: 1"=20'-0"



PARTIAL SITE PLAN
SCALE: 1"=20'-0"

A n d e r s o n
A r c h i t e c t s INC.

kanderson@andarcinc.com
Call 408.202.5462

Kurt B. Anderson, AIA
Principal

120 W. Campbell Ave., Suite D
Campbell, CA 95008

Tel. 408.271.1269
Fax. 408.271.1276

www.andarcinc.com

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Scale: AS NOTED

Drawn By: RK

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Sheet Title:

*Streetscape
Elevation*

Sheet No.:

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File: P:\Projects\Los Gatos Boulevard Village\Job: LGBV



1 | LOS GATOS BLVD. AND FUTURE C5 STREET VIEW



2 | FUTURE C5 STREET VIEW



3 | REAR VIEW ALONG FUTURE STREET



4 | REAR VIEW ALONG LOS GATOS BLVD.



kanderson@andarcn.com
Call 408.202.5462
120 W. Campbell Ave., Suite D
Campbell, CA 95008
www.andarcn.com

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Principal
Tel. 408.271.1269
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Sheet Title:

Facade
Renderings

Sheet No.:

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File: P:\Projects\Los Gatos Boulevard Villa Job: LGBV



1 | AERIAL VIEW



2 | COMMERCIAL VIEW ALONG FUTURE C5 STREET



3 | STREET VIEW OF COMMERCIAL/RETAIL ALONG LOS GATOS BLVD.



4 | RESIDENTIAL & COMMERCIAL ENTRY VIEW

Anderson Architects Inc.

kanderson@andarcinc.com
Call 408.202.5462

Kurt B. Anderson, AIA
Principal

120 W. Campbell Ave., Suite D
Campbell, CA 95008

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Fax. 408.271.1276

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Sheet Title:

Facade Renderings

Sheet No.:

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WG1
WINDOW GLAZING



SV1
STONE VENEER



PSGS 
PARKING STRUCTURE GREENSCREEN SYSTEM



SP1
SOLAR PANELS



MT1
METAL TRELLIS



ES1
EQUIPMENT SCREEN



MU1
MULLION



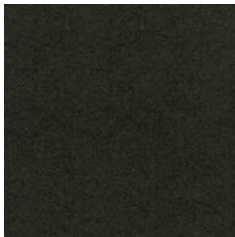
MR1
METAL RAILING



MA1
METAL AWNING



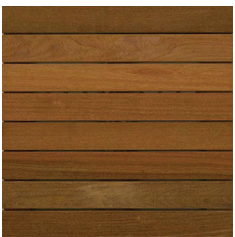
GR1
GLASS RAILING



FC3
FIBER CEMENT PANEL



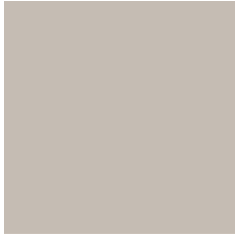
FC2
FIBER CEMENT PANEL



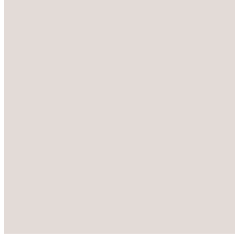
FC1
FIBER CEMENT PANEL



ST3
STUCCO



ST2
STUCCO



ST1
STUCCO

Anderson
Architects Inc.

kanderson@andarcinc.com
Call 408.202.5462

Kurt B. Anderson, AIA
Principal

120 W. Campbell Ave., Suite D
Campbell, CA 95008

Tel. 408.271.1269
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Sheet Title:
**Building
Colors & Materials**

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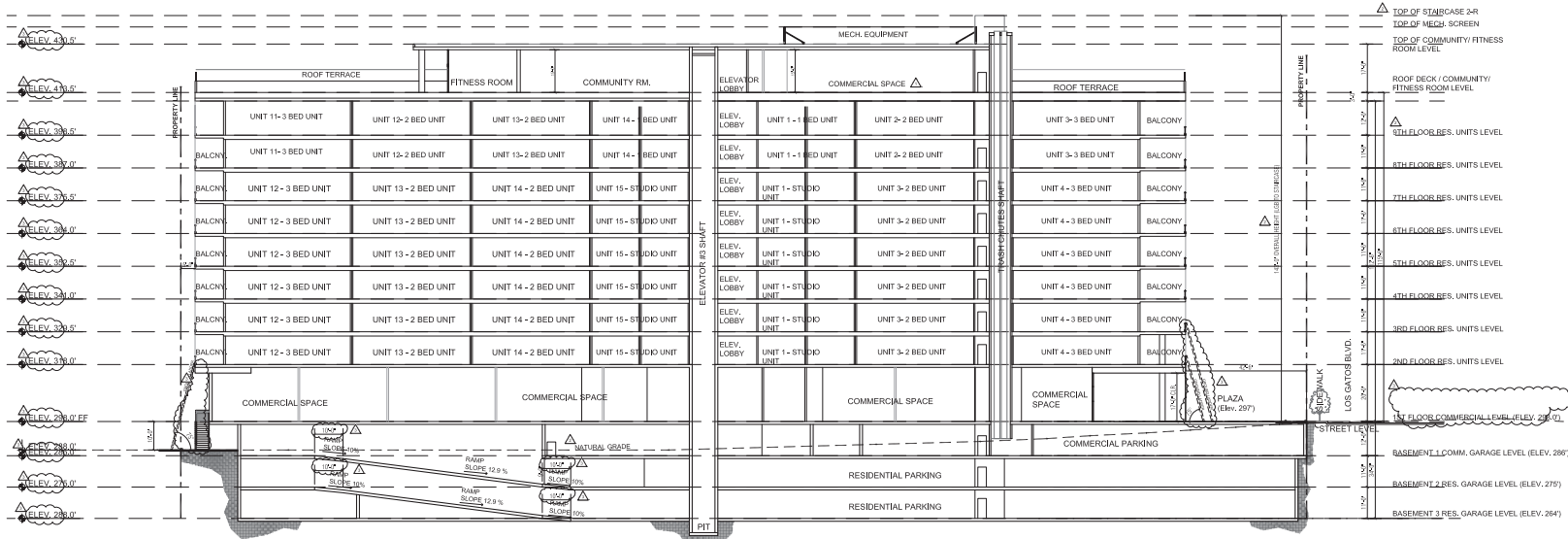
Sheet Title:

Sections

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kanderson@andarcinc.com
Call 408.202.5462
120 W. Campbell Ave., Suite D
Campbell, CA 95008
www.andarcinc.com

Kurt B. Anderson, AIA
Principal
Tel. 408.271.1269
Fax. 408.271.1275

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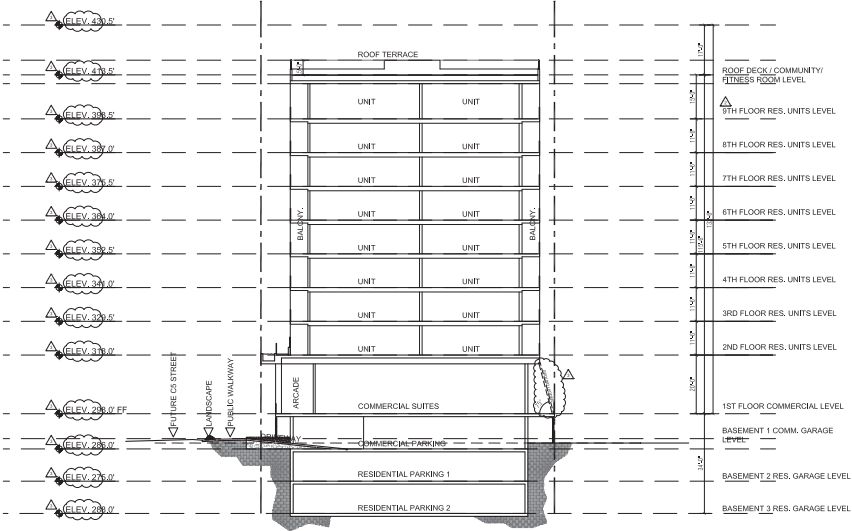
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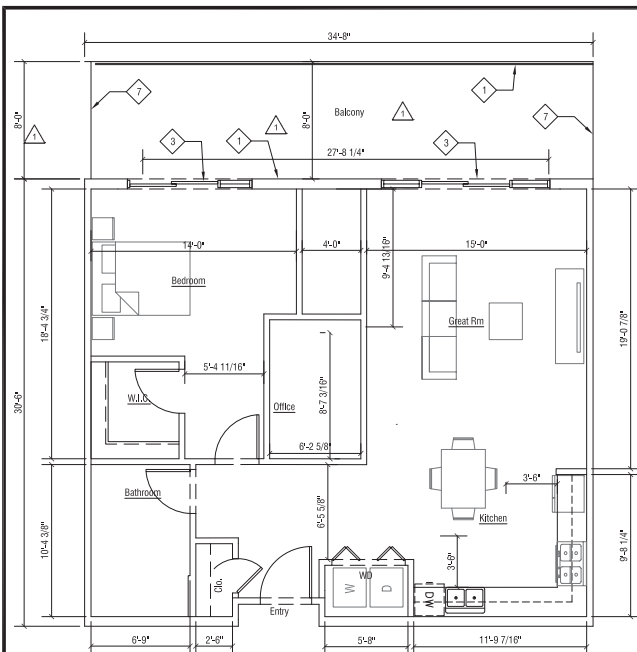
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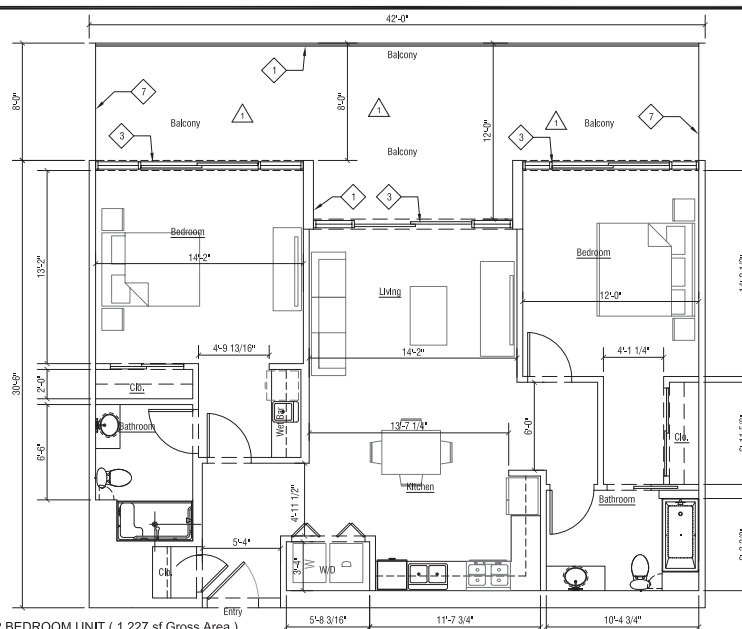


SECTION D-D
SCALE: 1"=20'-0"



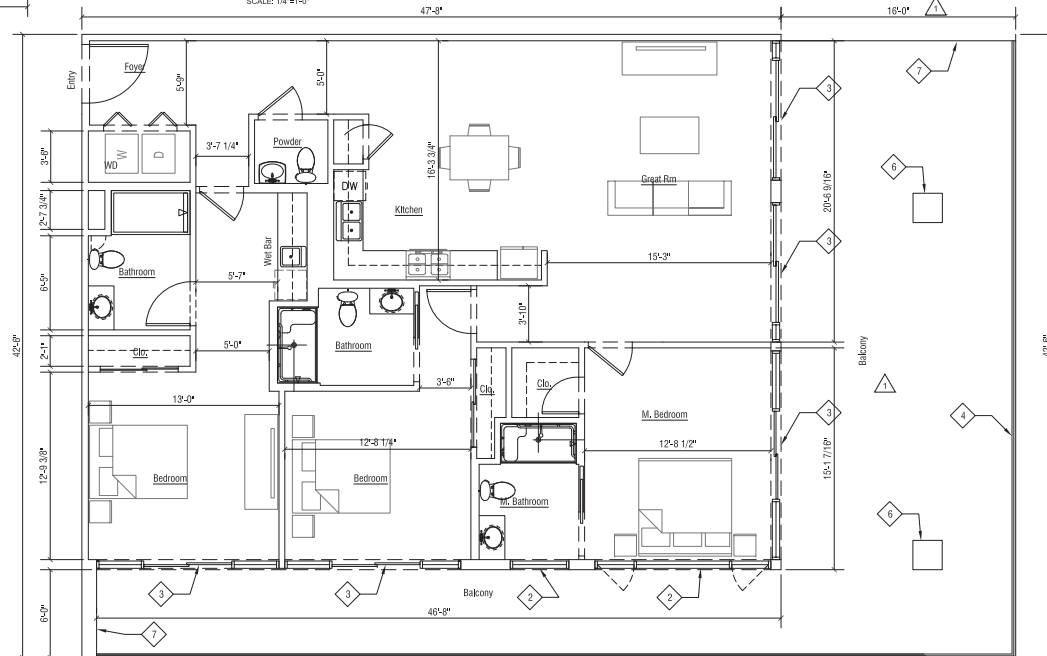
1 BEDROOM UNIT (1,049 sf Gross Area)

SCALE: 1/4"=1'-0"



2 BEDROOM UNIT (1,227 sf Gross Area)

SCALE: 1/4"=1'-0"



3 BEDROOM UNIT - SCHEME A (1,740 sf Gross Area)

SCALE: 1/4"=1'-0"

UNIT PLAN KEY NOTES

- SMOOTH STUCCO FINISH
- DBL. PANE GLAZING ALUMINUM WINDOWS
- DBL. PANE GLAZING PATIO SLIDING DOOR
- 48" HIGH TEMPERED BALCONY RAILING
- EDGE OF BALCONY
- 2'X2' SQ. COLUMN
- FIBER CEMENT PANEL SYSTEM



kanderson@andarc.com
Call 408.202.5462
120 W. Campbell Ave., Suite D
Campbell, CA 95008
www.andarc.com

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Sheet Title:

Enlarged Unit Plans:
1, 2, 3
Bedrooms

Sheet No.:

A9.0

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kanderson@andarc.com
Call 408.202.5462
120 W. Campbell Ave., Suite D
Campbell, CA 95008
www.andarc.com

Kurt B. Anderson, AIA
Principal
Tel. 408.271.1269
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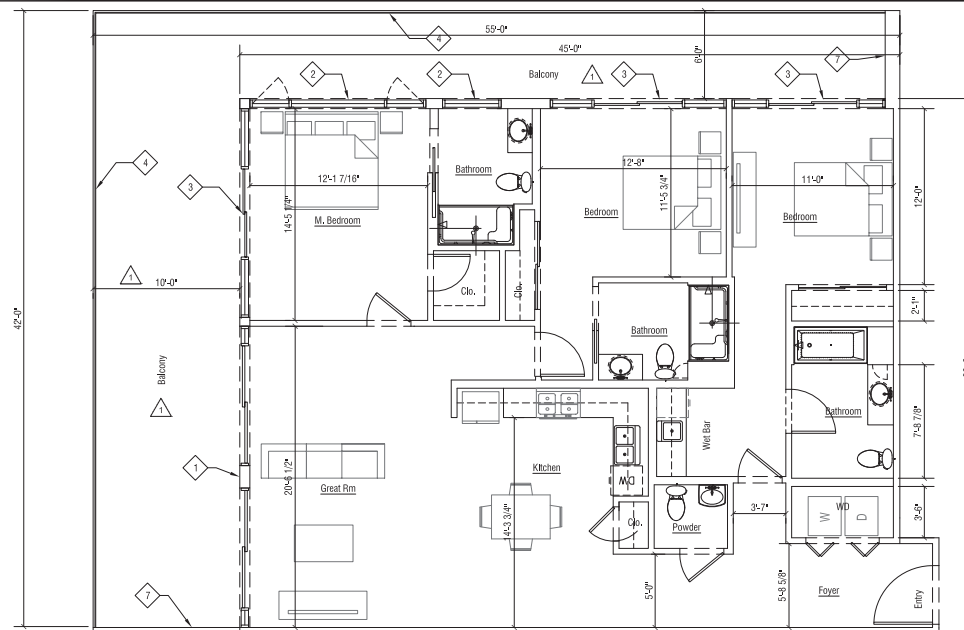
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**Enlarged Unit Plans:
3 Bedrooms**

Sheet No.:

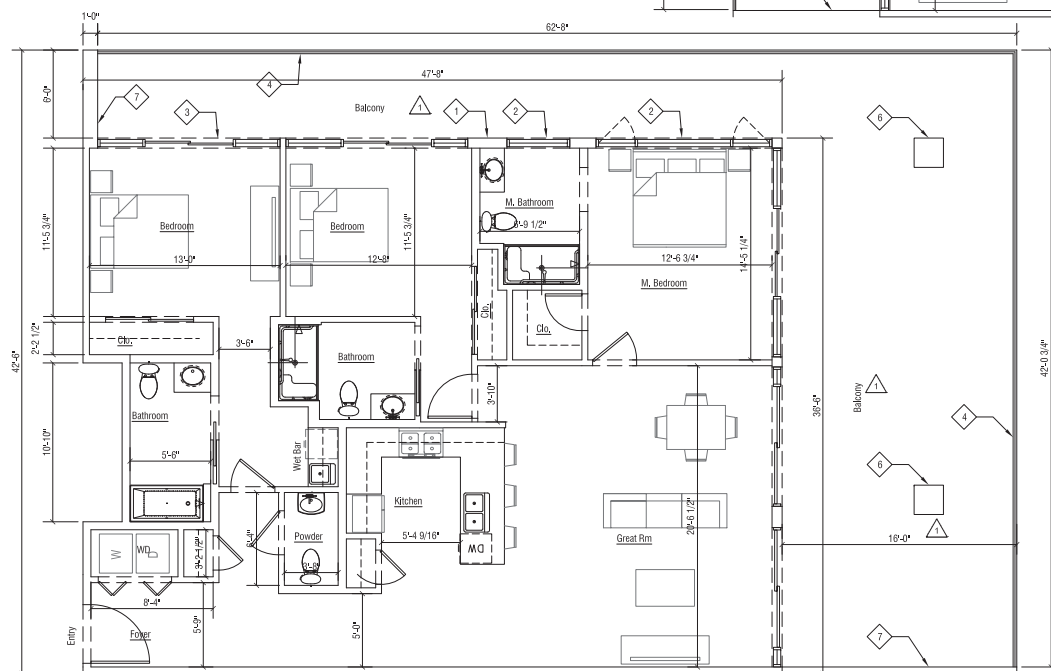
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3 BEDROOM UNIT - SCHEME C (1,660 sf Gross Area)

SCALE: 1/4"=1'-0"

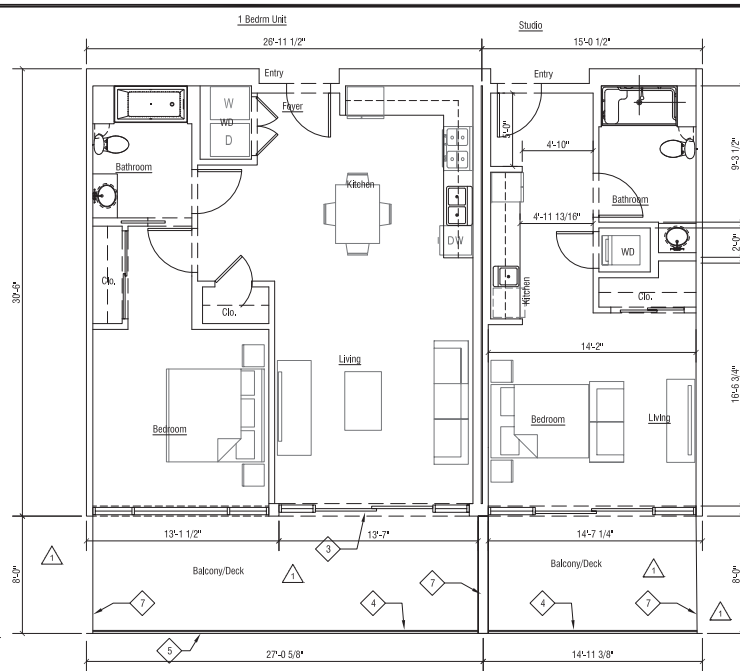
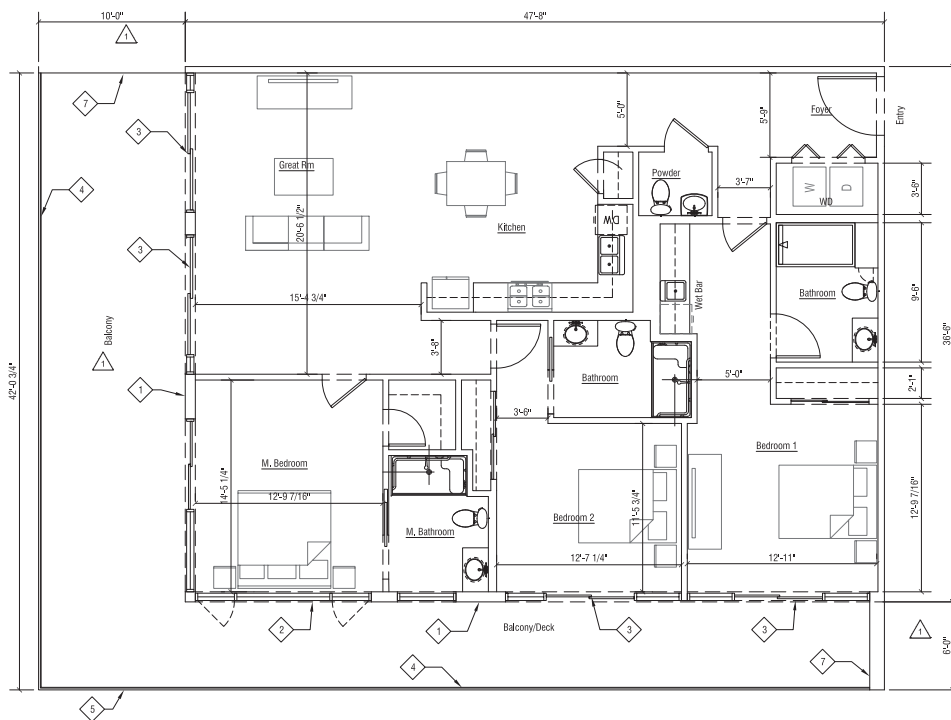


3 BEDROOM UNIT - SCHEME B (1,720 sf Gross Area)

SCALE: 1/4"=1'-0"

UNIT PLAN KEY NOTES

1. SMOOTH STUCCO FINISH
2. DBL. PANE GLAZING ALUMINUM WINDOWS
3. DBL. PANE GLAZING PATIO SLIDING DOOR
4. 48" HIGH TEMPERED BALCONY RAILING
5. EDGE OF BALCONY
6. 2"x2" SQ. COLUMN
7. FIBER CEMENT PANEL SYSTEM



- UNIT PLAN KEY NOTES**
1. SMOOTH STUCCO FINISH
 2. DBL. PANE GLAZING ALUMINUM WINDOWS
 3. DBL. PANE GLAZING PATIO SLIDING DOOR
 4. 48" HIGH TEMPERED BALCONY RAILING
 5. EDGE OF BALCONY
 6. 2'x2' SQ. COLUMN
 7. FIBER CEMENT PANEL SYSTEM



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Sheet Title:

Site Photos

Sheet No.:

A10.0

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VIEW 3 - LOOKING DOWN THE ROAD ON LOS GATOS BLVD.



VIEW 2 - LOOKING AT THE SITE ON LOS GATOS BLVD.



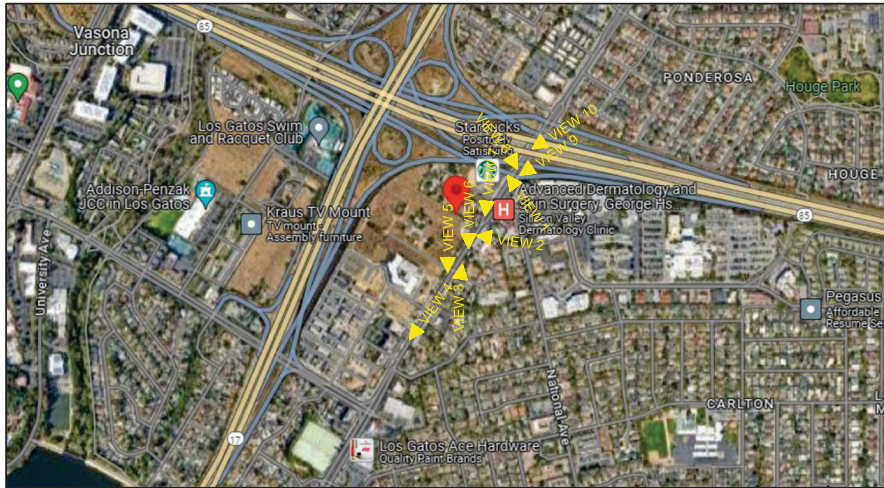
VIEW 1 - LOOKING AT INTERSECTION OF SAMARITAN DRIVE AND LOS GATOS BLVD.



VIEW 4 - LOOKING FURTHER DOWN THE ROAD ON LOS GATOS BLVD.



VIEW 5 - LOS GATOS BLVD. ACROSS FROM THE SITE



VIEW 6 - LOOKING DOWN LOS GATOS BLVD. FROM ACROSS THE SITE



VIEW 7 - LOOKING DOWN LOS GATOS BLVD. TOWARDS SAMARITAN DRIVE



VIEW 8 - ACROSS FROM THE SITE AT THE INTERSECTION OF LOS GATOS BLVD. AND SAMARITAN DRIVE



VIEW 10 - LOOKING FURTHER DOWN AT THE SITE FROM THE INTERSECTION OF LOS GATOS BLVD. AND SAMARITAN DRIVE



VIEW 9 - LOOKING DOWN AT THE SITE FROM THE INTERSECTION OF LOS GATOS BLVD. AND SAMARITAN DRIVE

NEW HOME RATING SYSTEM, VERSION 5.1
MULTIFAMILY CHECKLIST
The Anderson Architects, Inc. (AAI) has developed the New Home Rating System (NHRS) to provide a comprehensive and consistent method for evaluating the quality of new home construction. The NHRS is a voluntary program that is open to all new home builders. The NHRS is a comprehensive and consistent method for evaluating the quality of new home construction. The NHRS is a voluntary program that is open to all new home builders. The NHRS is a comprehensive and consistent method for evaluating the quality of new home construction. The NHRS is a voluntary program that is open to all new home builders.



kanderson@andarcn.com
Call 408.202.5462
Kurt B. Anderson, AIA
Principal
120 W. Campbell Ave., Suite D
Campbell, CA 95008
Tel. 408.371.1269
Fax. 408.371.1276
www.andarcn.com

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Los Gatos Boulevard Properties LLC
16400 Los Gatos Blvd., Suite 400
Los Gatos, CA 95032

Project:
The Luxe
16449 Los Gatos Blvd.
Los Gatos, CA 95032

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Table with 3 columns: No., Description, Date. Rows include INITIAL SUBMITTAL, RESPONSE TO PLANNING COMMENTS, and RESPONSE TO PLANNING COMMENTS.

Initial Submittal Date: 03/07/2024

Scale: AS NOTED

Drawn By: RK

Checked By: KBA

Sheet Title

Build- It- Green Checklist

Sheet No.

A11.0

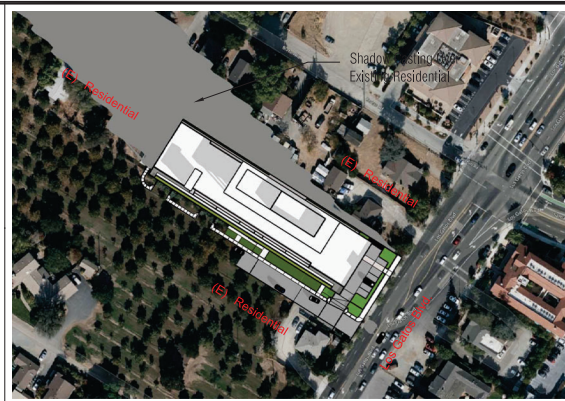
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MARCH 21ST AT 9 AM



JUNE 21ST AT 9 AM



DECEMBER 21ST AT 9 AM



MARCH 21ST AT 12 PM



JUNE 21ST AT 12 PM



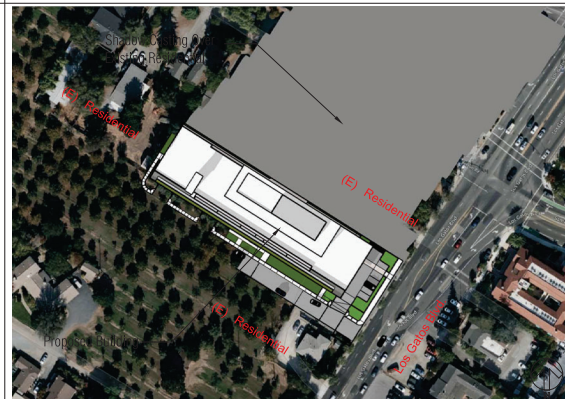
DECEMBER 21ST AT 12 PM



MARCH 21ST AT 3 PM



JUNE 21ST AT 3 PM



DECEMBER 21ST AT 3 PM



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Campbell, CA 95008
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Tel. 408.271.1269
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3	RESPONSE TO PLANNING COMMENTS	03/13/2025
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Initial Submittal Date: 03/07/2024
Scale: AS NOTED
Drawn By: ML
Checked By: KBA

Sheet Title:
Solar & Shadow Study

Sheet No.:
A12.0

File: P:\Projects\Los Gatos Boulevard Villas Job: LGBV



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Initial Submittal Date: 03/07/2024

Scale: AS NOTED

Downloaded By: [University of California, San Diego] On: 11 September 2011

Classified By: EPA

Short Title:

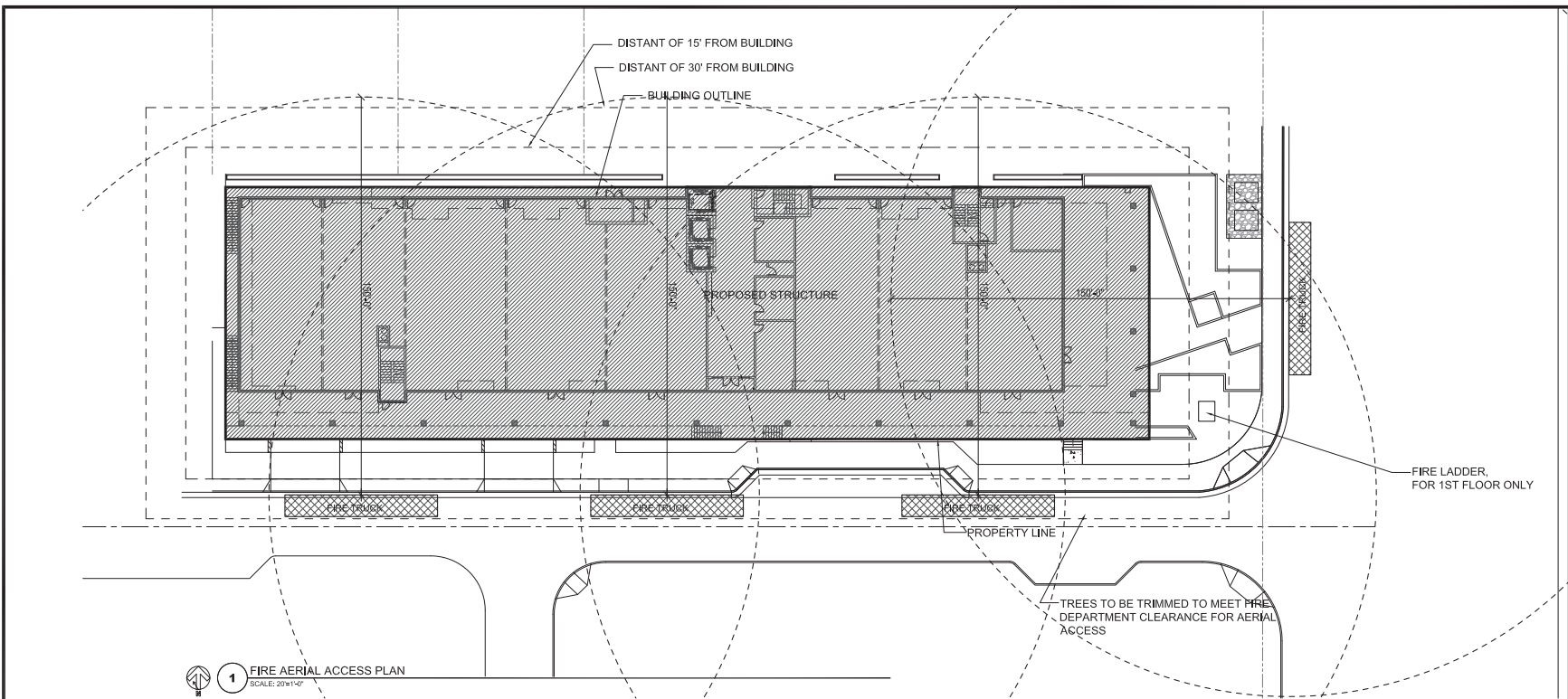
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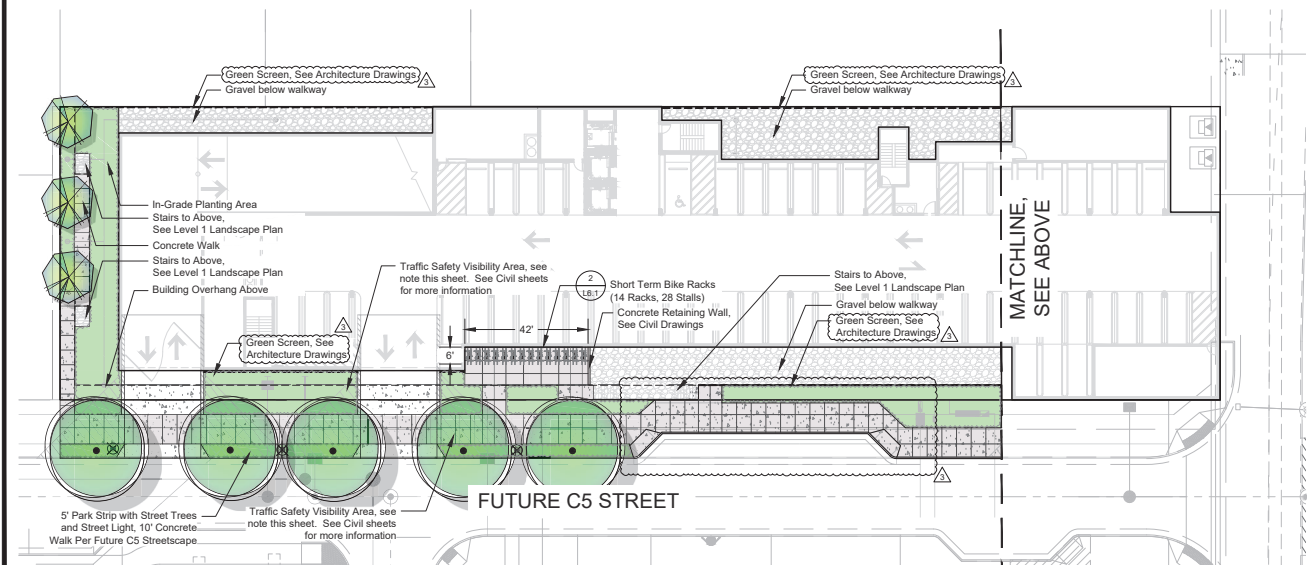
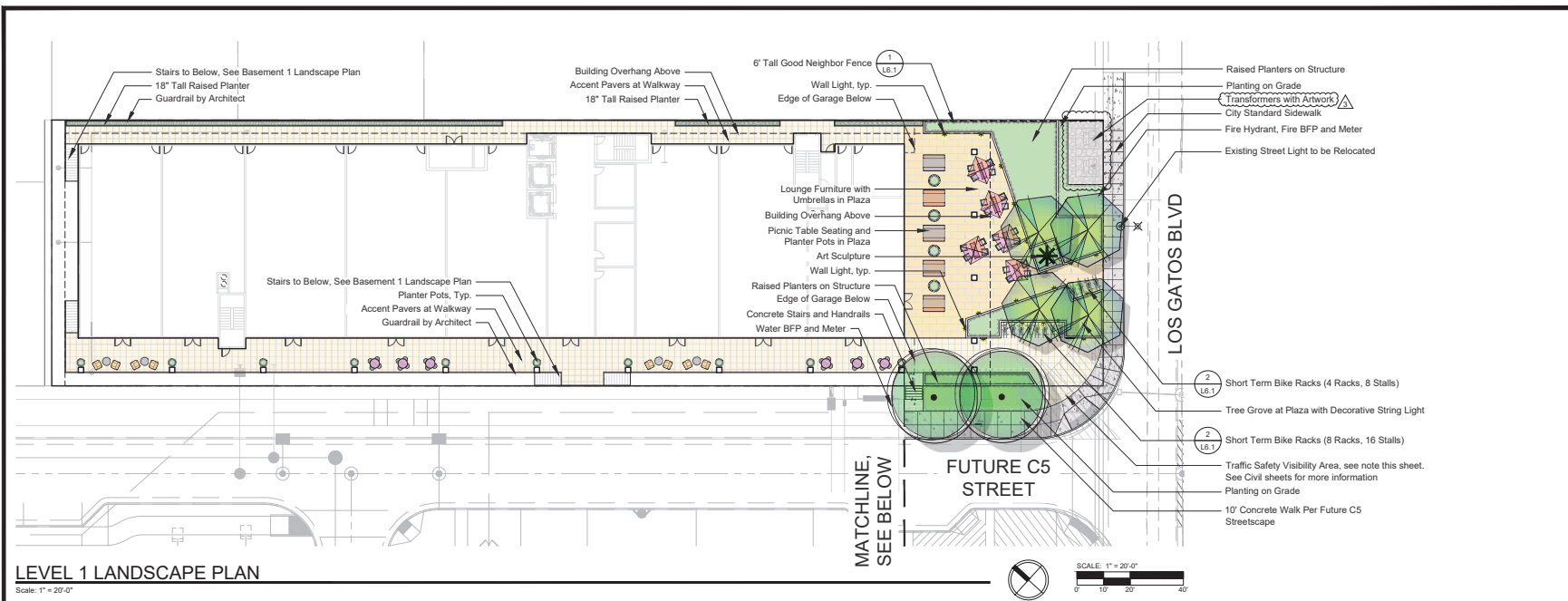
Fire Aerial Access Plan

Sheet No.:

A13.0

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[illegible]



NOTE:
Total Short Term Bike Stalls: 52
28 under cover
24 in the open

NOTE:
Traffic Safety Visibility Area
Within this area nothing shall be erected, placed, planted or allowed to grow exceeding three feet in height, with the exception of trees with canopies no lower than six feet.

SHEET INDEX

- L1.1 Landscape Plan, Site
- L1.2 Landscape Plan, Roof
- L2.1 Precedent Images
- L4.1 Planting Plan, Site
- L4.2 Planting Plan, Roof
- L5.1 Hydrozone, Site
- L5.2 Hydrozone, Roof
- L6.1 Landscape Details
- L7.1 Tree Disposition

Anderson Architects
Kurt B. Anderson, AIA
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120 W. Campbell Ave., Suite D
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Checked By: KBA

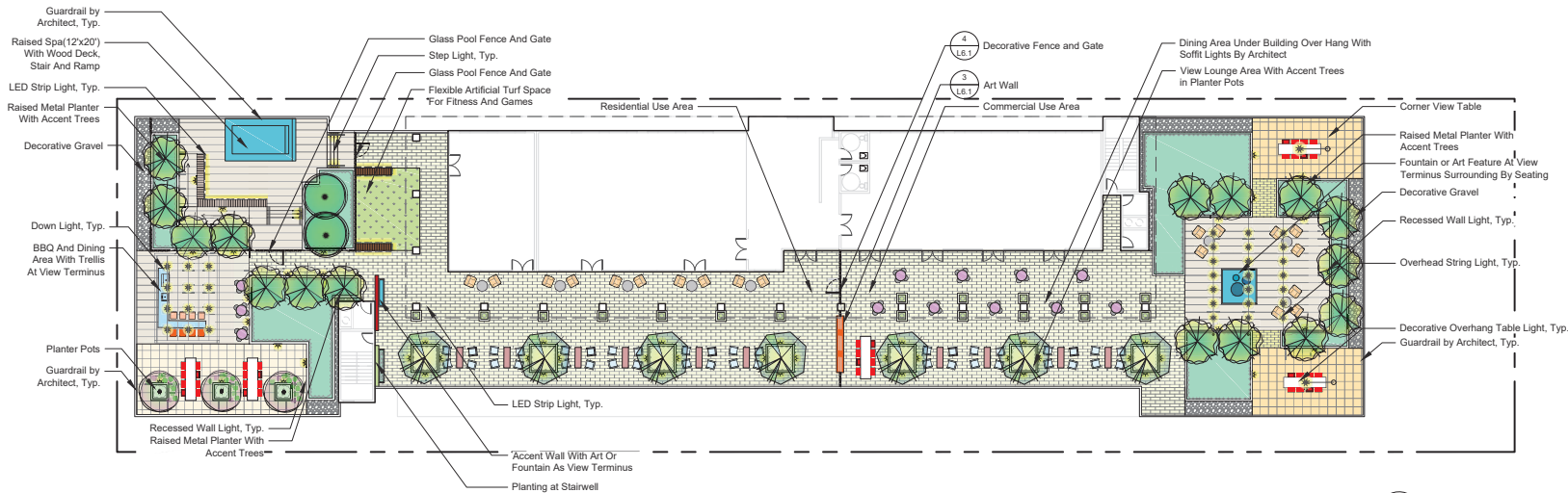
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SITE PLAN

Sheet No.:

L1.1

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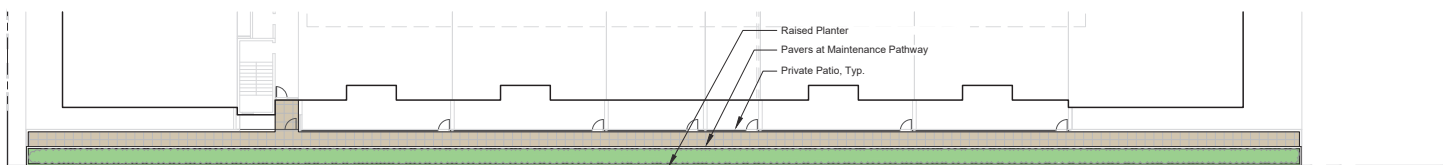


ROOF LANDSCAPE PLAN, LEVEL 9

Scale: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



ROOF LANDSCAPE PLAN, LEVEL 2

Scale: 1/16" = 1'-0"



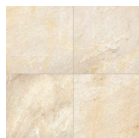
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SITE IMAGES



Bike Rack



Accent Pavers



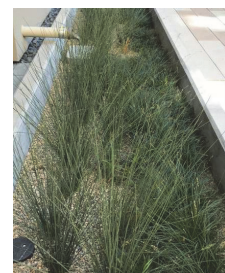
Recessed Wall Light



Pole Light



Planter Pot

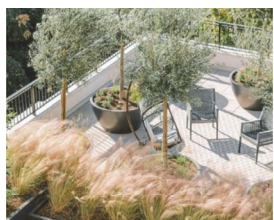


Stormwater Treatment Planter



Transformer with Artwork

ROOF DECK IMAGES



Roof Deck Character



Raised Planters with Pedestal Pavers



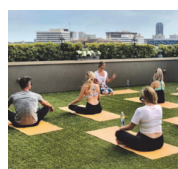
Lounge Seating



BBQ Kitchen Counter with Trellis



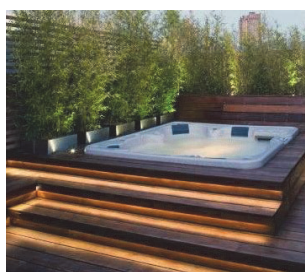
Benches with LED Lights



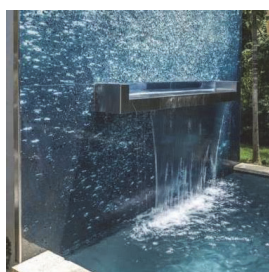
Flexible Artificial Lawn



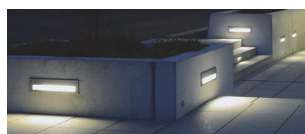
String Lights and Lounge



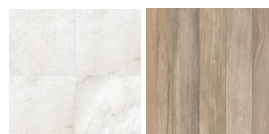
Raised Spa



Fountain Wall



Recessed Wall Lights



Accent Pedestal Pavers

PLANTING IMAGES



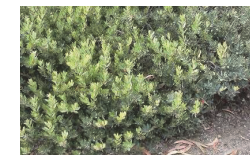
Acer palmatum 'Sango-kaku'



Malus floribunda parrisi



Juglans californica hindsii



Arctostaphylos 'Pacific Mist'



Prunus 'Kanzan'



Prunus cerasifera



Salvia clevelandii



Polystichum munitum



Lomandra 'Platinum Beauty'

Anderson Architects

kanderson@andarchinc.com
Cell 408.202.5462
120 W. Campbell Ave., Suite D
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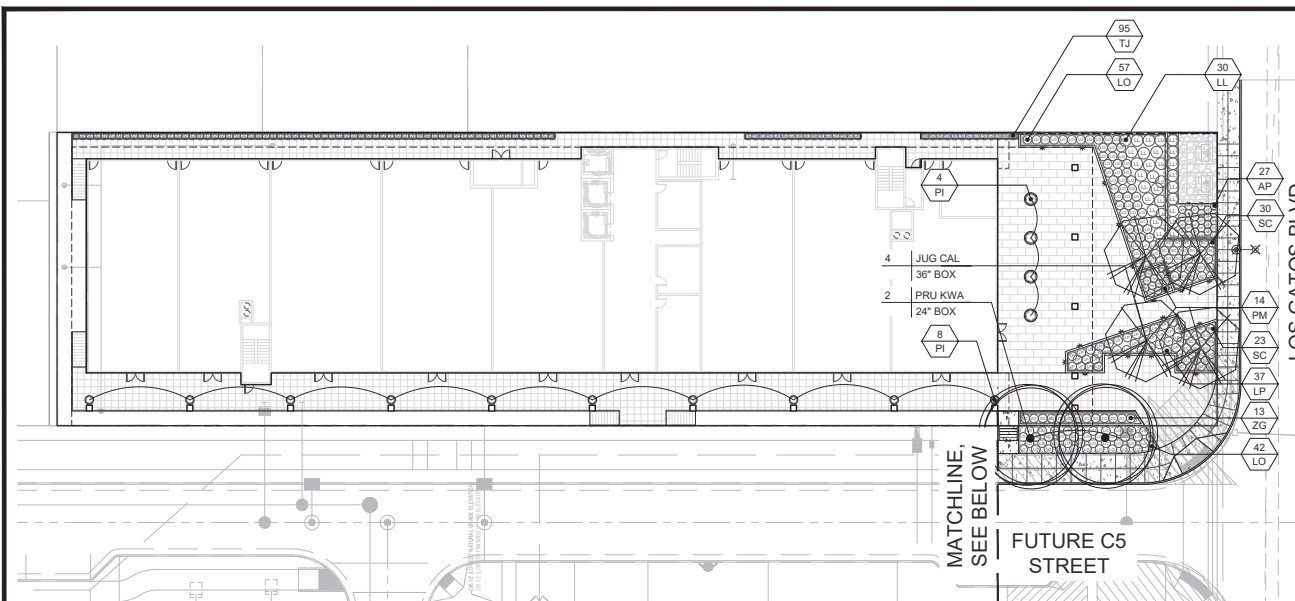
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PRECEDENT IMAGES

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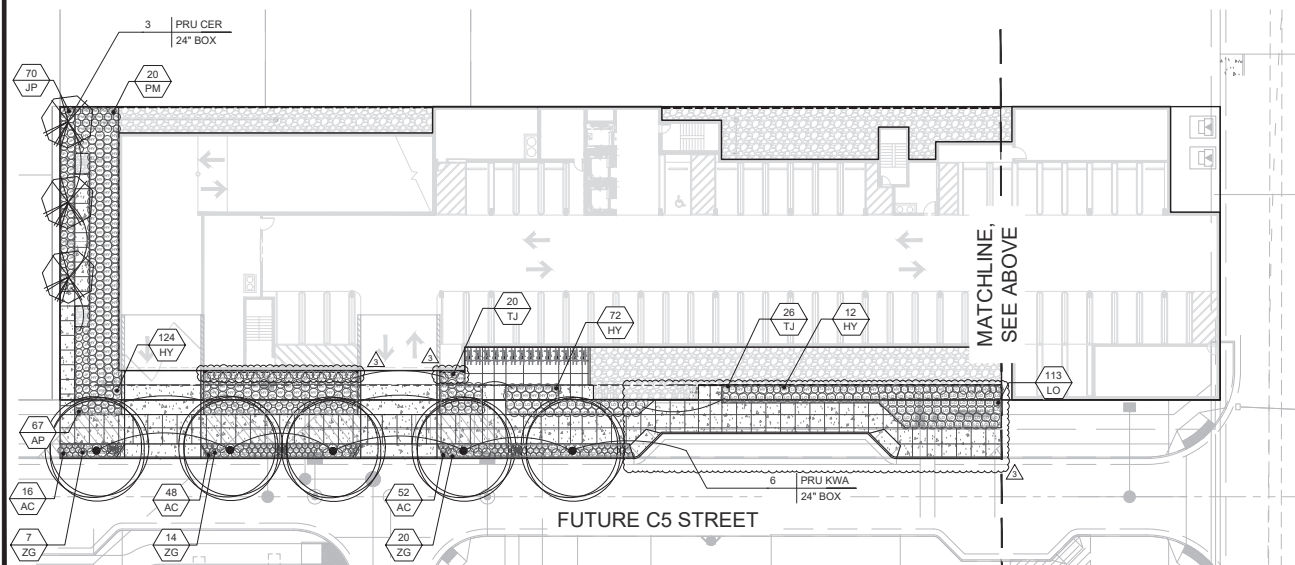
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LEVEL 1 LANDSCAPE PLAN

Scale: 1" = 20'-0"



BASEMENT 1 LANDSCAPE PLAN

Scale: 1" = 20'-0"

PLANTING LEGEND

KEY	SIZE	BOTANIC NAME	COMMON NAME	NOTES	QTY	WUCOLS	CA NATIVE
TREES							
ACE SAN	24" BOX	Acer palmatum 'Sango-kaku'	Osai Bark Japanese Maple	Standard	7	M	
ARB MEN	24" BOX	Arbutus menziesii	Pacific Madrone	Standard	2	L	Native
JUG CAL	36" BOX	Juglans californica hindsii	California Black Walnut	Standard	4	M	Native
MAI FLD	24" BOX	Malus floribunda parke	Pink Crabapple	Standard	18	M	
PRU CER	24" BOX	Prunus cerasifera	Cherry Plum	Standard	3	M	
PRU KWA	24" BOX	Prunus 'Kwanzan'	Japanese Cherry	Standard	11	M	
TOTAL PROPOSED TREES					43		
SHRUBS							
AC	1 gal	Arctostaphylos 'Emerald Carpet'	Manzanita	36" O.C.	L	Native	
AP	5 gal	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	30" O.C.	L	Native	
BS	5 gal	Buxus s. 'Green Beauty'	Buxwood	36" O.C.	M		
HY	5 gal	Hypericum X monstretorum	Sold Flower	36" O.C.	M		
JP	5 gal	Juncus patens	California Rush	30" O.C.	L	Native	
LL	5 gal	Leucadendron lauratum	Golden Conebush	48" O.C.	L		
LS	5 gal	Leucadendron 'Safari Sunset'	Conebush	36" O.C.	L		
LO	5 gal	Lomandra 'Breeze'	Dwarf Mat Rush	36" O.C.	L		
LP	5 gal	Lomandra 'Platinum Beauty'	Variegated Dwarf Mat Rush	36" O.C.	L		
LB	5 gal	Lomandra 'Burgundy'	Fringe Flower	36" O.C.	L		
PI	15 gal	Podocarpus 'Rose Blue'	Hoar Blue Yellow-Wood	30" O.C.	L		
PM	5 gal	Polydichum Munium	Western Sword Fern	30" O.C.	M	Native	
RI	5 gal	Rosa 'Iceberg'	Climbing Roses	36" O.C.	M		
SC	5 gal	Salvia clevelandii	California Sage	36" O.C.	L	Native	
TJ	5 gal	Trachidroma juncea	Star Jasmine	30" O.C.	M		
ZG	5 gal	Zauschneria 'Ghostly Red'	California Fuchsia (Ghostly Red)	24" O.C.	L	Native	

Anderson Architects

landerson@andarchinc.com
Call 408.202.5462

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Initial Submittal Date: 07/01/2024

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Drawn By:

Checked By: KBA

Sheet Title:

PLANTING PLAN- SITE

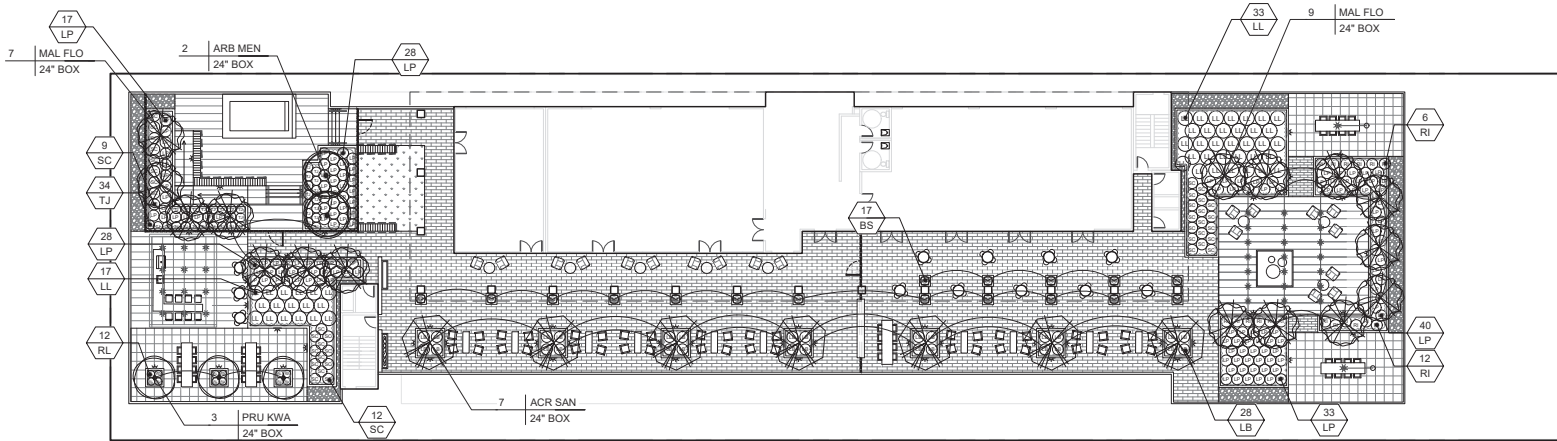
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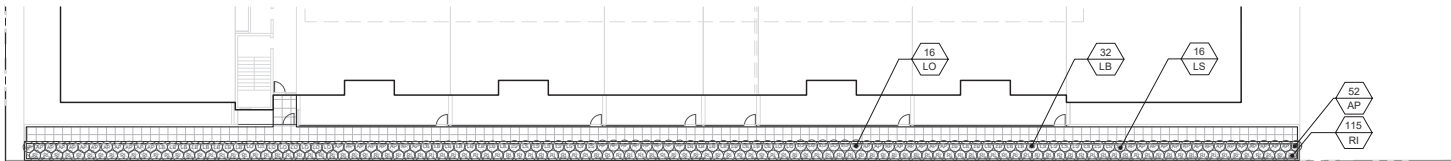
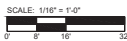


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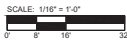
ROOF LANDSCAPE PLAN, LEVEL 9

Scale: 1/16" = 1'-0"



ROOF LANDSCAPE PLAN, LEVEL 2

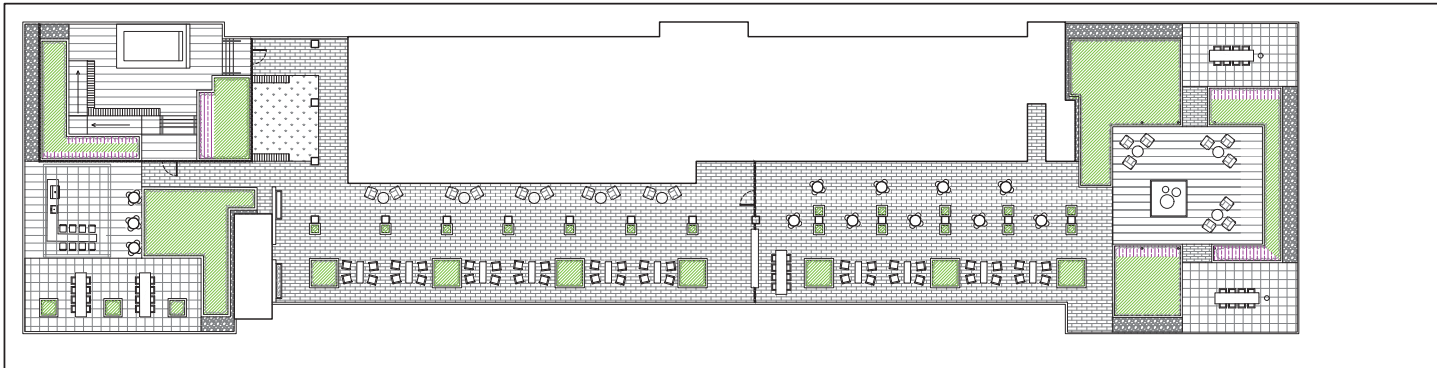
Scale: 1/16" = 1'-0"



PLANTING LEGEND

KEY	SIZE	BOTANIC NAME	COMMON NAME	NOTES	QTY	WUCOLS	CA NATIVE
TREES							
ACE SAN	24" BOX	Acer palmatum 'Sango-kaku'	Coral Bark Japanese Maple	Standard	7	M	
ARB MEN	24" BOX	Arbutus menziesii	Pacific Madrone	Standard	2	L	Native
JUG CAL	36" BOX	Juglans californica hindsii	California Black Walnut	Standard	4	M	Native
MAL FLO	24" BOX	Malus floribunda parrisi	Pink Crabapple	Standard	16	M	
PRU CER	24" BOX	Prunus cerasifera	Cherry Plums	Standard	3	M	
PRU KWA	24" BOX	Prunus 'Yanagizak'	Japanese Cherry	Standard	11	M	
TOTAL PROPOSED TREES					43		

SHRUBS							
AC	1 gal	Arctostaphylos 'Emerald Carpet'	Manzanita		36" O.C.	L	Native
AP	5 gal	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita		30" O.C.	L	Native
BS	5 gal	Buxus s. 'Green Beauty'	Boxwood		30" O.C.	M	
HY	5 gal	Hypericum X moserianum	Gold Flower		36" O.C.	M	
JP	5 gal	Juncus patens	California Rush		30" O.C.	L	Native
LL	5 gal	Leucadendron lauroculum	Golden Conebush		48" O.C.	L	
LS	5 gal	Leucadendron 'Safari Sunset'	Conebush		36" O.C.	L	
LO	5 gal	Lomandra 'Breeze'	Dwarf Mat Rush		36" O.C.	L	
LP	5 gal	Lomandra 'Platinum Beauty'	Variegated Dwarf Mat Rush		36" O.C.	L	
LB	5 gal	Longpetalum 'Burgundy'	Fringe Flower		36" O.C.	L	
PI	15 gal	Podocarpus 'Tone Blue'	Icee Blue Yellow Wood		36" O.C.	L	
PM	5 gal	Polystichum Munroii	Western Sward Fern		30" O.C.	M	Native
RI	5 gal	Rosa 'Iceberg'	Climbing Roses		36" O.C.	M	Native
SC	5 gal	Salvia clevelandii	California Sage		36" O.C.	L	Native
TJ	5 gal	Trachelospermum jasminoides	Star Jasmine		30" O.C.	M	
ZG	5 gal	Zauschneria 'Ghostly Red'	California Fuchsia 'Ghostly Red'		24" O.C.	L	Native

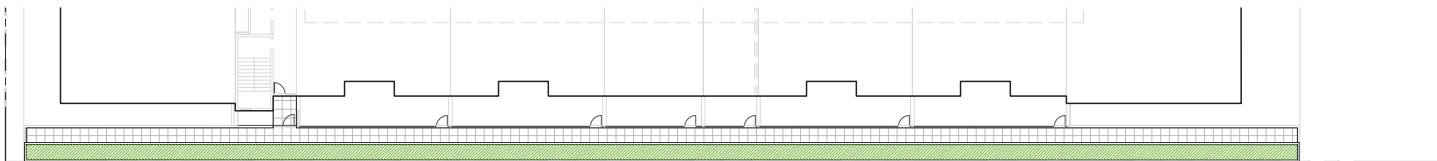


ROOF LANDSCAPE PLAN, LEVEL 9

Scale: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"
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ROOF LANDSCAPE PLAN, LEVEL 2

Scale: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"
0 5 10 32

WATER USE LEGEND - ROOFS

Key

WUCOLS Category



Low Water Use: 4,310 SF

Medium Water Use: 339 SF

High Water Use: 0 SF

Special Landscape Area: 0 SF

Total Landscape Area: 4,649 SF

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Initial Submittal Date: 07/01/2024

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Drawn By:

Checked By: KBA

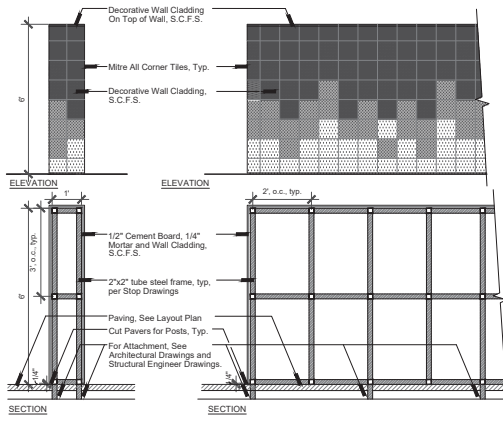
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HYDROZONE PLAN-SITE

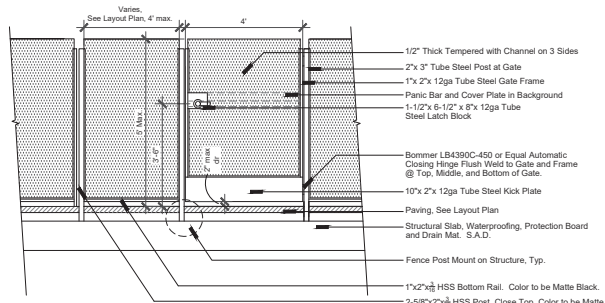
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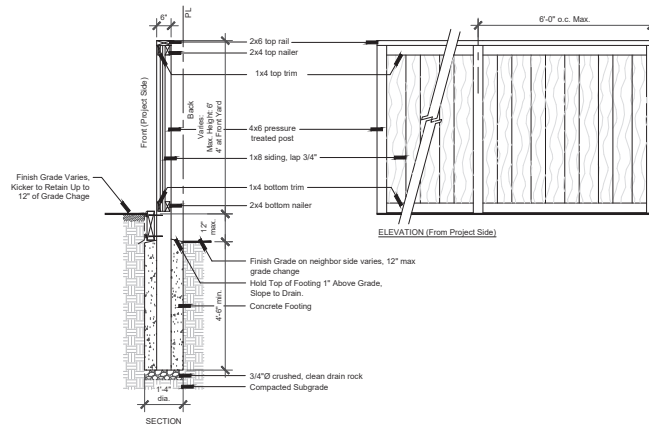
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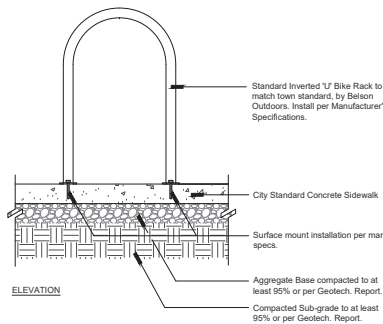
3 Accent Wall on Roof Deck
Scale: 1/2" = 1'-0"



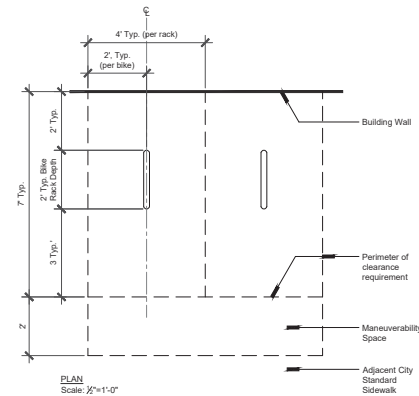
4 Glass Fence and Gate on Roof Deck
Scale: 1/2" = 1'-0"



1 Good Neighbor Fence
NTS



2 Bicycle Rack
Scale: 1/4" = 1'-0"



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Los Gatos Boulevard Properties LLC
16400 Lark Ave.
Los Gatos, CA 95032

Project:
The Luxe
14849 Los Gatos Blvd.
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

THE
Guzzardo
Partnership, INC.
Landscape Architects | Land Planners
Pier 9, The Embarcadero, Suite 115
San Francisco, CA 94111 | www.tgp-inc.com



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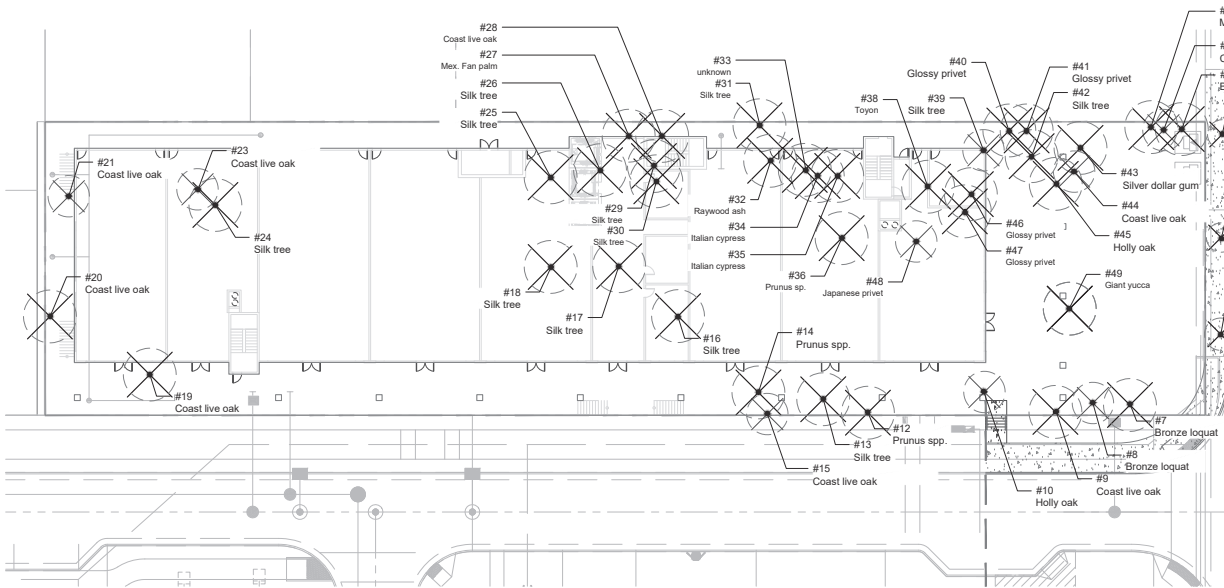
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Sheet Title:

LANDSCAPE DETAILS

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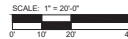
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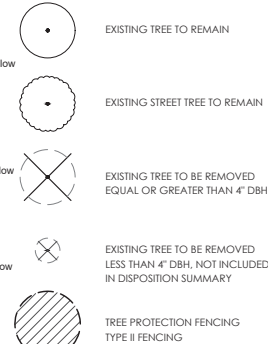


LEVEL 1 LANDSCAPE PLAN

Scale: 1" = 20'-0"



TREE DISPOSITION LEGEND



TREE DISPOSITION SUMMARY

	QTY
TOTAL EXISTING TREES ON SITE (4" DBH & GREATER)	38
EXISTING TREES TO REMAIN	0
EXISTING TREES TO BE REMOVED	38
EXISTING TREES TO BE TRANSPLANTED	0
PROPOSED NEW TREES - 24" BOX OR GREATER	43
REPLACEMENT TREES REQUIRED PER TABLE 3-1	
24" BOX MIN.	87
36" BOX MIN.	0
TOTAL REPLACEMENT TREES REQUIRED	87

Note: Refer to Arborist Report prepared by Calyx Tree and Landscape Consulting on March 6th, 2024 for trunk diameters, canopy diameters, suitability for preservation, and tree removal and protection recommendations.

Table 3-1 - Tree Canopy Replacement Standard

CANOPY SIZE OF REMOVED TREE	REPLACEMENT REQUIREMENT
10 feet or less	(2) 24" box trees
More than 10 feet to 25 feet	(3) 24" box trees
More than 25 feet to 40 feet	(4) 24" box trees or (2) 36" box trees
More than 40 feet to 55 feet	(6) 24" box trees or (3) 36" box trees
Greater than 55 feet	(10) 24" box trees or (5) 36" box trees

*NOTE: Single-family residential option not applicable replacement option for this project.

Sec. 29.10.1005. - Protection of trees during construction.

a. Protective tree fencing shall specify the following:

- 1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
- 2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
- 3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
- 4) Warning sign. Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."



kanderson@andarchinc.com
Cell 408.202.5462
120 W. Campbell Ave., Suite D
Campbell, CA 95008
www.andarchinc.com

Kurt B. Anderson, AIA
Principal
Tel. 408.371.1269
Fax. 408.371.1276

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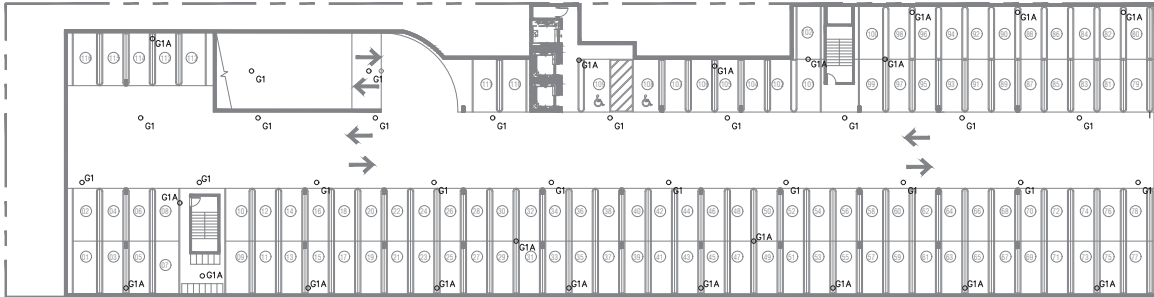
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TREE DISPOSITION

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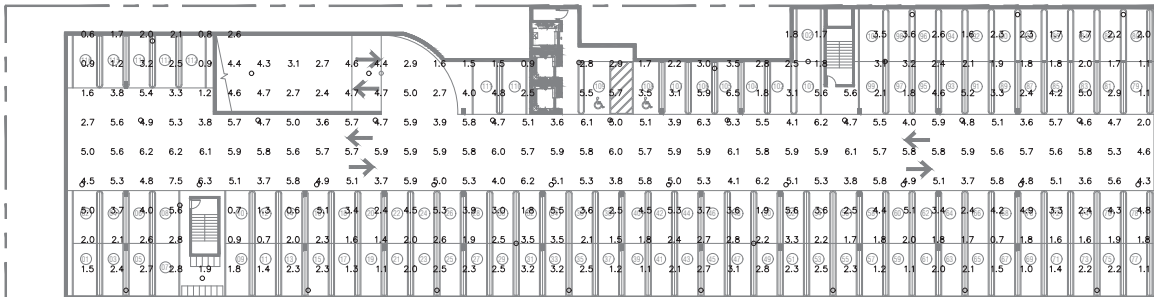
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LIGHTING PLAN — BASEMENT 3 PARKING GARAGE

SCALE: 1" = 20'



PHOTOMETRIC PLAN — BASEMENT 3 PARKING GARAGE

SCALE: 1" = 20'



GENERAL NOTES

1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.
2. LUMINAIRES IN GARAGE HAVE INTEGRAL OCCUPANCY SENSOR WHICH REDUCES LIGHTING POWER OF FIXTURE(S) BETWEEN 20% AND 50% WHEN SPACE IS VACANT. (TYP) (CENC 160.5(S)40V01b)

PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. PARKING GARAGE PHOTOMETRIC CALCULATIONS BASED ON ALL PARKING GARAGE TYPE G1, G1A LIGHTING. CALCULATION ELEVATION AFF.

Basement 3 Parking Photometric Schedule

AVERAGE FOOT-CANDLES	3.62
MAXIMUM FOOT-CANDLES	7.5
MINIMUM FOOT-CANDLES	0.6
MAXIMUM TO MINIMUM FC RATIO	13.51
AVERAGE TO MINIMUM FC RATIO	6.49



anderson@andarchinc.com
Kurt B. Anderson, AIA
Principal
120 W. Campbell Ave., Suite D
Campbell, CA 95008
Tel. 408.371.1269
Fax. 408.371.1276
www.andarchinc.com

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ENTITLEMENT SUBMITTAL

Stamp:

Robison Engineering, Inc.

19401 40TH AVE W., SUITE 302
LYNNWOOD, WA 98036
206.364.5343
REI PROJECT NO.: 692029
CONTACT: JON ROBISON

Stamp:

Professional Engineer

No. E-24894
DATE: 03-11-20

Professional Engineer

Electrical

State of California

02/14/25

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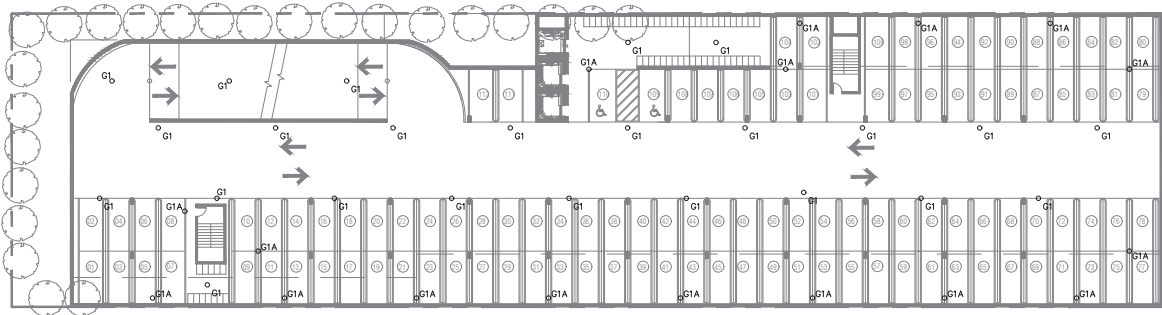
Lighting & Photometric Plans: Basement 3

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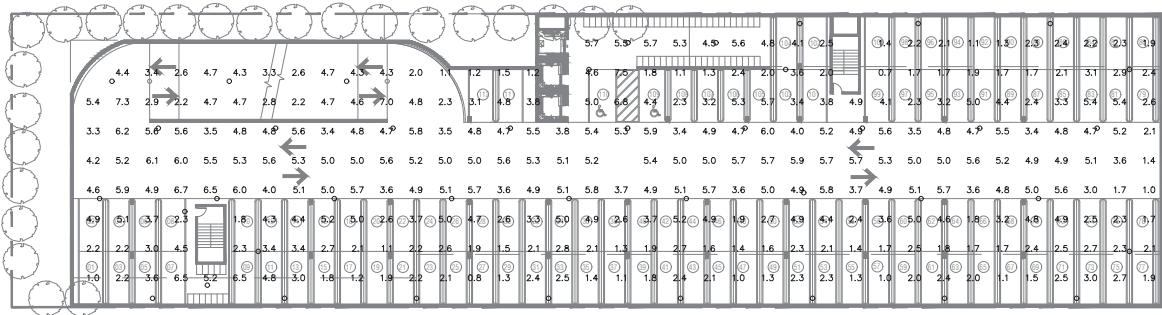
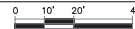
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LIGHTING PLAN — BASEMENT 2 PARKING GARAGE

SCALE: 1" = 20'



PHOTOMETRIC PLAN — BASEMENT 2 PARKING GARAGE

SCALE: 1" = 20'



GENERAL NOTES

1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.
2. LUMINAIRES IN GARAGE HAVE INTEGRAL OCCUPANCY SENSOR WHICH REDUCES LIGHTING POWER OF FIXTURE(S) BETWEEN 20% AND 50% WHEN SPACE IS VACANT. (TYP) (CENC 160.5(b)(4)(vii))

PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. PARKING GARAGE PHOTOMETRIC CALCULATIONS BASED ON ALL PARKING GARAGE TYPE G1, G1A LIGHTING. CALCULATION ELEVATION AFF.

Basement 2 Garage Photometric Schedule

AVERAGE FOOT-CANDLES	3.71
MAXIMUM FOOT-CANDLES	7.5
MINIMUM FOOT-CANDLES	0.7
MAXIMUM TO MINIMUM FC RATIO	10.64
AVERAGE TO MINIMUM FC RATIO	5.27

ANDERSON ARCHITECTS

kanderson@andarchinc.com
Cell 408.202.5462

Kurt B. Anderson, AIA
Principal
Tel. 408.371.1269
Fax. 408.371.1276
www.andarchinc.com

120 W. Campbell Ave., Suite D
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Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

ROBISON ENGINEERING, INC.

19401 40TH AVE W., SUITE 302
LYNNWOOD, WA 98036
206.364.5343
REI PROJECT NO.: 692029
CONTACT: JON ROBISON

Stamp:



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Sheet Title:

Lighting & Photometric Plans: Garage & Site

Sheet No.

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File: Job:



kanderson@kandarchinc.com
120 W. Campbell Ave., Suite D
Campbell, CA 95008
Kurt B. Anderson, AIA
Principal
Tel: 408.371.1269
Fax: 408.371.1276
www.kandarchinc.com

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Lighting &
Photometric Plans:
Garage & Site

Sheet No.

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File: Job:

GENERAL NOTES

1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.
2. ALL EXTERIOR MOUNTED LIGHTING SHALL BE CONTROLLED BY PHOTOCONTROL, OR ASTRONOMIC TIME-CLOCK SCHEDULING PER CALIFORNIA ENERGY CODE (CEC) REQUIREMENTS 160.5(C)2. PROVIDE MOTION SENSING CONTROLS FOR LUMINAIRES OVER 40 WATTS MOUNTED LESS THAN 24' ABOVE GRADE AND WALL MOUNTED LUMINAIRES MORE THAN 24' ABOVE GRADE.
3. ALL EXTERIOR MOUNTED LUMINAIRES SHALL FOLLOW MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS FOUND IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 5.106.8.
4. ALL EXTERIOR FIXTURES WILL COMPLY WITH THE TOWN REQUIREMENTS TO BE DOWNWARD DIRECTED AND MAINTAIN A MINIMUM 30 DEGREE SHIELDED ANGLE.
5. PEDESTRIAN LIGHTING INTERVAL SPACING WILL NOT EXCEED 30 FEET.

PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
4. LIGHT TRESPASS CALCULATIONS ARE FOR LIGHTING WHICH TRAVELS PAST PROPERTY LINE.

Parking Garage Photometric Schedule

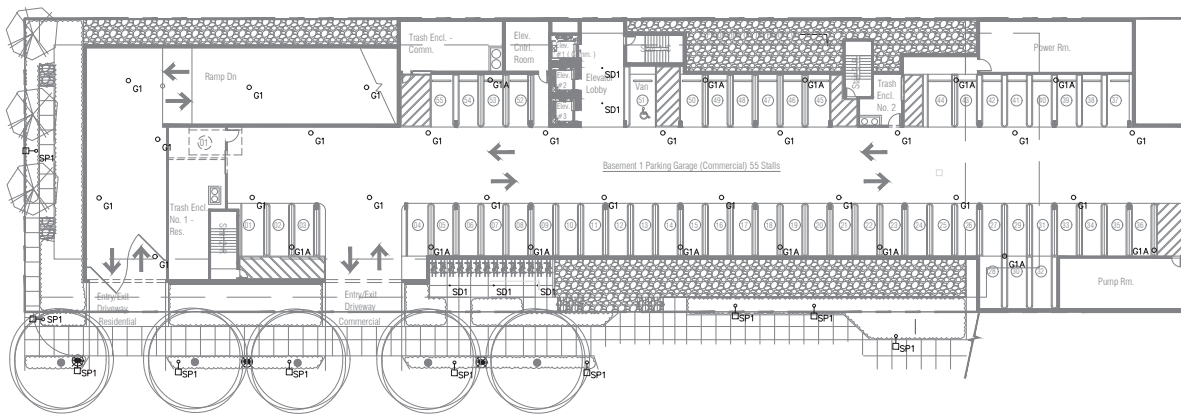
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MAXIMUM FOOT-CANDLES	7.9
MINIMUM FOOT-CANDLES	0.4
MAXIMUM TO MINIMUM FC RATIO	20.22
AVERAGE TO MINIMUM FC RATIO	11.98

Parking Garage Walkway Photometric Schedule

AVERAGE FOOT-CANDLES	2.68
MAXIMUM FOOT-CANDLES	8.6
MINIMUM FOOT-CANDLES	1.2
MAXIMUM TO MINIMUM FC RATIO	7.75
AVERAGE TO MINIMUM FC RATIO	2.42

Future Street (C5) Photometric Schedule

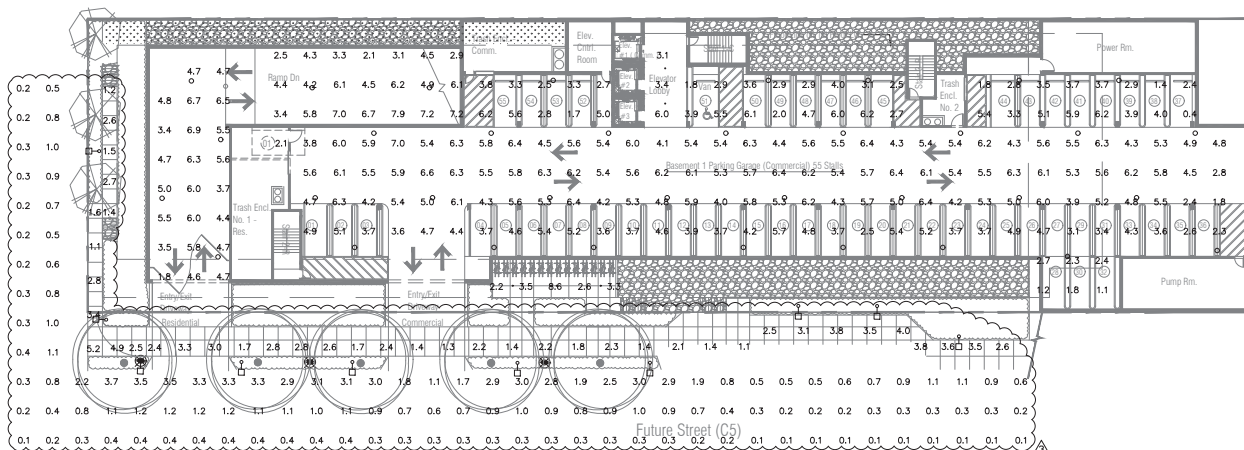
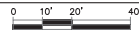
AVERAGE FOOT-CANDLES	0.91
MAXIMUM FOOT-CANDLES	3.7
MINIMUM FOOT-CANDLES	0.1
MAXIMUM TO MINIMUM FC RATIO	46.95
AVERAGE TO MINIMUM FC RATIO	11.44



BASEMENT 1 LANDSCAPE

LIGHTING PLAN - PARKING GARAGE & SITE

SCALE: 1" = 20'



BASEMENT 1 LANDSCAPE

PHOTOMETRIC PLAN - PARKING GARAGE & SITE

SCALE: 1" = 20'



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Lighting &

Photometric Plans:

Level 1 & Site

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GENERAL NOTES

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3. SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
4. LIGHT TRESPASS CALCULATIONS ARE FOR LIGHTING WHICH TRAVELS PAST PROPERTY LINE.

Light Trespass Photometric Schedule

AVERAGE FOOT-CANDLES	0.14
MAXIMUM FOOT-CANDLES	0.3
MINIMUM FOOT-CANDLES	0.1
MAXIMUM TO MINIMUM FC RATIO	5.40
AVERAGE TO MINIMUM FC RATIO	2.25

Common Walkway Photometric Schedule

AVERAGE FOOT-CANDLES	3.43
MAXIMUM FOOT-CANDLES	18.1
MINIMUM FOOT-CANDLES	1.3
MAXIMUM TO MINIMUM FC RATIO	13.84
AVERAGE TO MINIMUM FC RATIO	2.63

Future C5 Continued Photometric Schedule

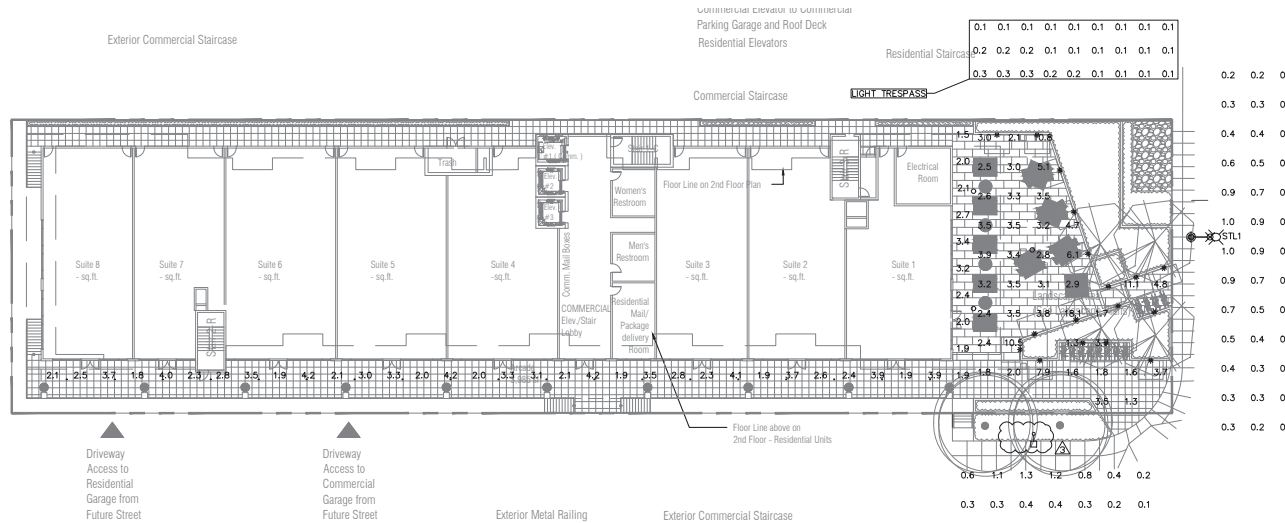
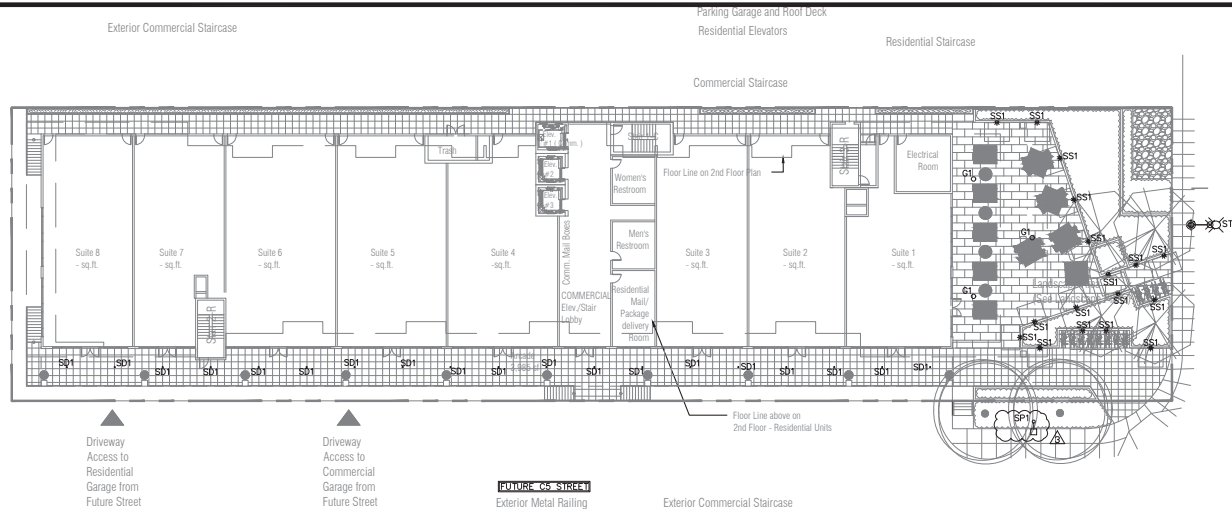
AVERAGE FOOT-CANDLES	0.41
MAXIMUM FOOT-CANDLES	1.3
MINIMUM FOOT-CANDLES	0.1
MAXIMUM TO MINIMUM FC RATIO	15.82
AVERAGE TO MINIMUM FC RATIO	4.88

Los Gatos Blvd. Photometric Schedule

AVERAGE FOOT-CANDLES	0.48
MAXIMUM FOOT-CANDLES	1.0
MINIMUM FOOT-CANDLES	0.2
MAXIMUM TO MINIMUM FC RATIO	4.28
AVERAGE TO MINIMUM FC RATIO	2.00

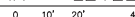
LIGHTING PLAN - LEVEL 1 & SITE

SCALE: 1" = 20'



PHOTOMETRIC PLAN - LEVEL 1 & SITE

SCALE: 1" = 20'





kanderson@andarchinc.com
120 W. Campbell Ave., Suite D
Campbell, CA 95008

Kurt B. Anderson, AIA
Principal
Tel. 408.371.1269
Fax. 408.371.1276
www.andarchinc.com

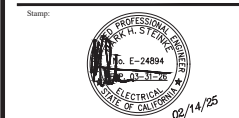
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Client:
Los Gatos Boulevard Properties, LLC
16400 Lark Ave.
Los Gatos, CA 95032

Project:
The Luxe
14849 Los Gatos Blvd.
Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

ROBISON
ENGINEERING, INC.
19401 40TH AVE W., SUITE 302
LYNNWOOD, WA 98036
206.364.5343
REI PROJECT NO. 692029
CONTACT: JON ROBISON



Issued For		
No.	Description	Date
0	INITIAL SUBMITTAL	
1	1ST ROUND PLAN CHECK COMMENTS	07/01/24
2	2ND ROUND PLAN CHECK COMMENTS	10/18/24
3	3RD ROUND PLAN CHECK COMMENTS	02/14/25
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Initial Submittal Date: 03/05/24

Scale: AS NOTED

Drawn By: CM

Checked By: AS

Sheet Title:

Lighting &
Photometric Plans:
Roof Terrace

Sheet No.

E1.09

File: Job:

GENERAL NOTES

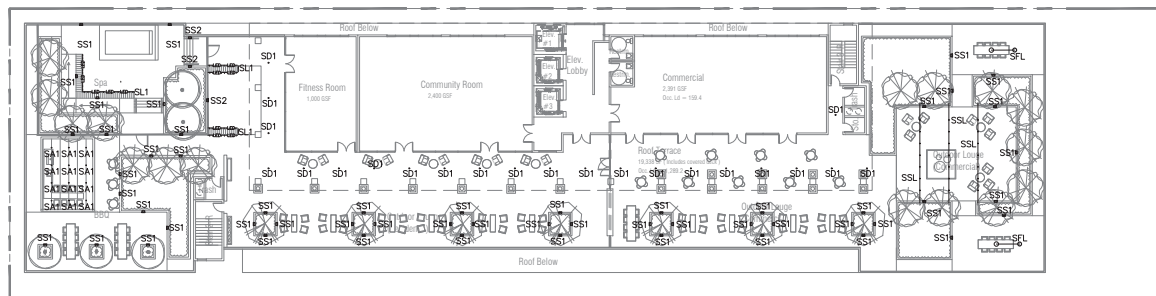
1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.
2. ALL EXTERIOR MOUNTED LIGHTING SHALL BE CONTROLLED BY PHOTOCONTROL OR ASTRONOMIC TIME-CLOCK SCHEDULING PER CALIFORNIA ENERGY CODE (CEC) REQUIREMENTS 160.5(c)(2). PROVIDE MOTION SENSING CONTROLS FOR LUMINAIRES OVER 40 WATTS MOUNTED LESS THAN 24' ABOVE GRADE AND WALL MOUNTED LUMINAIRES MORE THAN 24' ABOVE GRADE.
3. ALL EXTERIOR MOUNTED LUMINAIRES SHALL FOLLOW MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS FOUND IN CALIFORNIA GREEN BUILDING STANDARDS CODE TABLE 5.106.8.
4. ALL EXTERIOR FIXTURES WILL COMPLY WITH THE TOWN REQUIREMENTS TO BE DOWNWARD DIRECTED AND MAINTAIN A MINIMUM 30 DEGREE SHIELDED ANGLE.
5. PEDESTRIAN LIGHTING INTERVAL SPACING WILL NOT EXCEED 30 FEET.

PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. SITE PHOTOMETRIC: BASED ON PROPOSED SITE LIGHTING FOR PROJECT ONLY.
4. LIGHT TRESPASS CALCULATIONS ARE FOR LIGHTING WHICH TRAVELS PAST PROPERTY LINE.

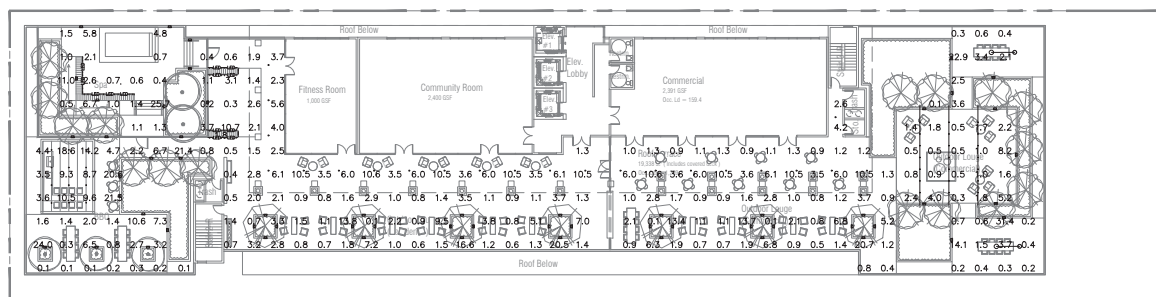
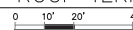
Roof Deck Photometric Schedule

AVERAGE FOOT-CANDLES	3.84
MAXIMUM FOOT-CANDLES	31.4
MINIMUM FOOT-CANDLES	0.1
MAXIMUM TO MINIMUM FC RATIO	532.30
AVERAGE TO MINIMUM FC RATIO	65.13



LIGHTING PLAN — ROOF TERRACE

SCALE: 1" = 20'



PHOTOMETRIC PLAN — ROOF TERRACE

SCALE: 1" = 20'

