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Client:
 Los Gatos Boulevard Properties, LLC

16400 Lark Ave.
 Los Gatos, CA 95032

Project:
 The Luxe
 14849 Los Gatos Blvd.
 Los Gatos, CA 95032

ENTITLEMENT SUBMITTAL

Planner/Civil Engineer:



Issued For

No.	Description	Date
0	INITIAL SUBMITTAL	
1	CYCLE 2 PLANNING SUBMITTAL	7/1/2024
2	CYCLE 3 PLANNING SUBMITTAL	10/18/2024
3	CYCLE 4 PLANNING SUBMITTAL	2/14/2025
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Initial Submittal Date: 02/01/2024

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Sheet Title:

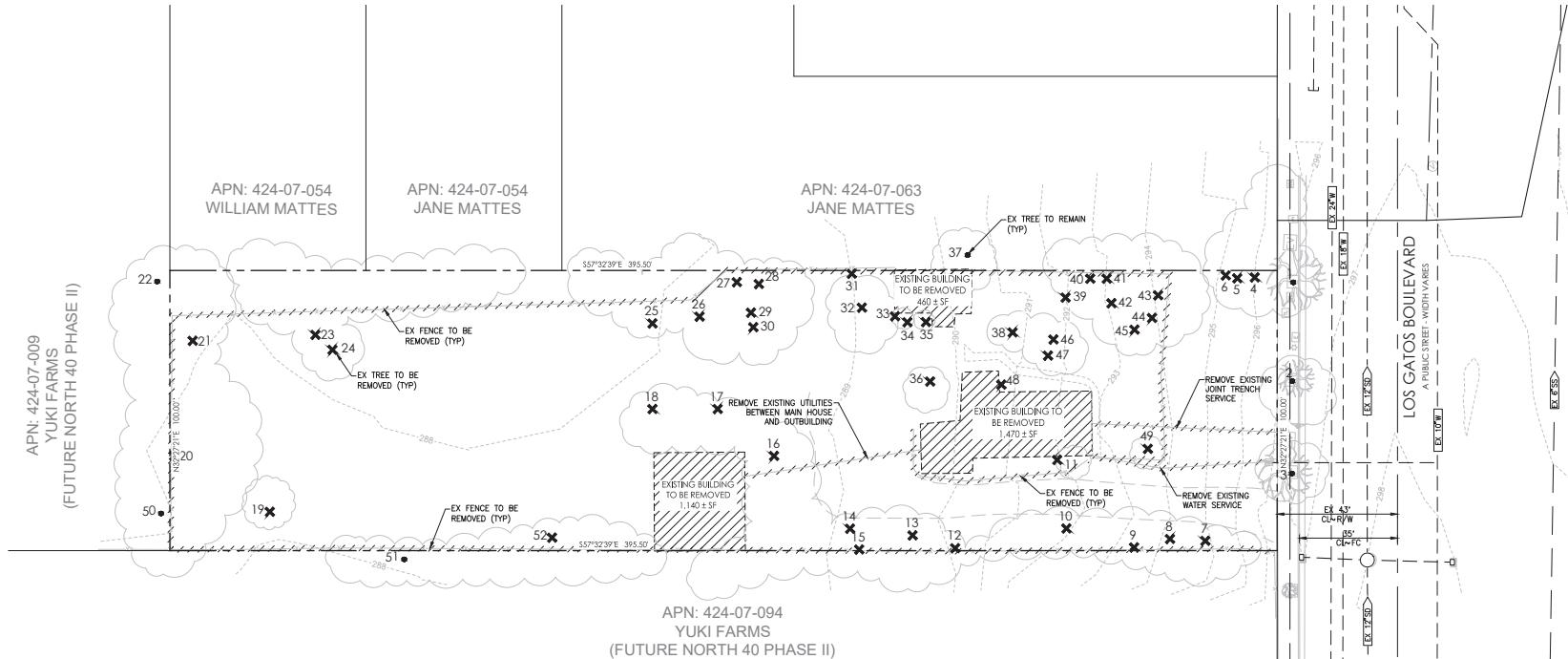
EXISTING CONDITIONS PLAN

Sheet No.:

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TOWN OF LOS GATOS FILE#: S-24-008 & M-24-005



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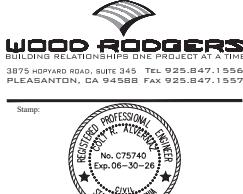
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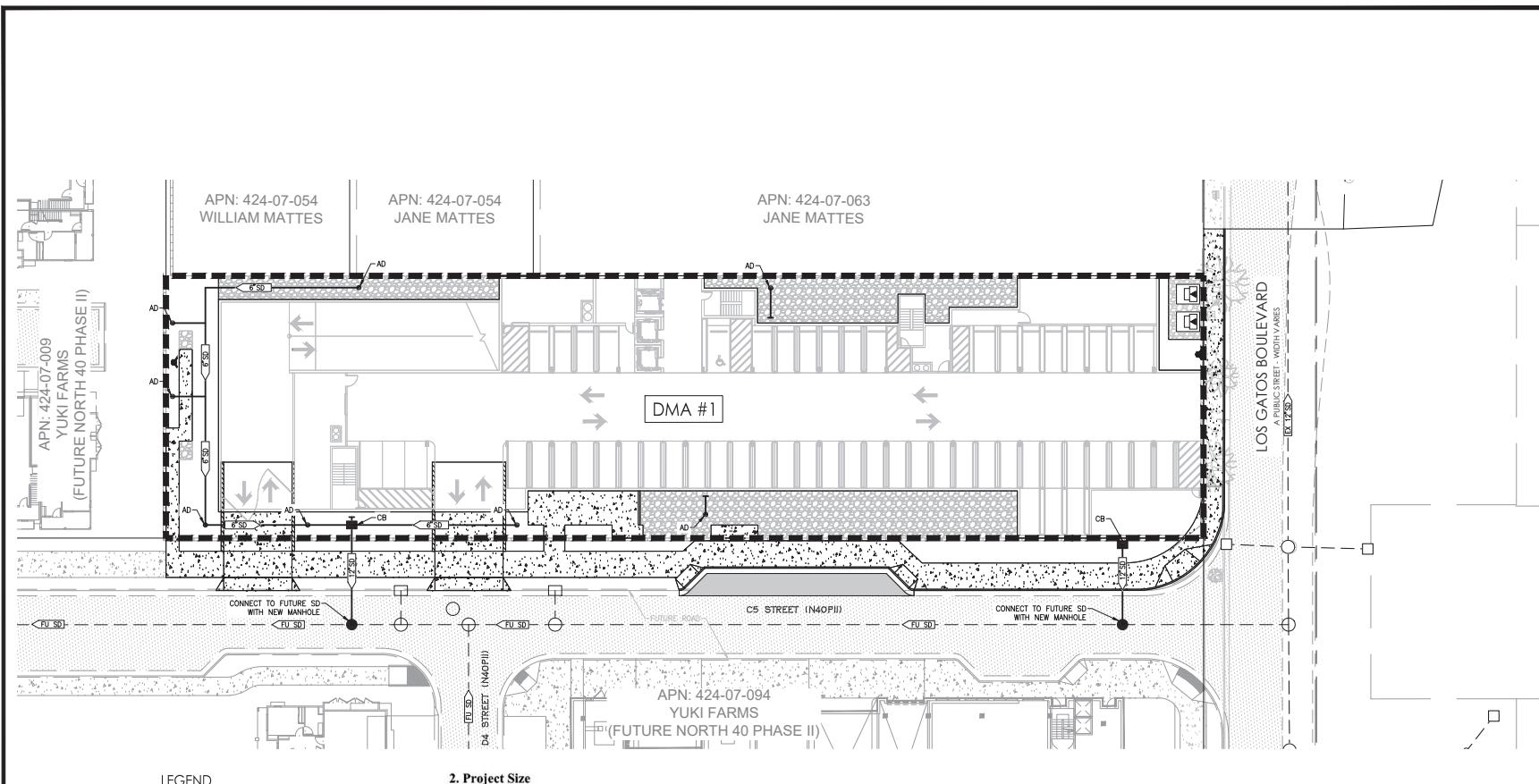
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PRELIMINARY STORMWATER CONTROL PLAN

Sheet No.:

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2. Project Size

a. Total Site Area: 39,550 (ft ²)		b. Total Land Area Disturbed During Construction: 39,550 (ft ²) (including clearing, grading, stockpiling, or excavating)			
Project Total	Total Existing (Pre-project) Area (ft ²)	Existing Area Retained ^a (ft ²)	Existing Area Replaced ^a (ft ²)	New Area Created ^a (ft ²)	Total Post-Project Area (ft ²)
Impervious Area (IA)					
c. Total on-site IA	3,930	0	3,930	33,255	37,185
d. Total off-site IA ^a					0
e. Total project IA	3,930	0	3,930	33,255	37,185
f. Total new and replaced IA				37,185	
Pervious Area (PA)					
g. Total on-site PA	35,620				2,365
h. Total off-site PA ^a					
i. Total project PA	35,620				2,365
j. Total Project Area (2.e.+2.i.)	39,550				39,550
k. Percent Replacement of IA in Redevelopment Projects: (Existing on-site IA Replaced + Existing Total on-site IA) x 100% 100 %					

STORMWATER CONTROL PLAN NOTES:

SITE RUNOFF WILL BE TREATED IN THE NORTH 40 PHASE II
INFILTRATION GALLERY. SEE PLANS BY MACKAY & SOMPS.

SOURCE CONTROL MEASURES:

1. BENEFICIAL LANDSCAPING.
2. USE OF PERMEABLE IRRIGATION SYSTEMS.
3. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
4. STORM DRAIN LABELING.

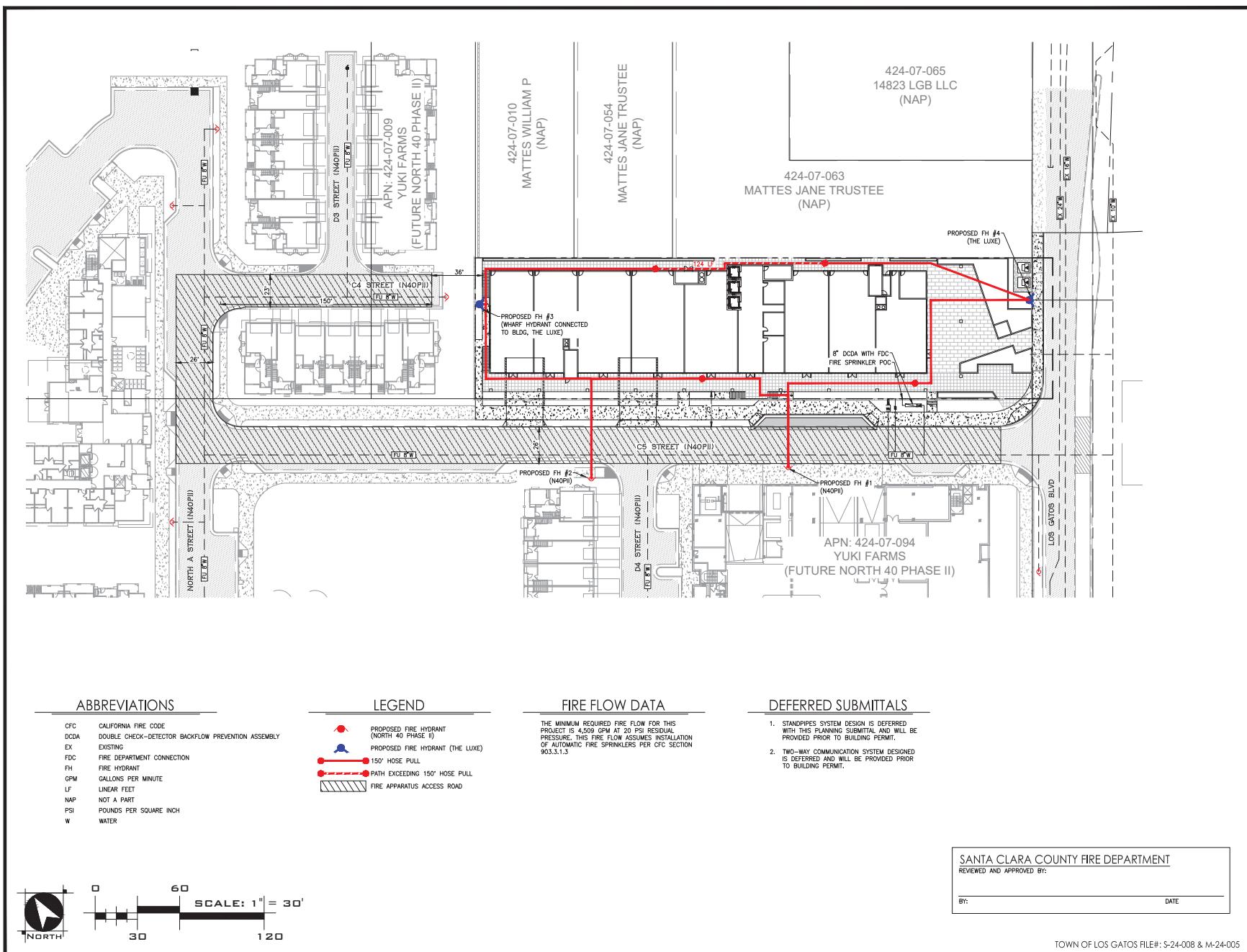
SITE DESIGN MEASURES:

1. PROTECT EXISTING TREES, VEGETATION, AND SOIL.
2. CREATE NEW PERVIOUS AREAS:
 - a. LANDSCAPING
3. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
4. PLANT TREES ADJACENT TO AND IN PARKING AREAS AND LANDSCAPE TO OTHER IMPERVIOUS AREAS.
5. PARKING
6. NOT PROVIDED IN EXCESS OF CODE.

IMPERVIOUS SURFACE SUMMARY

TOTAL SITE AREA	EXISTING IMPERVIOUS SURFACE AREA (SF)	PROPOSED IMPERVIOUS SURFACE AREA (SF)
39,550	3,930 (10%)	37,185 (94%)

TOWN OF LOS GATOS FILE# S-24-008 & M-24-005



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A R C H I T E C T S

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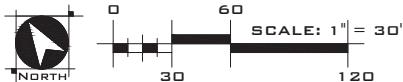
REGISTERED PROFESSIONAL LAWYER
ROBERT R. ALVEREZ
No. C75740
Exp. 06-30-26
STATE OF CALIFORNIA

ISSUED FOR		
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0	INITIAL SUBMITTAL	
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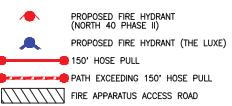
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ABBREVIATIONS

CFC	CALIFORNIA FIRE CODE
DCDA	DOUBLE CHECK-DETECTOR BACKFLOW PREVENTION ASSEMBLY
EX	EXISTING
FDX	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
GPM	GALLONS PER MINUTE
LF	LINEAR FEET
NAP	NOT A PART
PSI	POUNDS PER SQUARE INCH
W	WATER



LEGEND



FIRE FLOW DATA

THE MINIMUM REQUIRED FIRE FLOW FOR THIS PROJECT IS 4,509 GPM AT 20 PSI RESIDUAL PRESSURE. THIS FIRE FLOW ASSUMES INSTALLATION OF AUTOMATIC FIRE SPRINKLERS PER CFC SECTION 903.3.1.3

DEFERRED SUBMITTALS

1. STANDPIPES SYSTEM DESIGN IS DEFERRED WITH THIS PLANNING SUBMITTAL AND WILL BE PROVIDED PRIOR TO BUILDING PERMIT.
2. TWO-WAY COMMUNICATION SYSTEM DESIGNED IS DEFERRED AND WILL BE PROVIDED PRIOR TO BUILDING PERMIT.

SANTA CLARA COUNTY FIRE DEPARTMENT
REVIEWED AND APPROVED BY:

BY: _____ DATE: _____

TOWN OF LOS GATOS FILE #: S-24-008 & M-24-005

C4.0

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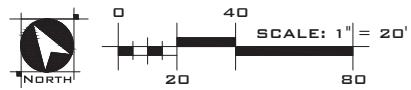
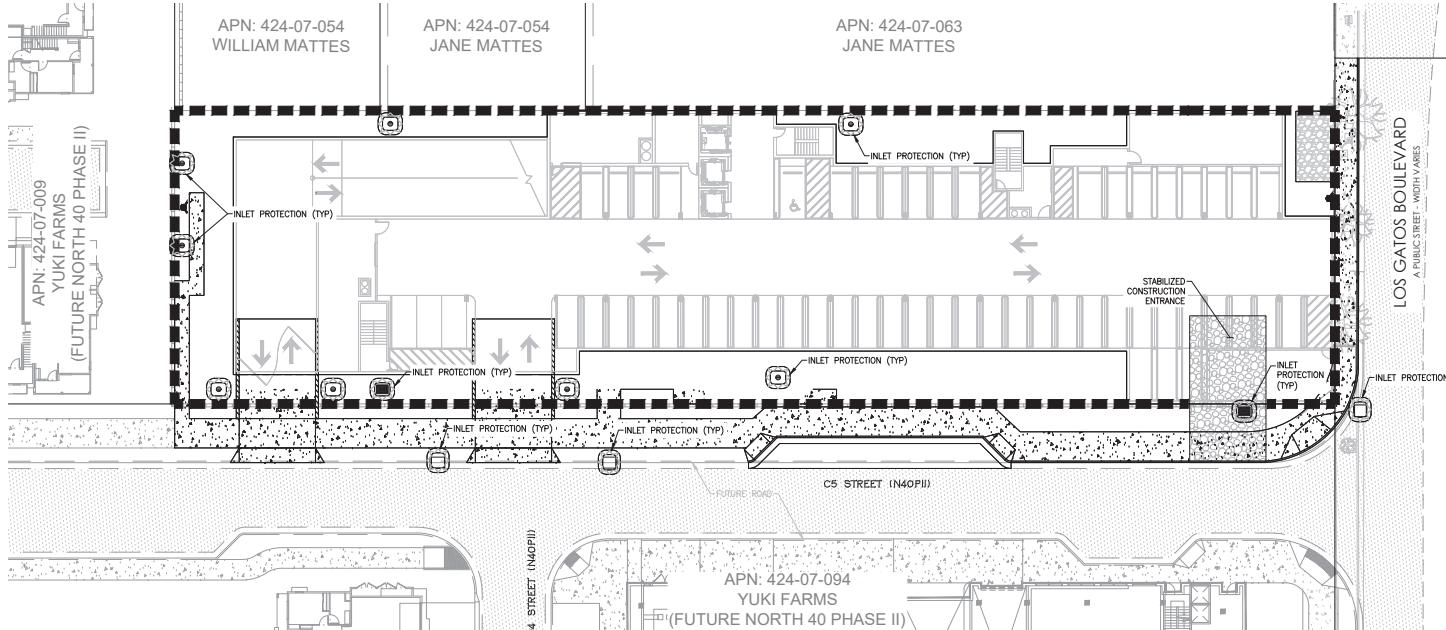
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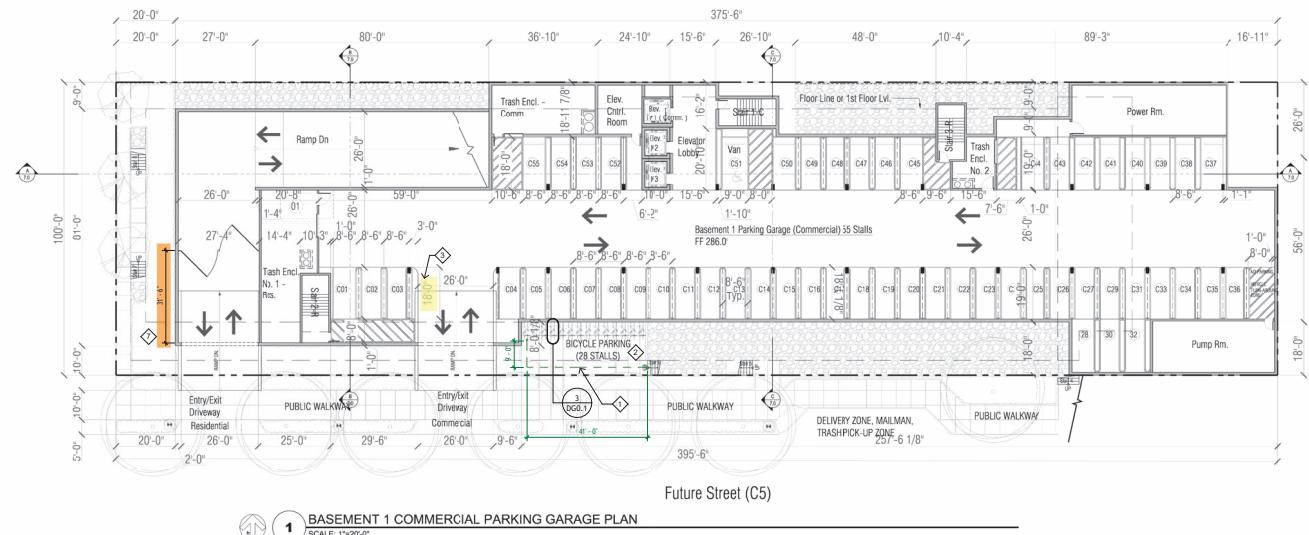
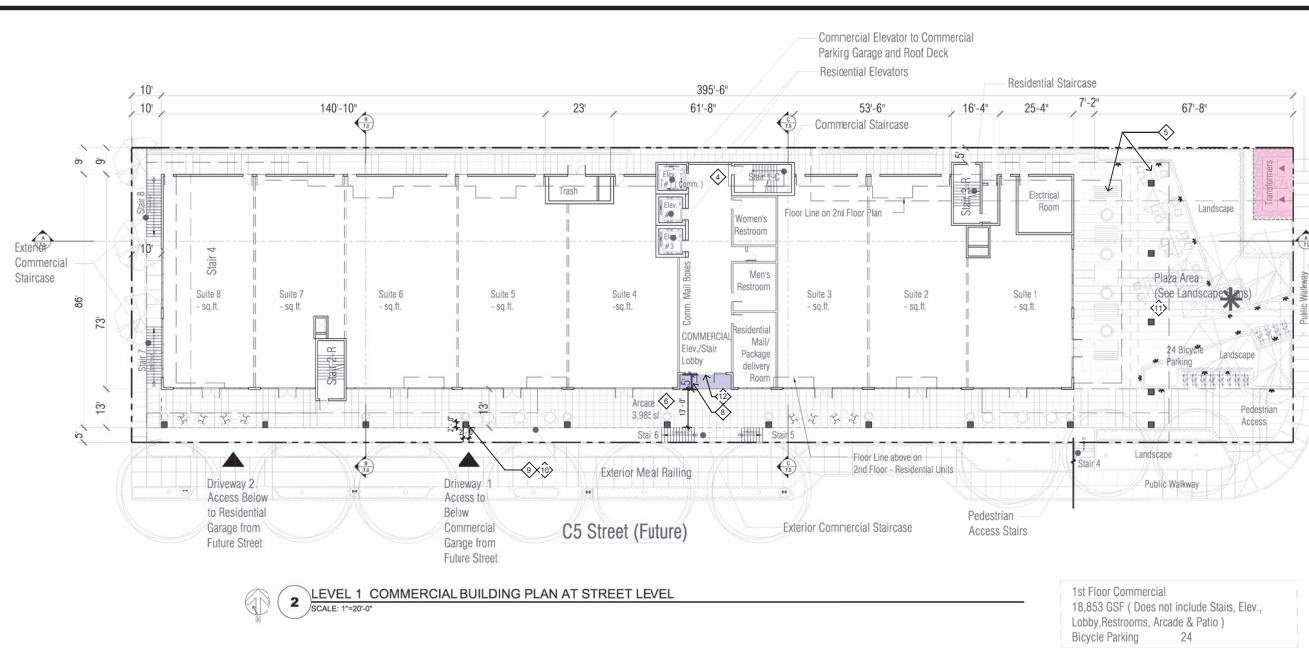
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TOWN OF LOS GATOS FILE #: S-24-008 & M-24-005

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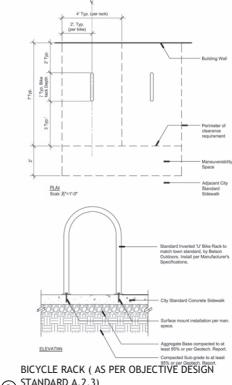




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FLOOR PLAN NOTES

1. AS PER OBJECTIVE DESIGN STANDARD, A.1.1, A MINIMUM OF 4'-0" PATHWAY IS SHOWN IN HATCH ON LEVEL 1 COMMERCIAL BUILDING PLAN
2. AS PER OBJECTIVE DESIGN STANDARD A.7.3, GROUND LEVEL UTILITY CABINETS, MECHANICAL EQUIPMENT, TRASH AND SERVICE AREAS ARE SCREENED WITH PLANTING REFER TO AREA HIGHLIGHTED IN PURPLE
3. AS PER OBJECTIVE DESIGN STANDARD, B.1.1, A BUILDING ENTRY SHOULD BE RECESSED AND THE MINIMUM DEPTH SHOULD BE 24 SQUARE FEET, RECESSING BUILDING ENTRY PROVIDED IS 8 FEET SQUARE FEET, REFER TO AREA HIGHLIGHTED IN PURPLE
4. AS PER OBJECTIVE DESIGN STANDARD, B.4.5, CHANGES IN BUILDING MATERIALS OCCUR AT INSIDE CORNERS
5. AS PER OBJECTIVE DESIGN STANDARD, B.1.1A, A MINIMUM OF 40% OF THE UPPER FLOOR FAÇADE LENGTH/STEP BACK FROM THE PLANE OF THE GROUND FLOOR FAÇADE BY 12'-0" REFER TO THE DASHED LINE SHOWING THE SECOND FLOOR ON LEVEL 1 COMMERCIAL BUILDING PLAN

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FLOOR PLAN KEYNOTES

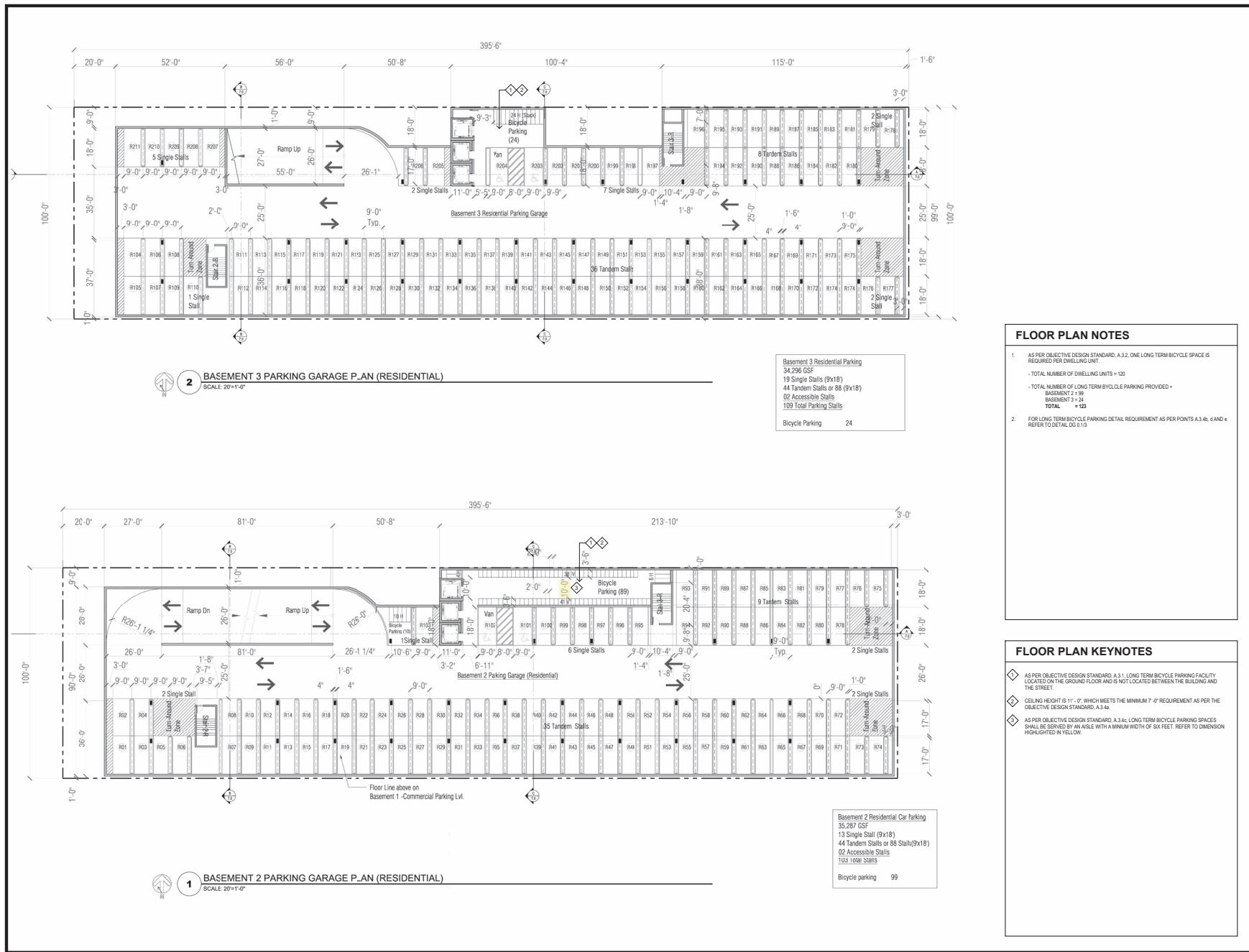
- ◆ SHORT TERM BICYCLE PARKING TO BE LOCATED WITHIN 50 FEET OF THE PRIMARY PEDESTRIAN ENTRANCE AS PER OBJECTIVE DESIGN STANDARD, A.2.1. REFER TO 50 FEET LINE SHOWN IN GREEN.
- ◆ A TOTAL OF 28 SHORT TERM BICYCLE SPACES IS PROVIDED WHICH MEETS THE QUANTITY REQUIRED AS PER OBJECTIVE DESIGN STANDARD, A.2.2.
 - ◆ REQUIRED = $(21 \times 208 \text{ SF}) / 50 \text{ SF} = 11$ SPACES
- ◆ AS PER OBJECTIVE DESIGN STANDARD, A.4.1, A MINIMUM OF 18 FEET IS REQUIRED BETWEEN PEDESTRIAN ENTRATE TO PARKING AND BACK OF SCAFFOLD. SEE HIGHLIGHTED DIMENSION IN YELLOW.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, A.3.6, A PEDESTRIAN GATE PROVIDED TO ACCESS PARKING STRUCTURE, AS PER OBJECTIVE DESIGN STANDARD, A.9.4, IS 95% OPEN VIEW.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, A.12.2, SITE AMENITIES LIKE RAISED PLANTERS AND PEDESTRIAN SEATING ARE PROPOSED.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, B.1.16 THE EXTERIOR ARCADE IS COVERED, IT IS MORE THAN 8 FEET WIDE AND IS MORE THAN 45% OF THE FULL BUILDING FAÇADE.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, B.4.4, GARAGE DOOR IS RECESSSED A MINIMUM OF 12' FROM THE FAÇADE AND DOES NOT EXCEED 40% OF THE FAÇADE LENGTH. SEE DIMENSION HIGHLIGHTED IN ORANGE.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, B.4.6, THE PEDESTRIAN ENTRANCE IS RECESSSED 5 FEET, WHICH MEETS THE MINIMUM 3 FEET REQUIREMENT.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, B.1.11, THE FIRST HIGH LEVEL PILASTERS ARE SHOWN.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, B.4.12, MULTIPLE PILASTERS, MINIMUM 2 FEET WIDE ARE SHOWN.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, B.4.12, COMMON SPACES ARE SHOWN.
- ◆ AS PER OBJECTIVE DESIGN STANDARD, B.4.7c, RESIDENTIAL STOREFRONT ENTRY IS 6 FEET

OBJECTIVE DESIGN STANDARDS

Short N

DG0.1

NOTE: IF SHEET IS NOT 30"X42" THEN IT IS A REDUCED PRINT



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Project:
LGBV
14849 Los Gatos Blvd.
Los Gatos, CA 95032

FLOOR PLAN NOTES

1. AS PER OBJECTIVE DESIGN STANDARD, A 3.2, ONE LONG TERM BICYCLE SPACE IS REQUIRED PER DWELLING UNIT.
 - TOTAL NUMBER OF DWELLING UNITS = 120
 - TOTAL NUMBER OF LONG TERM CYCLCLE PARKING PROVIDED =
BASEMENT 2 = 99
BASEMENT 3 = 24
TOTAL = 123
2. FOR LONG TERM BICYCLE PARKING DETAIL REQUIREMENT AS PER POINTS A 3.4b, d AND REFER TO DETAIL D9 0.1.9.

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FLOOR PLAN KEYNOTES

- 1 AS PER OBJECTIVE DESIGN STANDARD, A.3.1, LONG TERM BICYCLE PARKING FACILITY LOCATED ON THE GROUND FLOOR AND IS NOT LOCATED BETWEEN THE BUILDING AND THE STREET.
- 2 CEILING HEIGHT IS 11'-0", WHICH MEETS THE MINIMUM 7'-0" REQUIREMENT AS PER THE OBJECTIVE DESIGN STANDARD, A.3.4a.
- 3 AS PER OBJECTIVE DESIGN STANDARD, A.3.4c, LONG TERM BICYCLE PARKING SPACES SHALL BE PROVIDED WITH AN AISLE WITH A MINIMUM WIDTH OF SIX FEET. REFER TO DIMENSION HIGHLY USED IN THIS SECTION.

Scale: 1" = 20'-0"
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OBJECTIVE DESIGN STANDARDS

Sheet 1

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**Anderson
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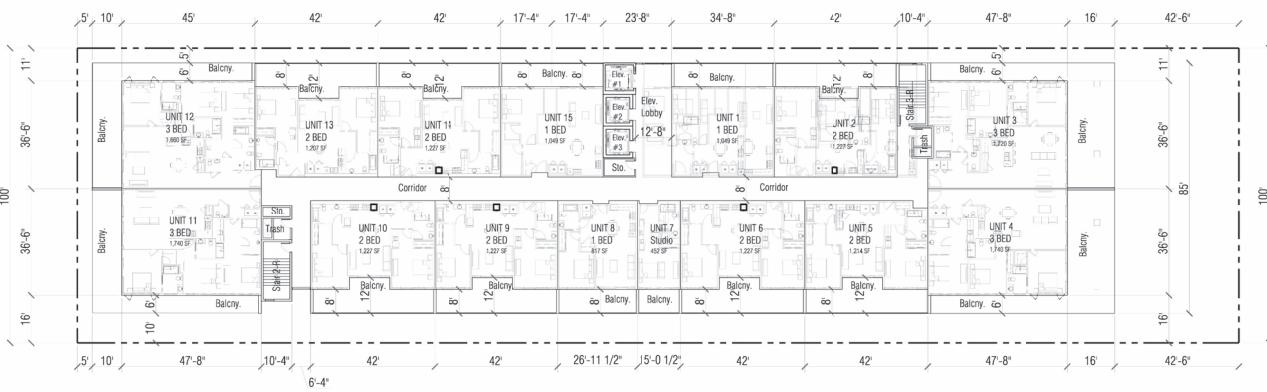
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Sheet No.:

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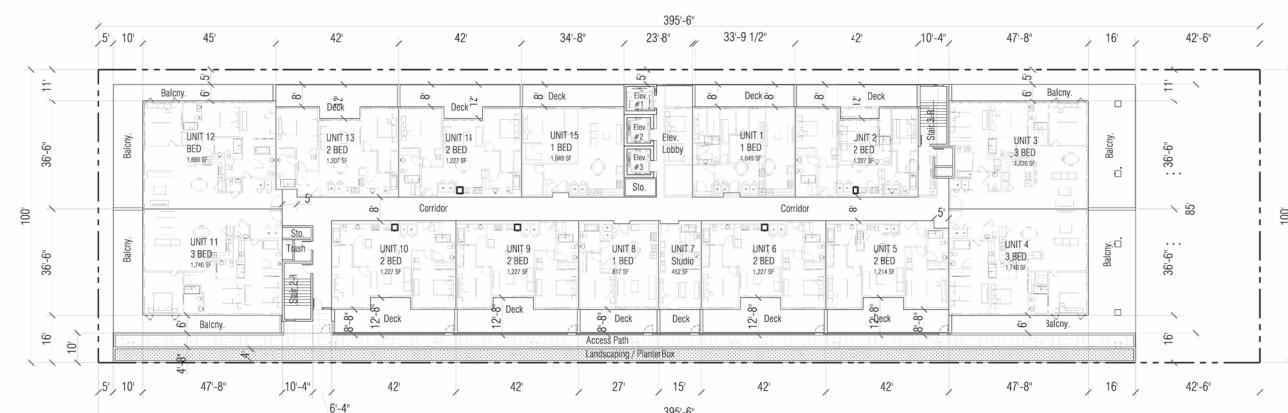
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2 RESIDENTIAL BUILDING PLAN AT LEVELS 3 THRU 9 (7 TOTAL FLOORS)



SCALE: 1"=20'-0"



1 RESIDENTIAL BUILDING PLAN AT LEVEL 2



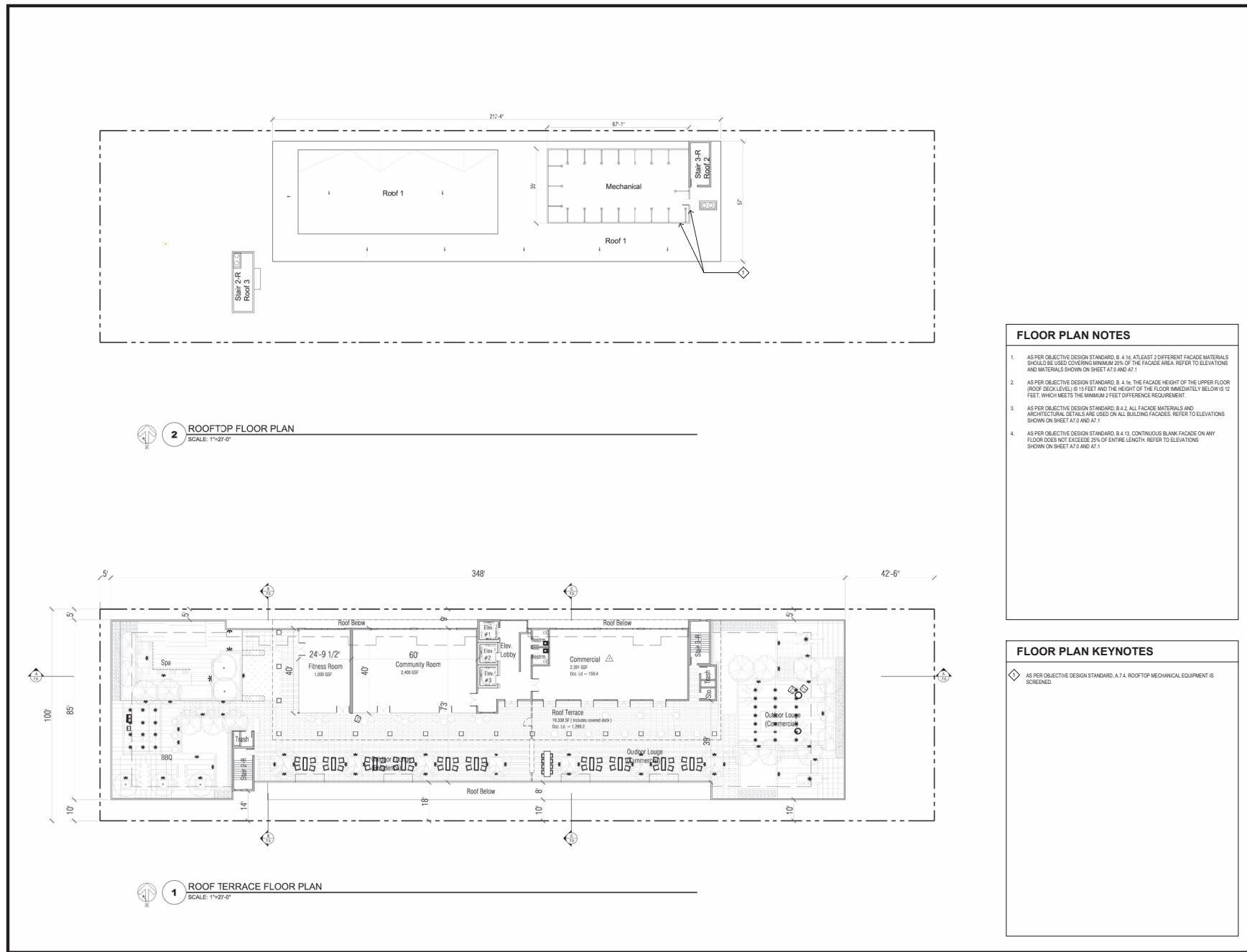
SCALE: 1"=20'-0"

FLOOR PLAN NOTES

- AS PER OBJECTIVE DESIGN STANDARD, A.11.1a, EACH DWELLING UNIT ABOVE THE GROUND FLOOR SHALL HAVE A MINIMUM OF 60 SQUARE FEET OF USABLE PRIVATE RECREATION SPACE.
REQUIRED AREA = (120 UNITS X 60 SF) = 7,200 SF
TOTAL AREA PROPOSED = 39,276 SF
- AS PER OBJECTIVE DESIGN STANDARD, A.11.1a, 20% OF SITE AREA SHALL BE LANDSCAPED
LOT SIZE = 79,480 SF
TOTAL REQUIRED LANDSCAPE AREA (20% OF 39,550) = 7,910 SF
TOTAL LANDSCAPE AREA PROPOSED = 13,873 SF
- AS PER OBJECTIVE DESIGN STANDARD, A.11.1c, COMMUNITY RECREATIONAL SPACE SHALL BE PROVIDED AT A MINIMUM OF 100 SF PER UNIT. REFER TO THE CALCULATIONS BELOW:
TOTAL REQUIRED (120 UNITS X 100 SF) = 12,000 SF
TOTAL PROPOSED SF = 13,803 SF
- AS PER OBJECTIVE DESIGN STANDARD, B.1.2, UPPER FLOORS ABOVE TWO STORES SHALL BE SET BACK MINIMUM OF 5 FEET FROM THE GROUND FLOOR FAÇADE. REFER TO LEVEL 2 FLOOR PLAN
- AS PER OBJECTIVE DESIGN STANDARD, B.4.1a, BALCONIES ARE MINIMUM 2 FT DEEP FOR A MINIMUM OF 30% STREET FACING FAÇADE
- AS PER OBJECTIVE DESIGN STANDARD, B.4.1i, BALCONIES DO NOT PROJECT BEYOND THE BUILDING FOOT PRINT.

FLOOR PLAN KEYNOTES

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1. AS PER OBJECTIVE DESIGN STANDARD, B.4.1C, AT LEAST 2 DIFFERENT FAÇADE MATERIALS SHOULD BE USED ON EACH SIDE OF THE FAÇADE AREA. REFER TO ELEVATIONS AND MATERIALS SHOWN ON SHEET A.7 AT A.7
2. AS PER OBJECTIVE DESIGN STANDARD, B.4.1, THE FAÇADE HEIGHT OF THE UPPER FLOOR (ROOF LEVEL) IS 15 FEET AND THE HEIGHT OF THE FLOOR IMMEDIATELY BELOW IS 12 FEET, WHICH MEETS THE MINIMUM 2 FEET DIFFERENCE REQUIREMENT.
3. AS PER OBJECTIVE DESIGN STANDARD, B.4.2, ALL FAÇADE MATERIALS AND ARCHITECTURAL DETAILS ARE USED ON ALL BUILDING FAÇADES. REFER TO ELEVATIONS SHOWN ON SHEET A.7 AT A.7
4. AS PER OBJECTIVE DESIGN STANDARD, B.4.1, CONTINUOUS BLANK FAÇADE ON ANY FLOOR IS NOT MORE THAN 15 FEET IN LENGTH. REFER TO ELEVATIONS SHOWN ON SHEET A.7 AT A.7

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Standards

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FLOOR PLAN KEYNOTES

1 AS PER OBJECTIVE DESIGN STANDARD, A.7.4, ROOFTOP MECHANICAL EQUIPMENT SCREENED.

OBJECTIVE DESIGN STANDARDS

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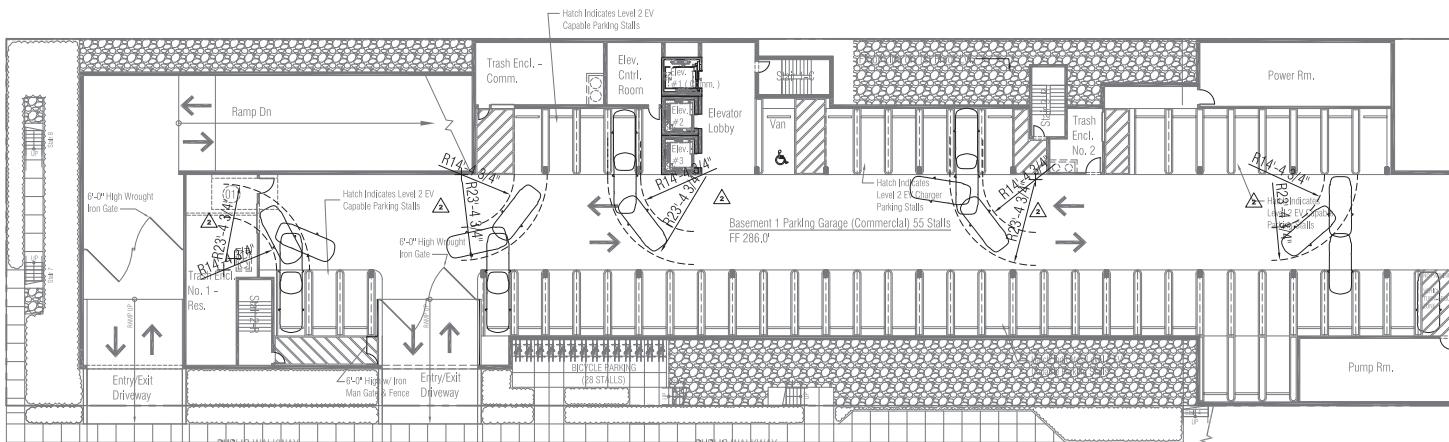
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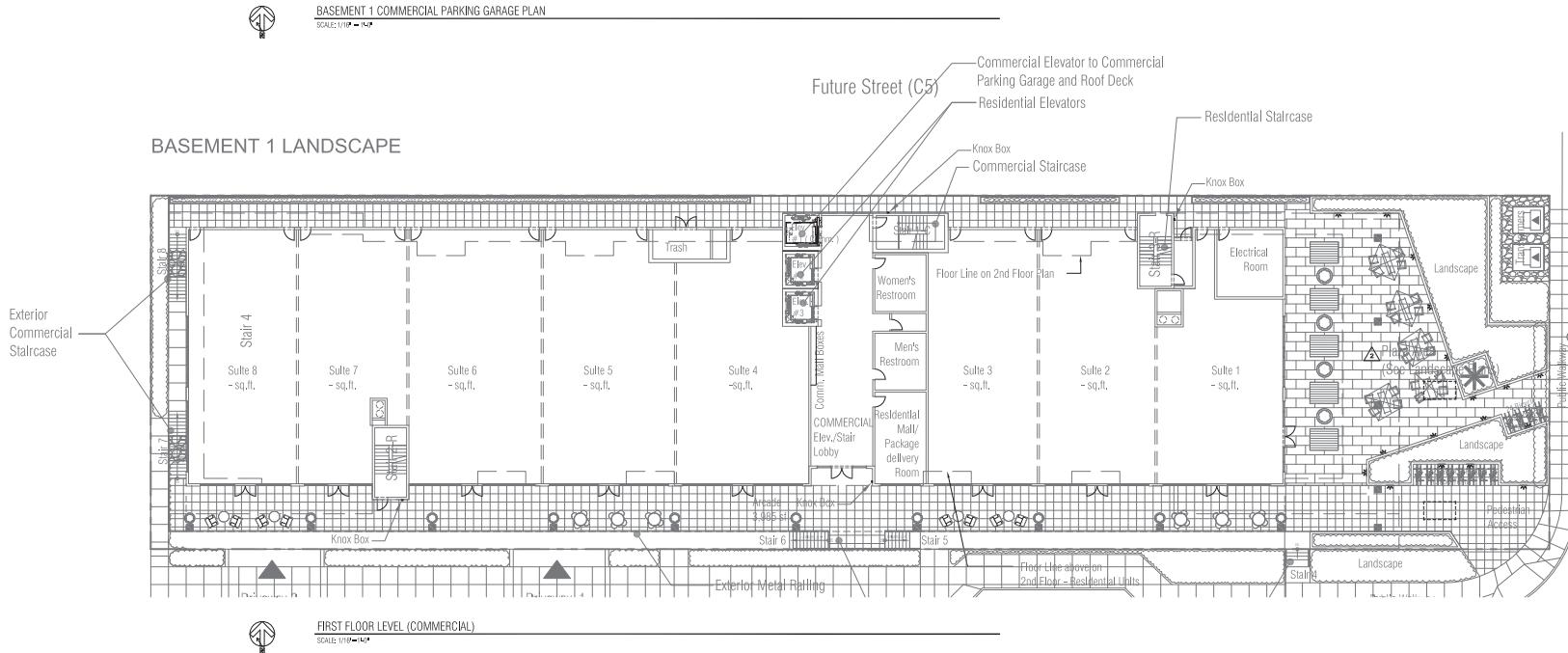
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BASEMENT 1 COMMERCIAL PARKING GARAGE PLAN

SCALE: 1/100

BASEMENT 1 LANDSCAPE



FIRST FLOOR LEVEL (COMMERCIAL)

SCALE: 1/100

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No.	Description	Date
0	INITIAL SUBMITTAL	03/07/24
1	RESPONSE TO PLANNING COMMENTS	07/01/24
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Initial Submittal Date: 03/07/24

Scale: AS NOTED

Drawn By: RK

Checked By: KBA

Sheet Title: Car Turning Radius

First Flr. & Basement

Sheet No.:

A1.1

File: P2Projects/Los Gatos Boulevard Villa Job: LGDV

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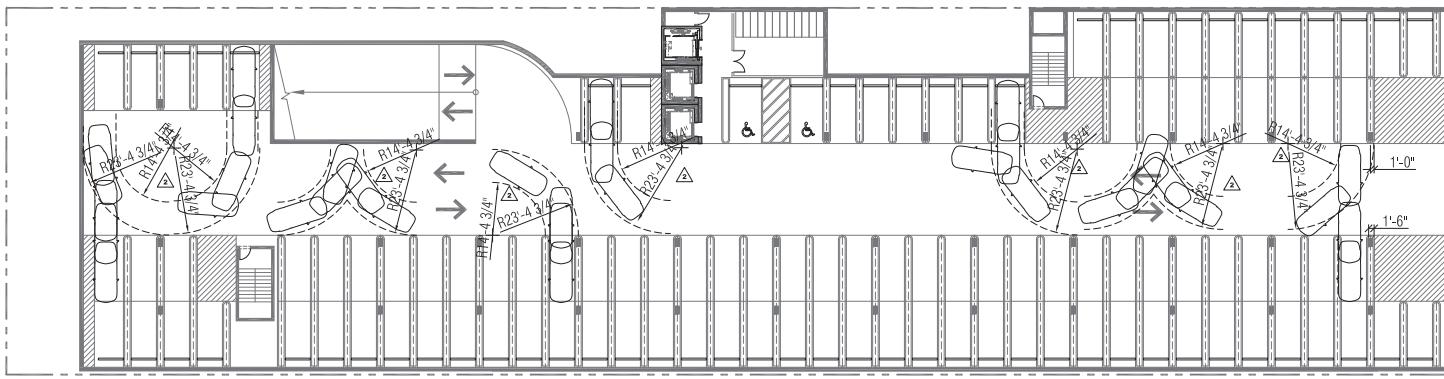
Client:
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Los Gatos, CA 95032

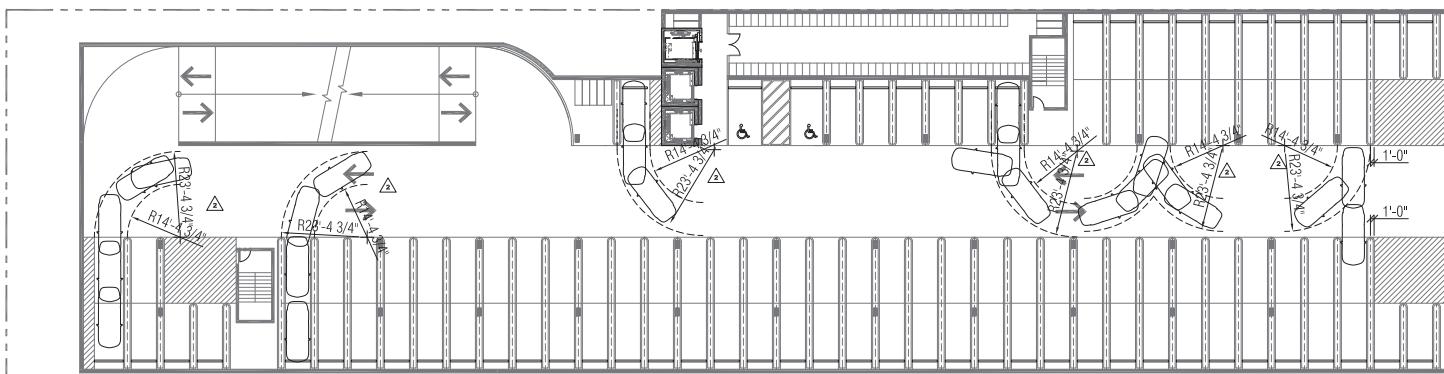
Project:
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BASEMENT 3 PARKING GARAGE PLAN (RESIDENTIAL)
SCALE: 1/100



BASEMENT 2 PARKING GARAGE PLAN (RESIDENTIAL)
SCALE: 1/100

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Scale: AS NOTED

Drawn By: RK

Checked By: KBA

Sheet Title:

**Car Turning
Radius
Basement 2 and 3**

Sheet No.:

A1.2

File: P:\Projects\Los Gatos Boulevard Villa\Job\LGHV

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Kurt B. Anderson, AIA
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Scale: 1" = 20'-0"

Drawn By: ML

Checked By: KBA

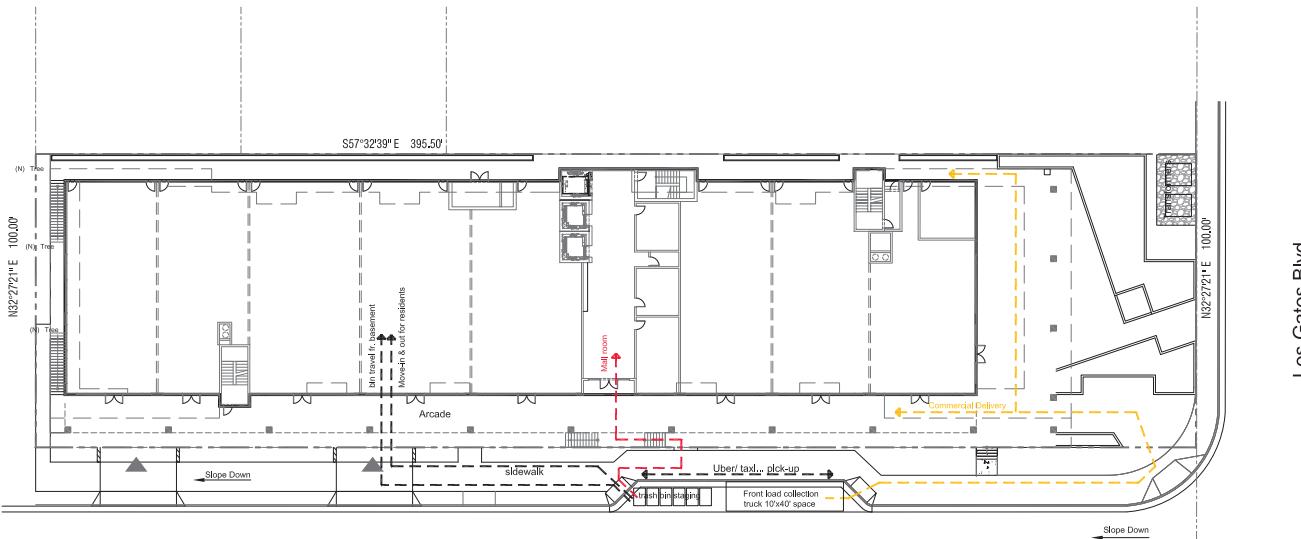
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Site Service Access

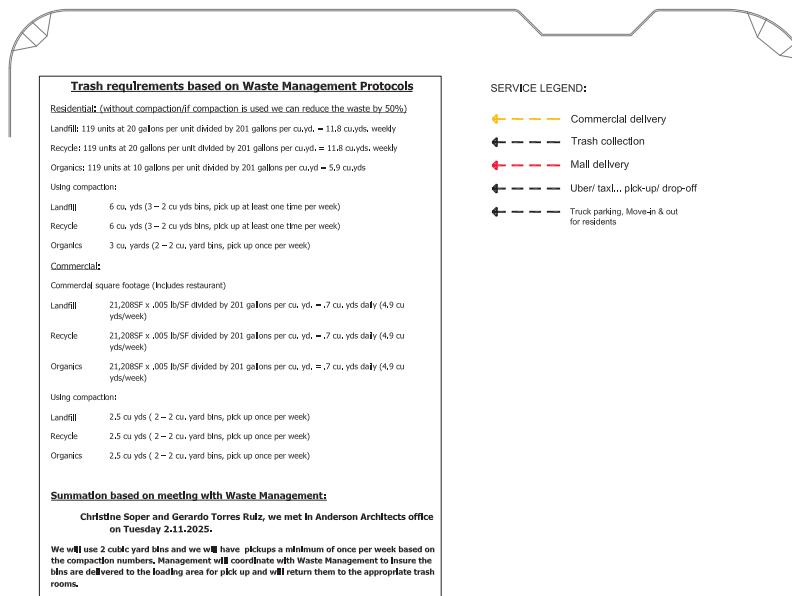
Sheet No.:

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File: P2Projects/Los Gatos Boulevard Villa Job: LGBV



Future North 40 Phase II



SERVICE LEGEND:

- Yellow dashed line: Commercial delivery
- Black dashed line: Trash collection
- Red dashed line: Mail delivery
- Black dashed line with arrow: Uber/ taxi... pick-up drop-off
- Black dashed line with arrow: Truck parking: Move-in & out for residents

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Initial Submittal Date: 03/07/24

Scale: AS NOTED

Drawn By: ML

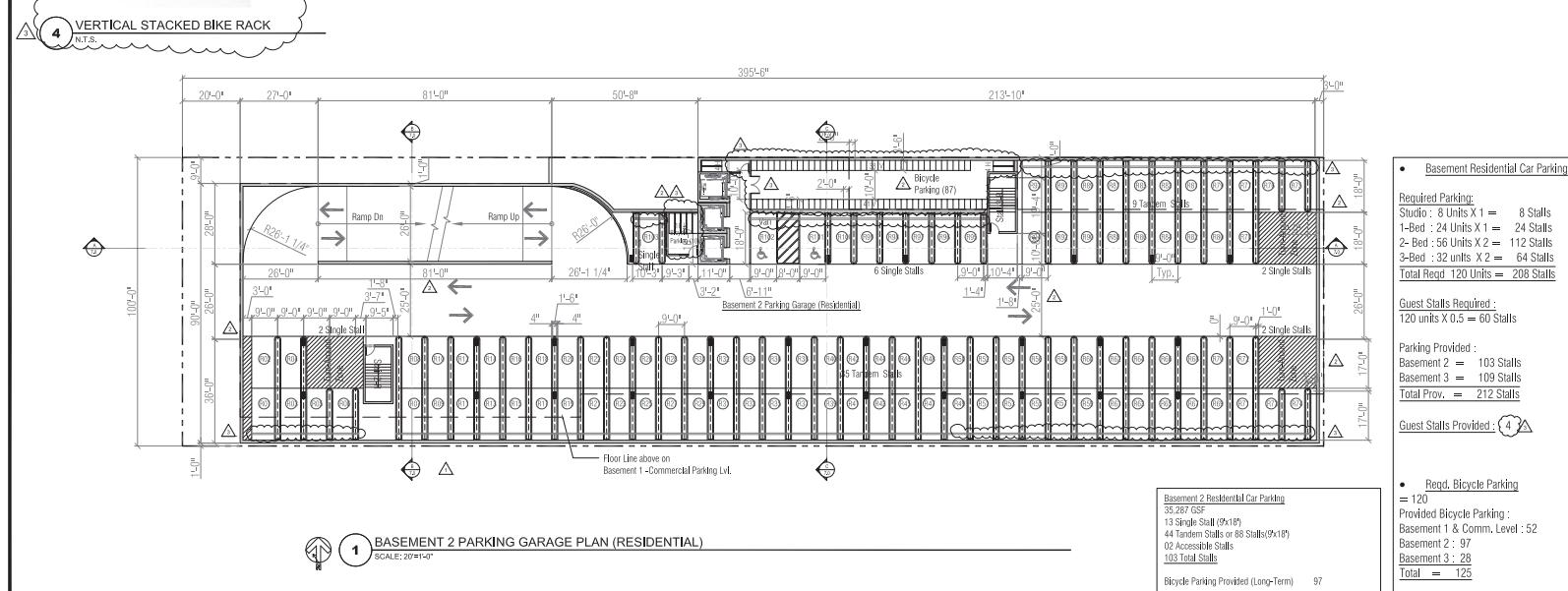
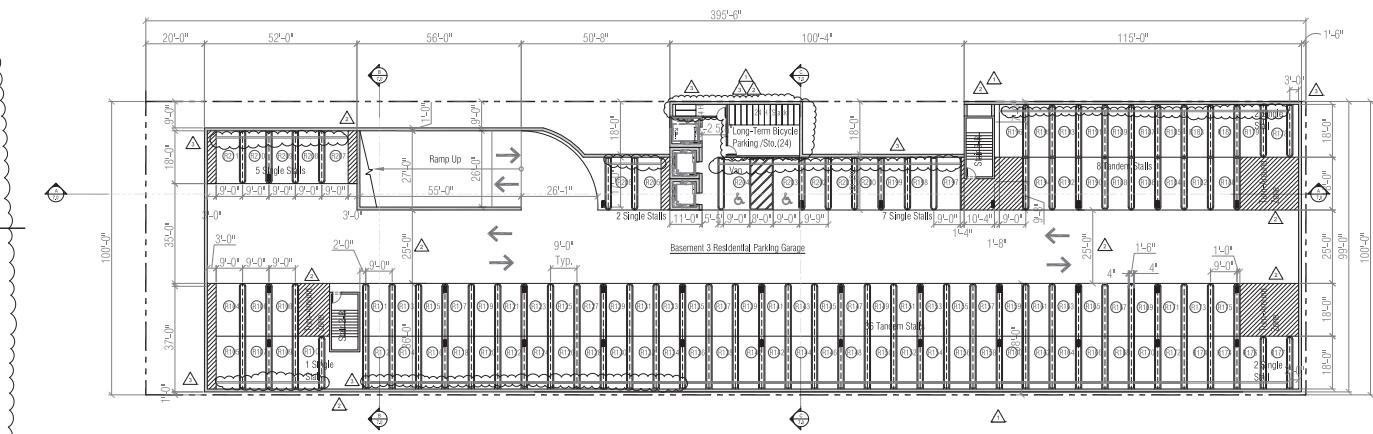
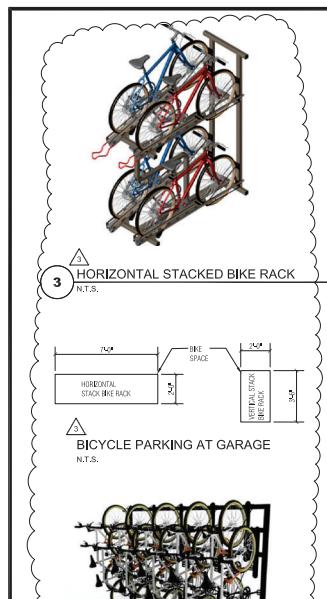
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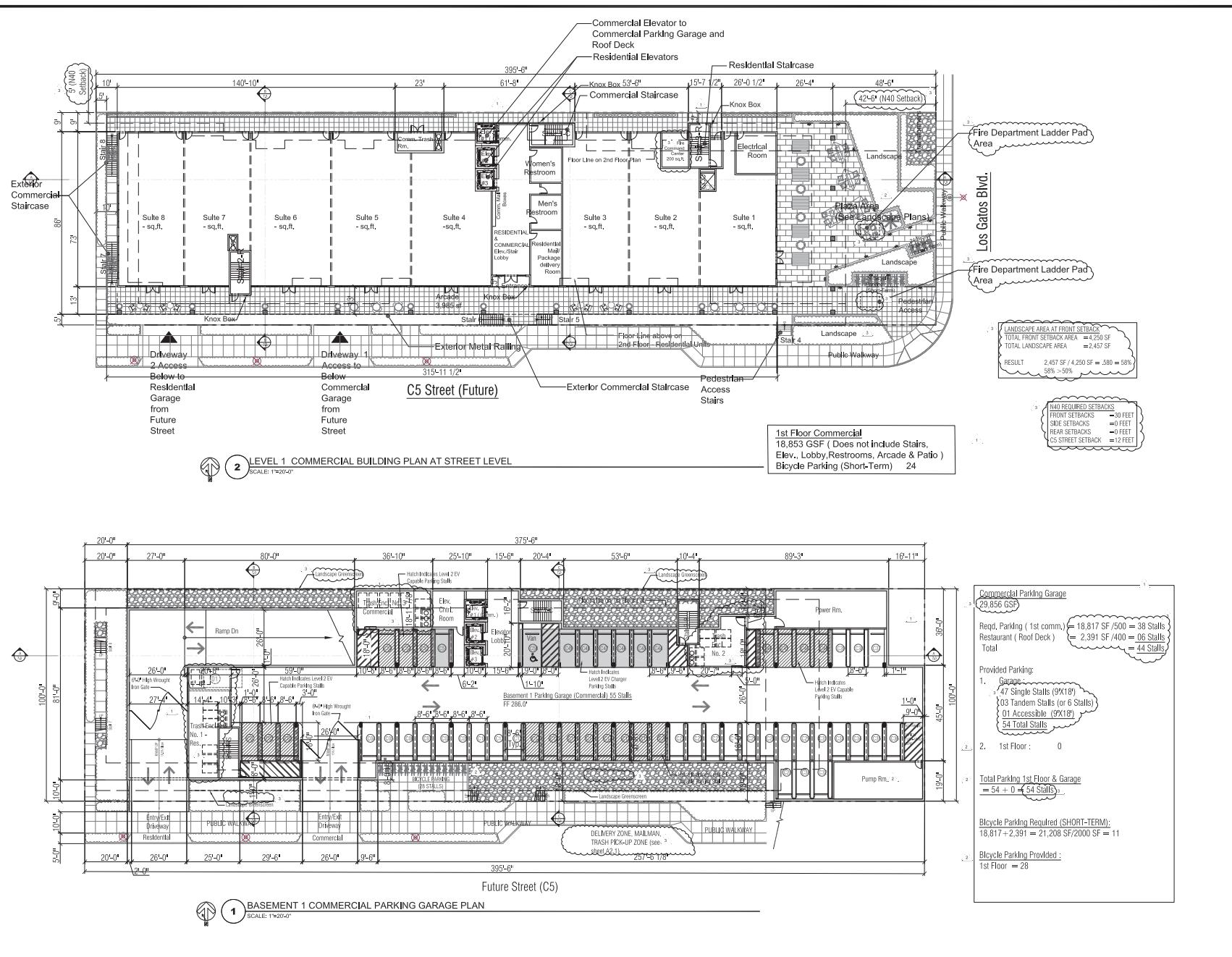
Sheet Title:

Floor Plans: Basement 2 & 3 Parking Garage

Sheet No.:

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Scale: AS NOTED

Drawn By: _____ ML/RK

Checked By: **KBA**

Sheet Title:

Floor Plans:

Basement 1 Comm.

Garage & Comm Plan

String in quantum field

A4.0

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Garage & Comm. Plan

Sheet No.:

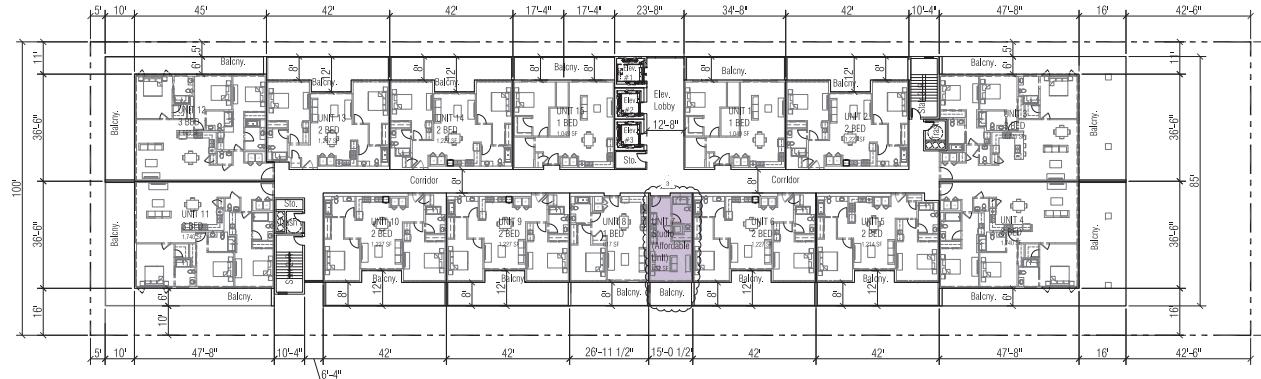
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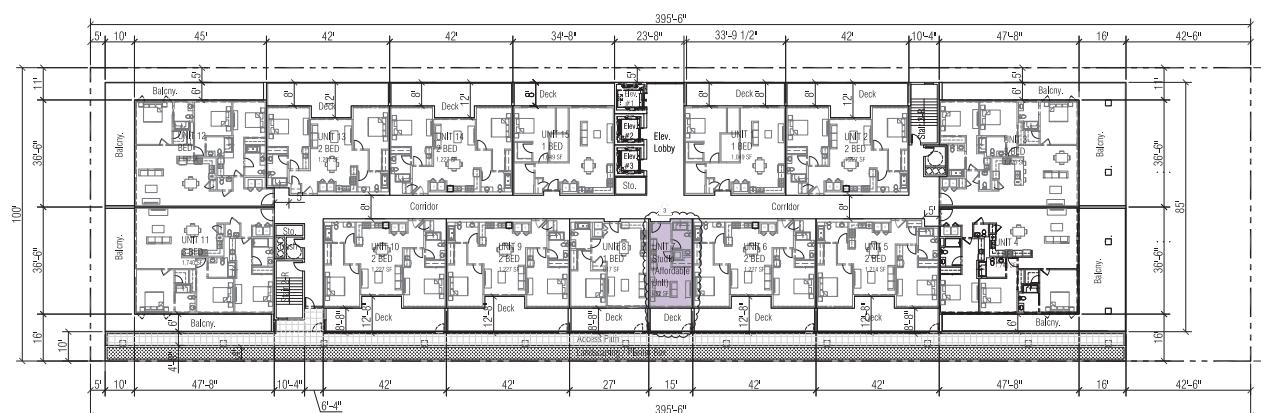
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RESIDENTIAL BUILDING PLAN AT LEVELS 3 THRU 9 (7 TOTAL FLOORS)

SCALE: 1'0" = 20'-0"



RESIDENTIAL BUILDING PLAN AT LEVEL 2

SCALE: 1'0" = 20'-0"

2nd thru 9th Floor Plan (15 Total Units)	
22,536 GSF (Does Not Include Balcony Area)	
6,902 SF - Balcony Area	
29,490 GSF - Overall Bldg. Footprint	
Unit Count	Avg. Sq.Ft.
3 Bed	4
2 Bed	7
1 Bed	3
Studio	1
Total	15
AFFORDABLE UNITS (LOW-INCOME)	
All Studio Units	

2nd Floor Plan (15 Total Units)	
22,531 GSF (Does Not Include Deck & Balcony Area)	
6,956 SF - Deck & Balcony Area	
32,800 GSF - Overall Bldg. Footprint	
Unit Count	Avg. Sq.Ft.
3 Bed	4
2 Bed	7
1 Bed	3
Studio	1
Total	15
AFFORDABLE UNITS (LOW-INCOME)	
All Studio Units	

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Initial Submittal Date:	
Scale:	
Drawn By:	
Checked By:	

Floor Plans:
Residential Building Plan
Levels 2 thru 9

Sheet No.:

A5.0

**Anderson
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 kanderson@andersonpc.com
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Initial Submittal Date: 03/07/24

Scale: AS NOTED

Drawn By: MLRK

Checked By: KBA

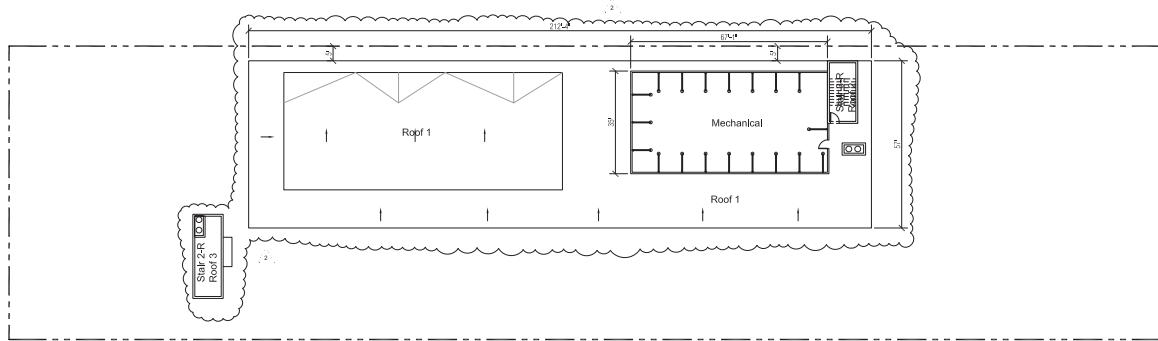
Sheet Title:

**Floor Plan:
Roof Terrace Level 10
& Rooftop Plan**

Sheet No.:

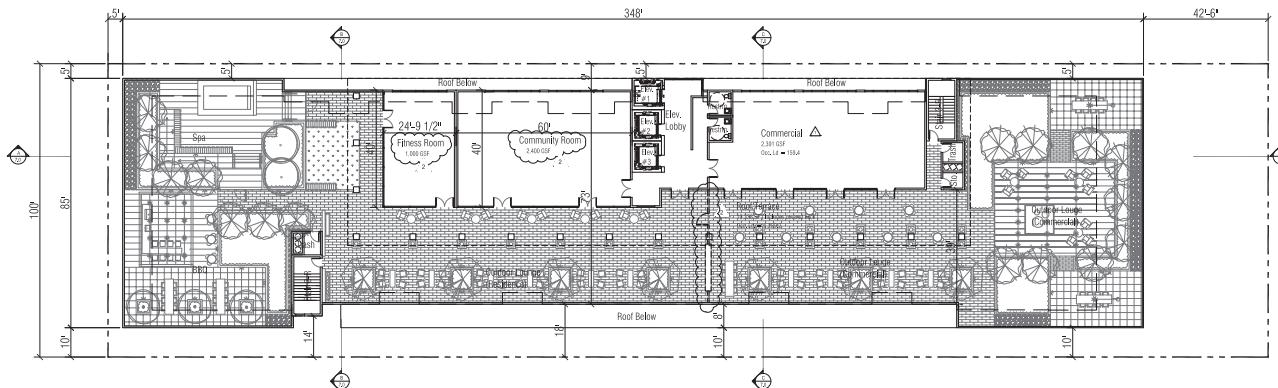
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Rooftop 2
 Area = 12,103 SF

2 ROOFTOP FLOOR PLAN
 SCALE: 1=20'-0"

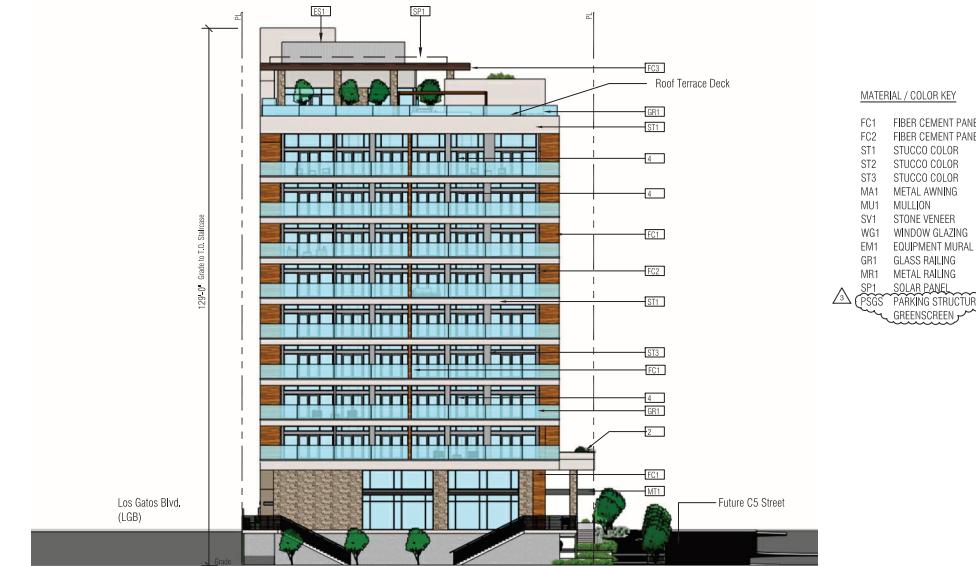


Roof Level:
 Lobby, Elev., Stairs, Restroom, Trashm., Community, Fitness, Elevator, Staircases 7,693 SF
 Common Open Space 14,181 SF
 Overall Blk. Sf. 29,469 SF

1 ROOF TERRACE FLOOR PLAN
 SCALE: 1=20'-0"



3 REAR ELEVATION FACING NORTHEAST
N.T.S.



4 LEFT ELEVATION FACING NORTHWEST
N.T.S.

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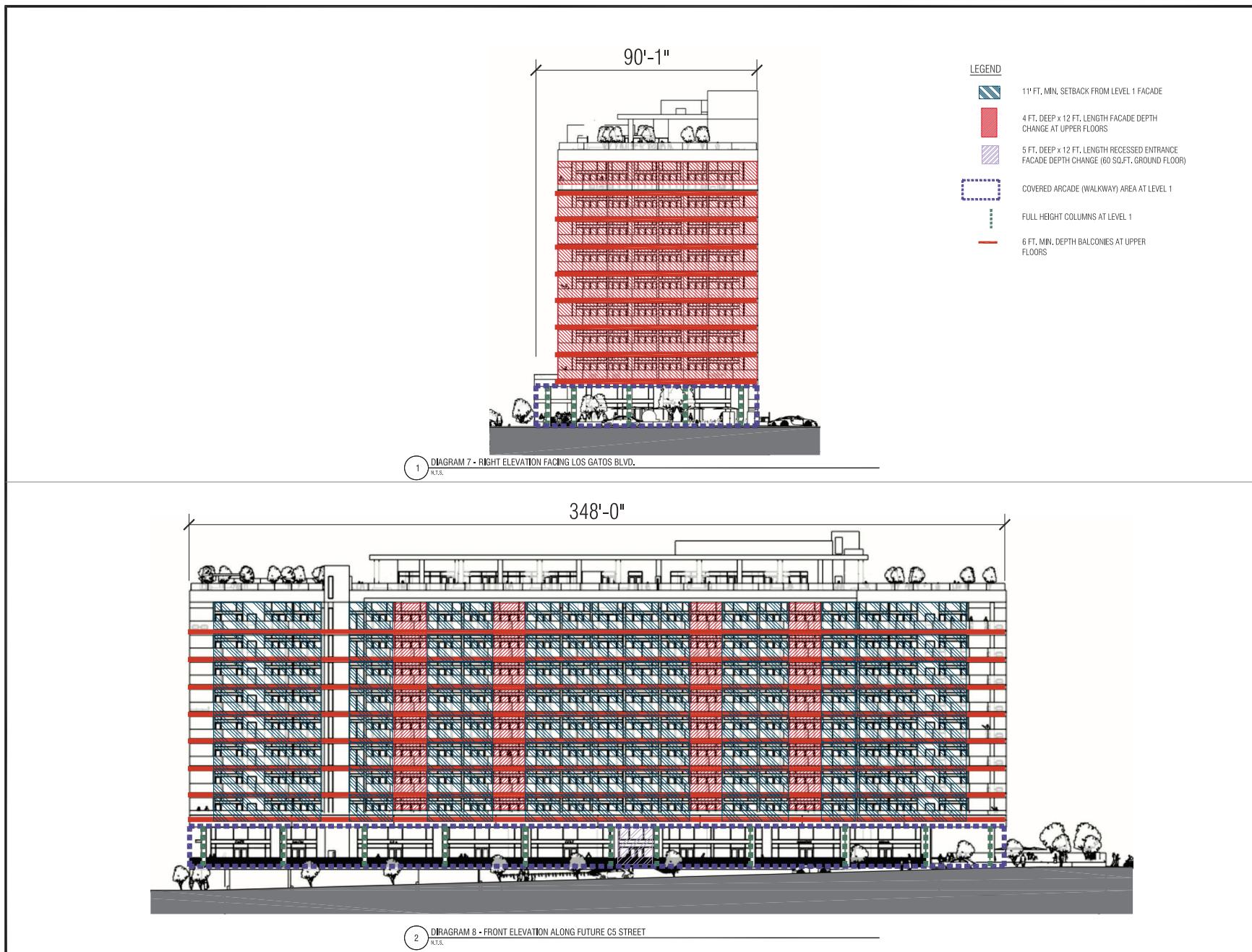
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Checked By: KBA

Sheet Title: Exterior Elevation: Northwest & Northeast

Sheet No.: A7.1

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Drawn By: ML

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Sheet Title:

Facade Design & Articulation Diagrams-Elevations

Sheet No.:

A7.1.A

Page 3
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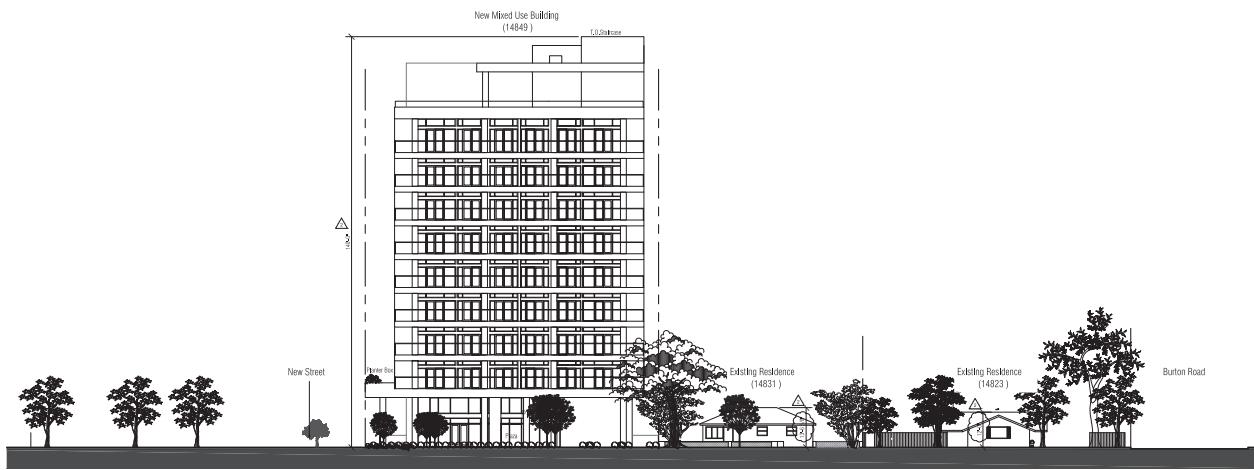
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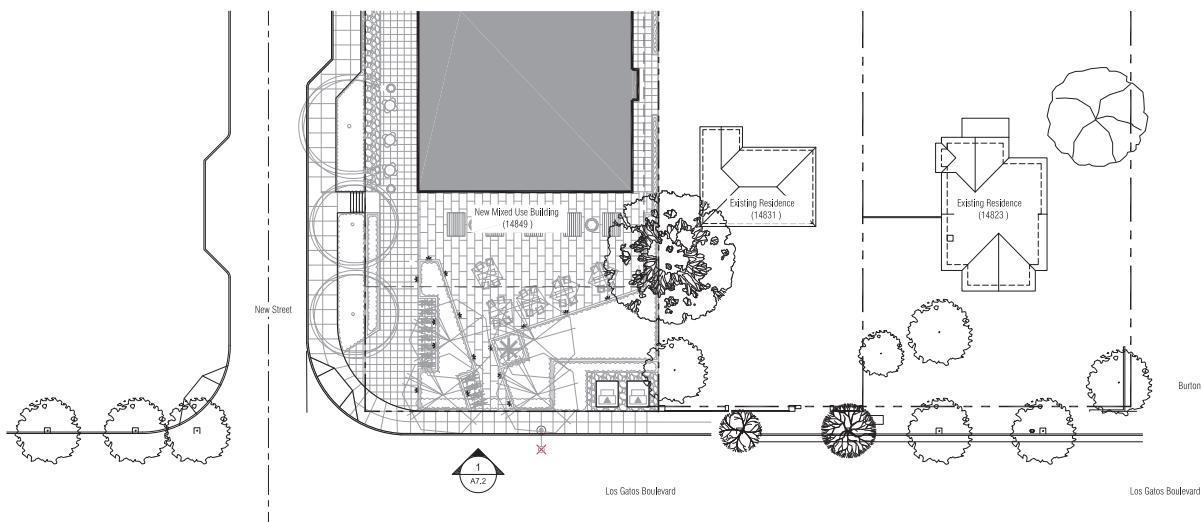
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ELEVATION 1 - LOS GATOS BOULEVARD STREET VIEW
SCALE: 1=20'-0"



PARTIAL SITE PLAN
SCALE: 1=20'-0"

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Scale: AS NOTED

Drawn By: RK

Checked By: KBA

Sheet Title:

Streetscape Elevation

Sheet No.: A7.2

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1 | LOS GATOS BLVD. AND FUTURE C5 STREET VIEW



2 | FUTURE C5 STREET VIEW



3 | REAR VIEW ALONG FUTURE STREET



4 | REAR VIEW ALONG LOS GATOS BLVD.

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Drawn By: ML

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Sheet Title: Facade

Renderings

Sheet No.:

A7.3

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1 | AERIAL VIEW



2 | COMMERCIAL VIEW ALONG FUTURE C5 STREET



3 | STREET VIEW OF COMMERCIAL/RETAIL ALONG LOS GATOS BLVD.



4 | RESIDENTIAL & COMMERCIAL ENTRY VIEW

A n d e r s o n
A r c h i t e c t s I n c.
kanderson@andersoninc.com
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SCENE AS NOTED

Drawn By: _____ ML _____

Checked By: **KBA**

Sheet Title:

Facade

Renderings

Renderings

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A7.4

File: P:/Projects/Los Gatos Boulevard Villas Job/LGBV



FC3
FIBER CEMENT PANEL



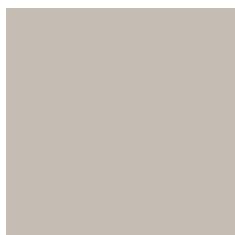
FC2
FIBER CEMENT PANEL



FC1
FIBER CEMENT PANEL



ST3
STUCCO



ST2
STUCCO



ST1
STUCCO



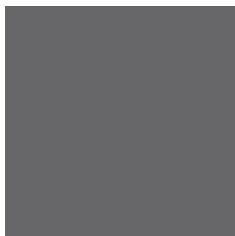
WG1
WINDOW GLAZING



SV1
STONE VENEER



MT1
METAL TRELLIS



MU1
MULLION



MA1
METAL AWNING



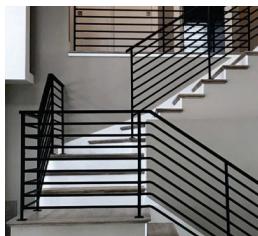
PSGS
PARKING STRUCTURE GREENSCREEN SYSTEM



SP1
SOLAR PANELS



ES1
EQUIPMENT SCREEN



MR1
METAL RAILING



GR1
GLASS RAILING

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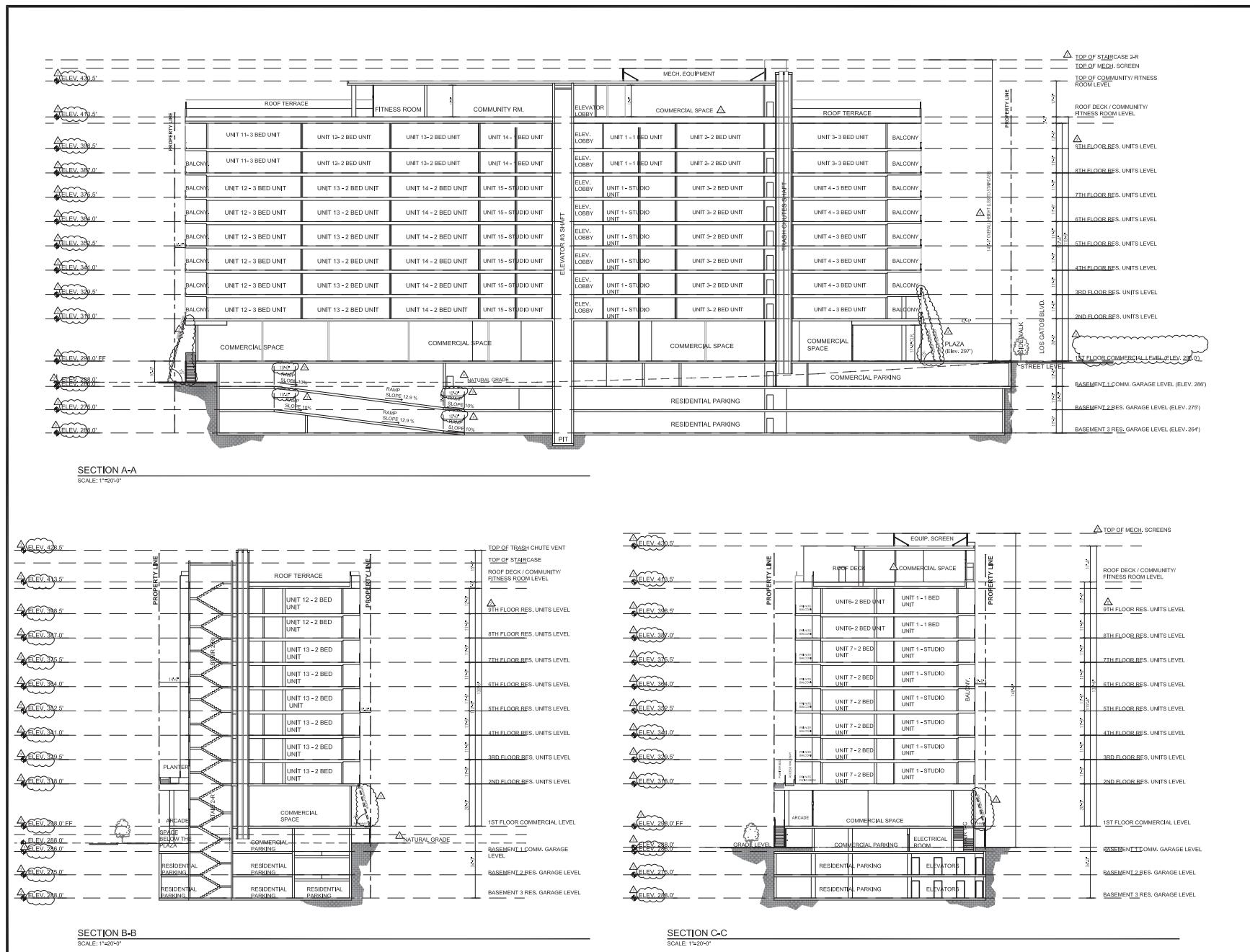
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Sheet Title: Building Colors & Materials

Sheet No.: A7.5

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Sheet Title:

Sections

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A8.0

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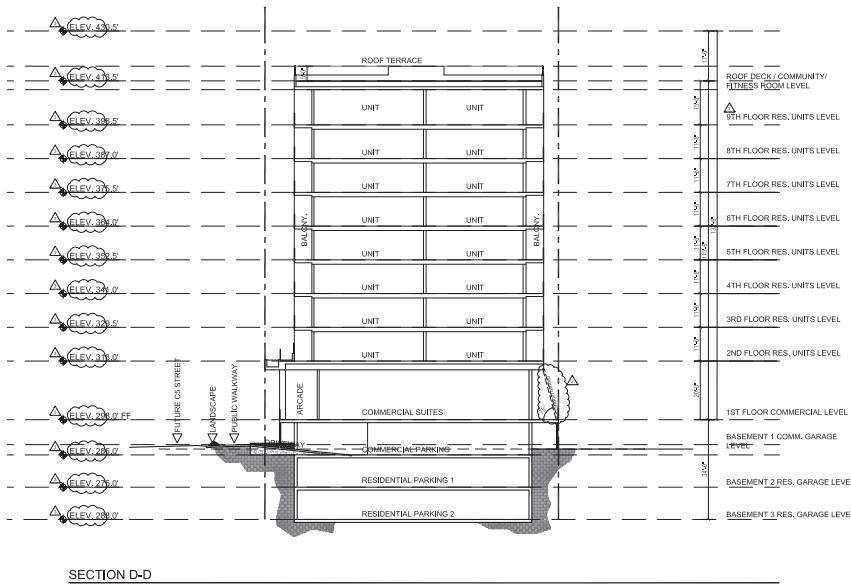
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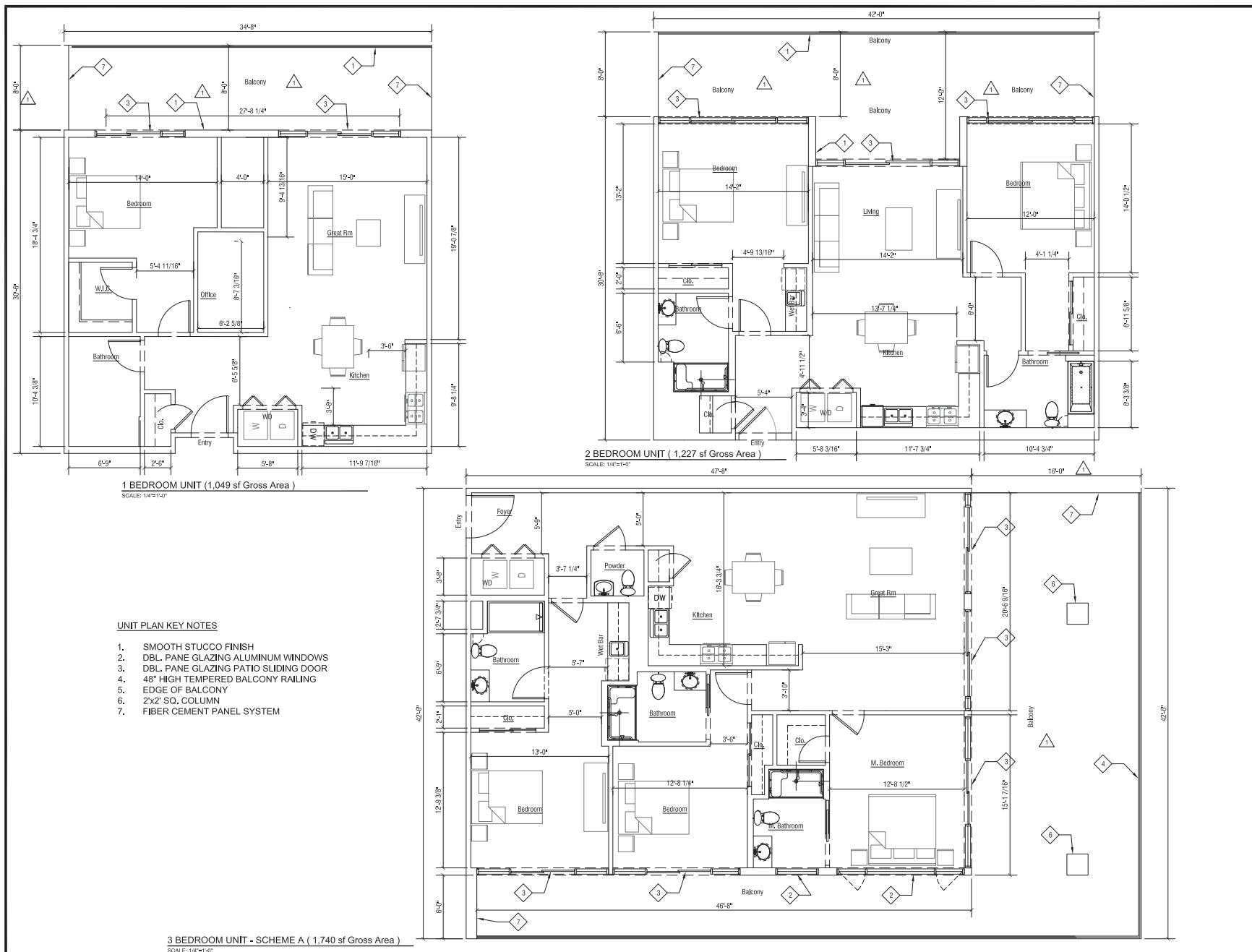
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Drawn By: ML

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Sheet Title:

**Enlarged Unit Plans:
1, 2, 3
Bedrooms**

Sheet No.:

A9.0
File: P2Projects/Los Gatos Boulevard Villa Job: LGHV

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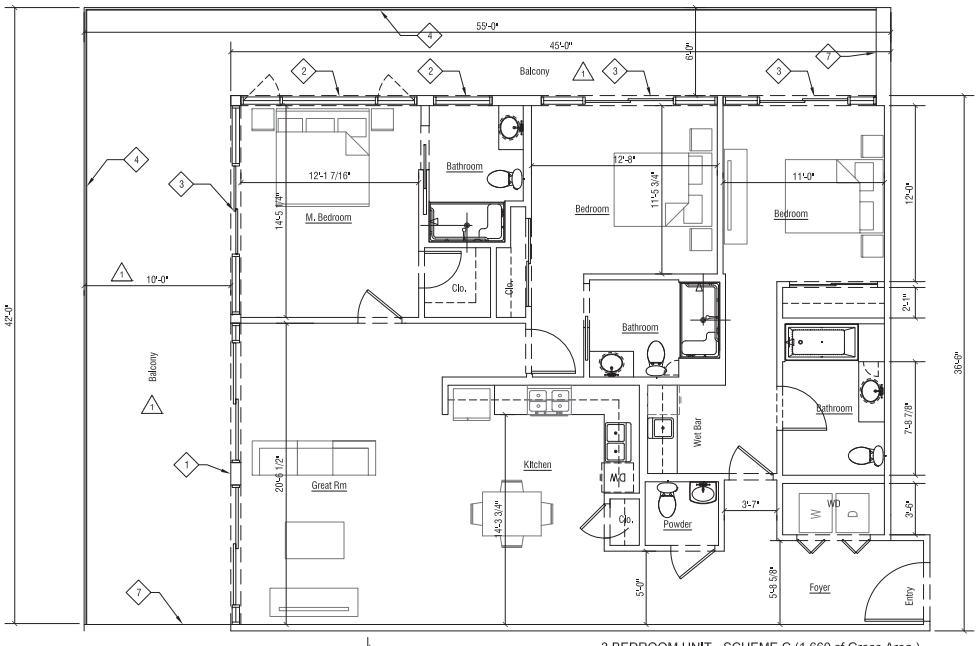
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**Enlarged Unit Plans:
3 Bedrooms**

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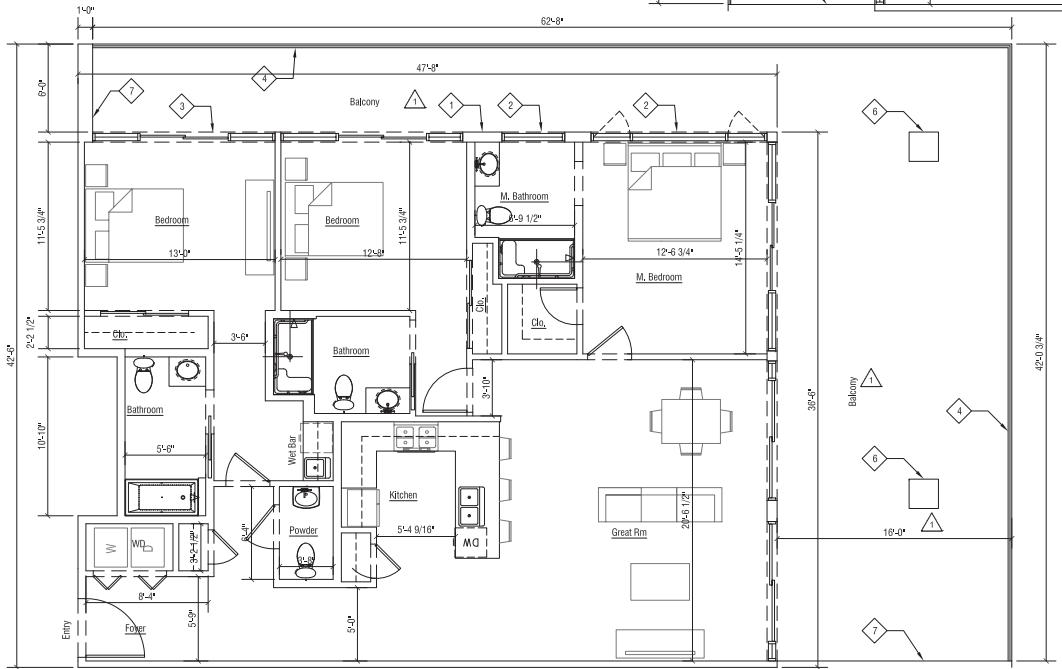
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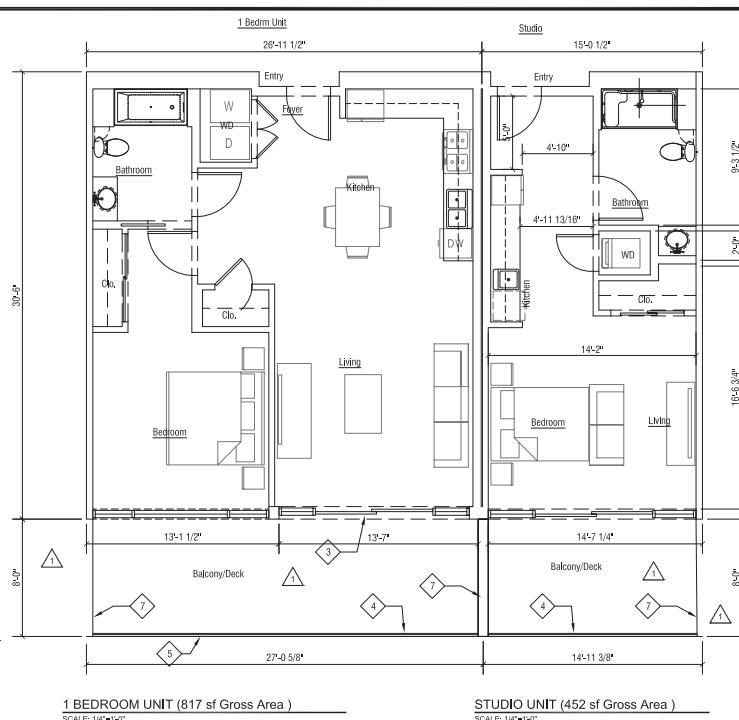
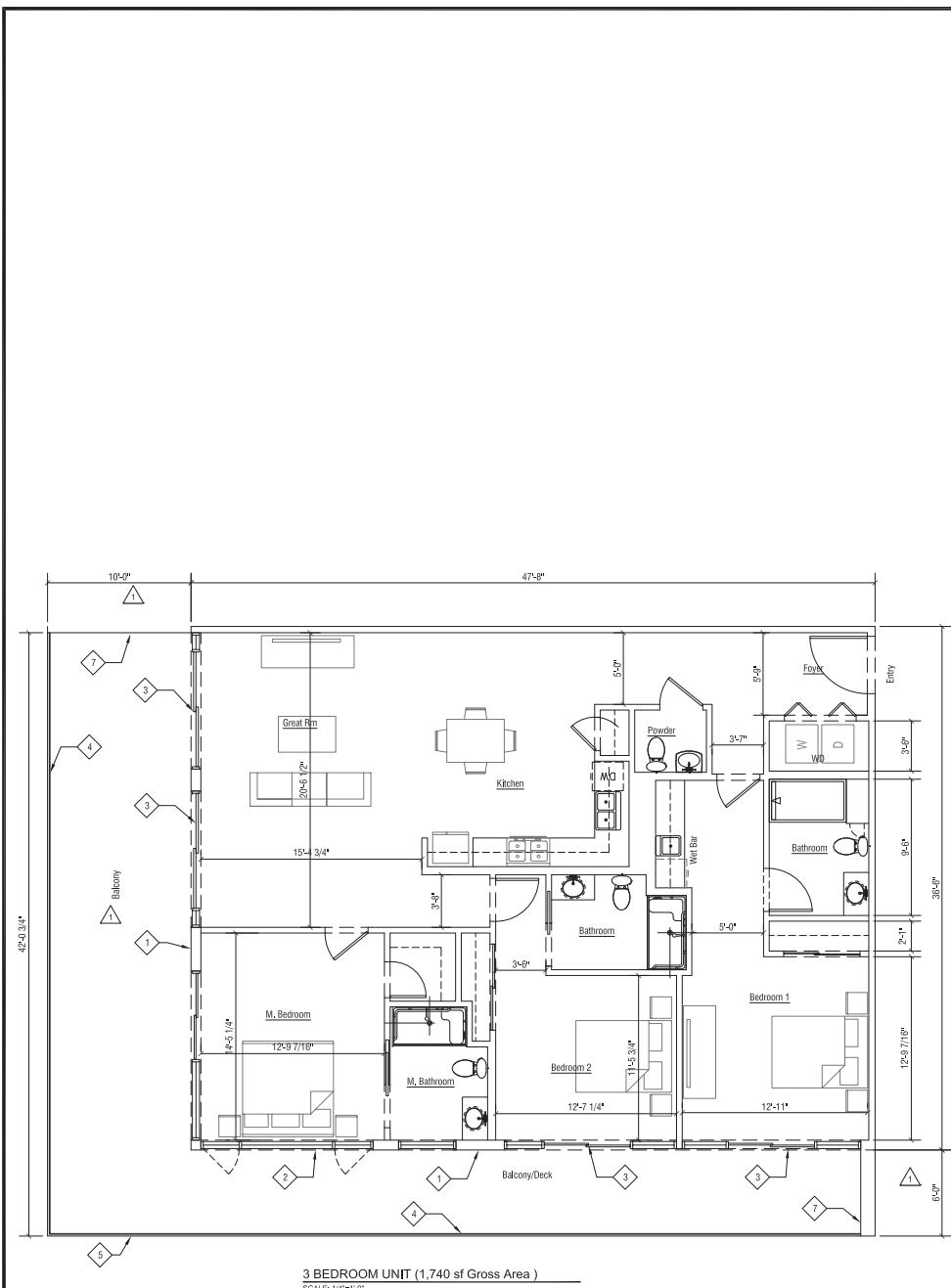
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UNIT PLAN KEY NOTES

1. SMOOTH STUCCO FINISH
2. DBL. PANE GLAZING ALUMINUM WINDOWS
3. DBL. PANE GLAZING PATIO SLIDING DOOR
4. 48"-HIGH TEMPERED BALCONY RAILING
5. 8' DEPTH OF BALCONY
6. 2x2" SQ. COLUMN
7. FIBER CEMENT PANEL SYSTEM





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Sheet Title:

Enlarged Unit Plans:
1 Bedrm & Studio
& 3 Bedroom Unit

Sheet No.:

A9.2

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Site Photos

Sheet No.:

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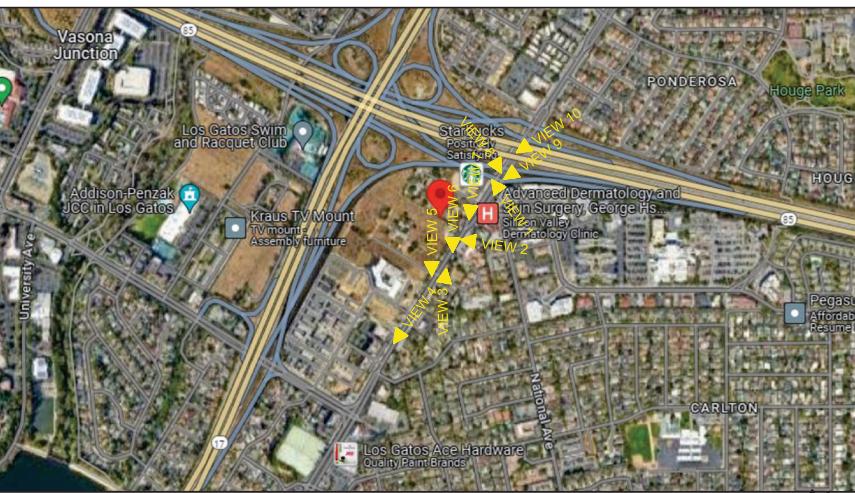
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VIEW 4 - LOOKING FURTHER DOWN THE ROAD ON LOS GATOS BLVD.



VIEW 5 - LOS GATOS BLVD. ACROSS FROM THE SITE



VIEW 9 - LOOKING DOWN AT THE SITE FROM THE INTERSECTION OF LOS GATOS BLVD. AND SAMARITAN DRIVE



VIEW 6 - LOOKING DOWN LOS GATOS BLVD. FROM ACROSS THE SITE



VIEW 7 - LOOKING DOWN LOS GATOS BLVD. TOWARDS SAMARITAN DRIVE



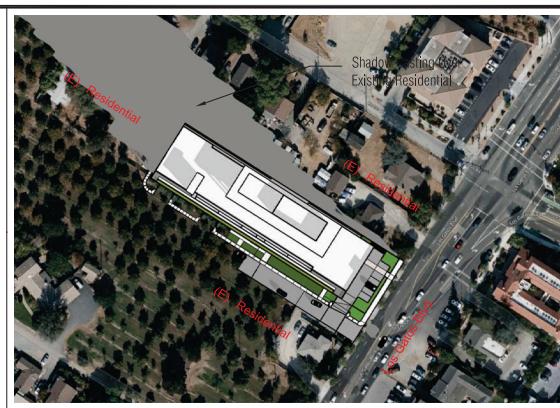
VIEW 8 - ACROSS FROM THE SITE AT THE INTERSECTION OF LOS GATOS BLVD. AND SAMARITAN DRIVE



△ MARCH 21ST AT 9 AM



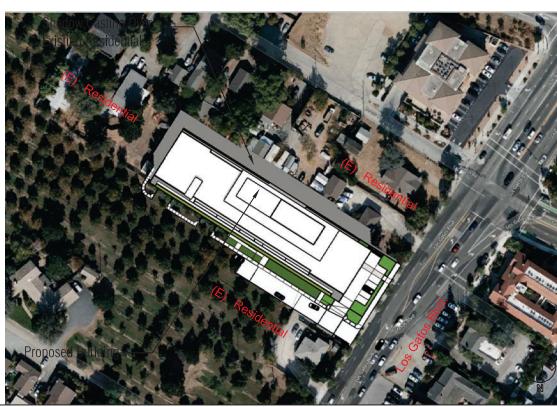
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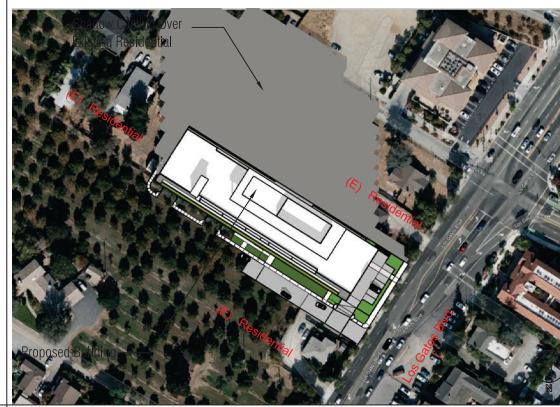
△ DECEMBER 21ST AT 9 AM



MARCH 21ST AT 12 PM



JUNE 21ST AT 12 PM



DECEMBER 21ST AT 12 PM



MARCH 21ST AT 3 PM



JUNE 21ST AT 3 PM



DECEMBER 21ST AT 3 PM

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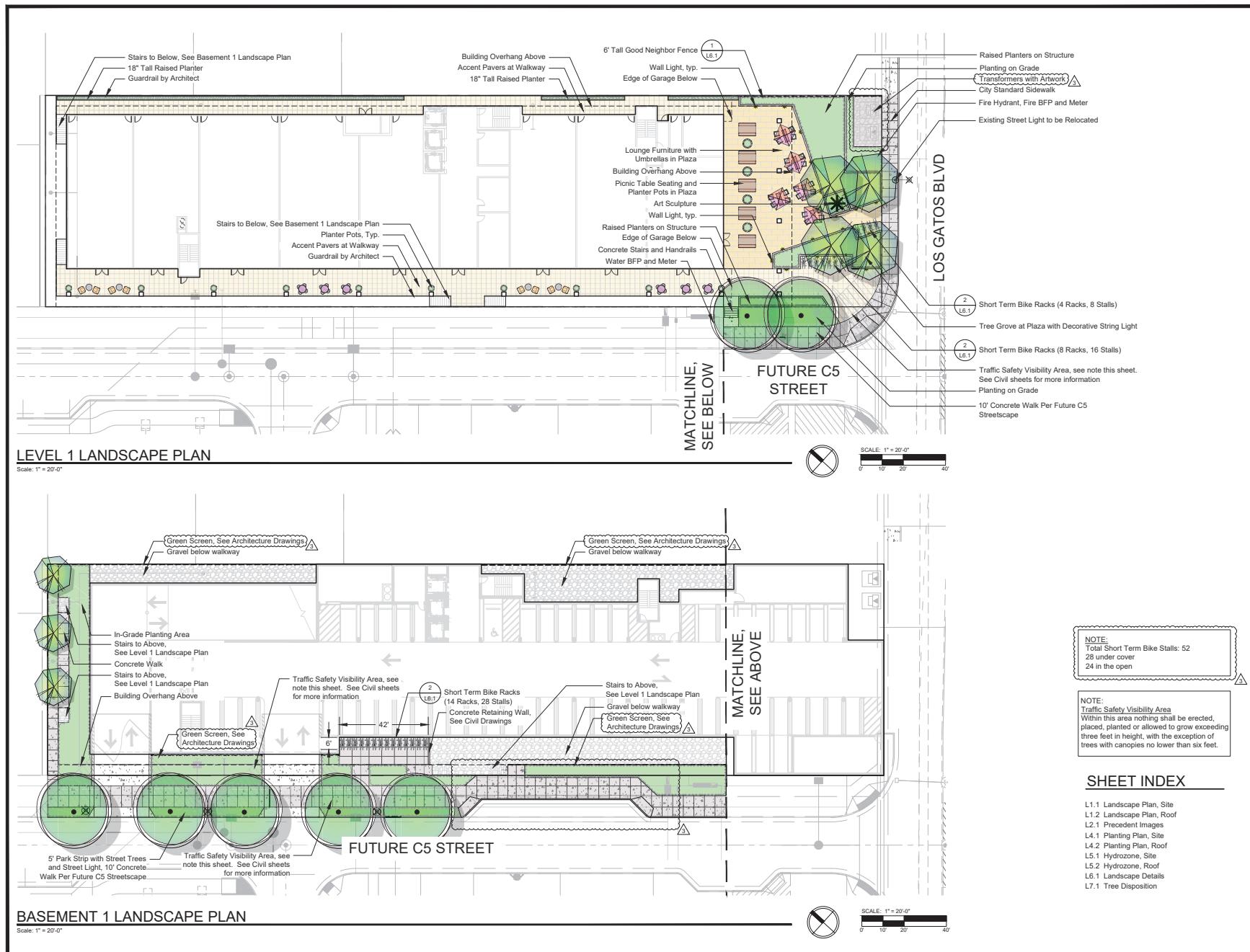
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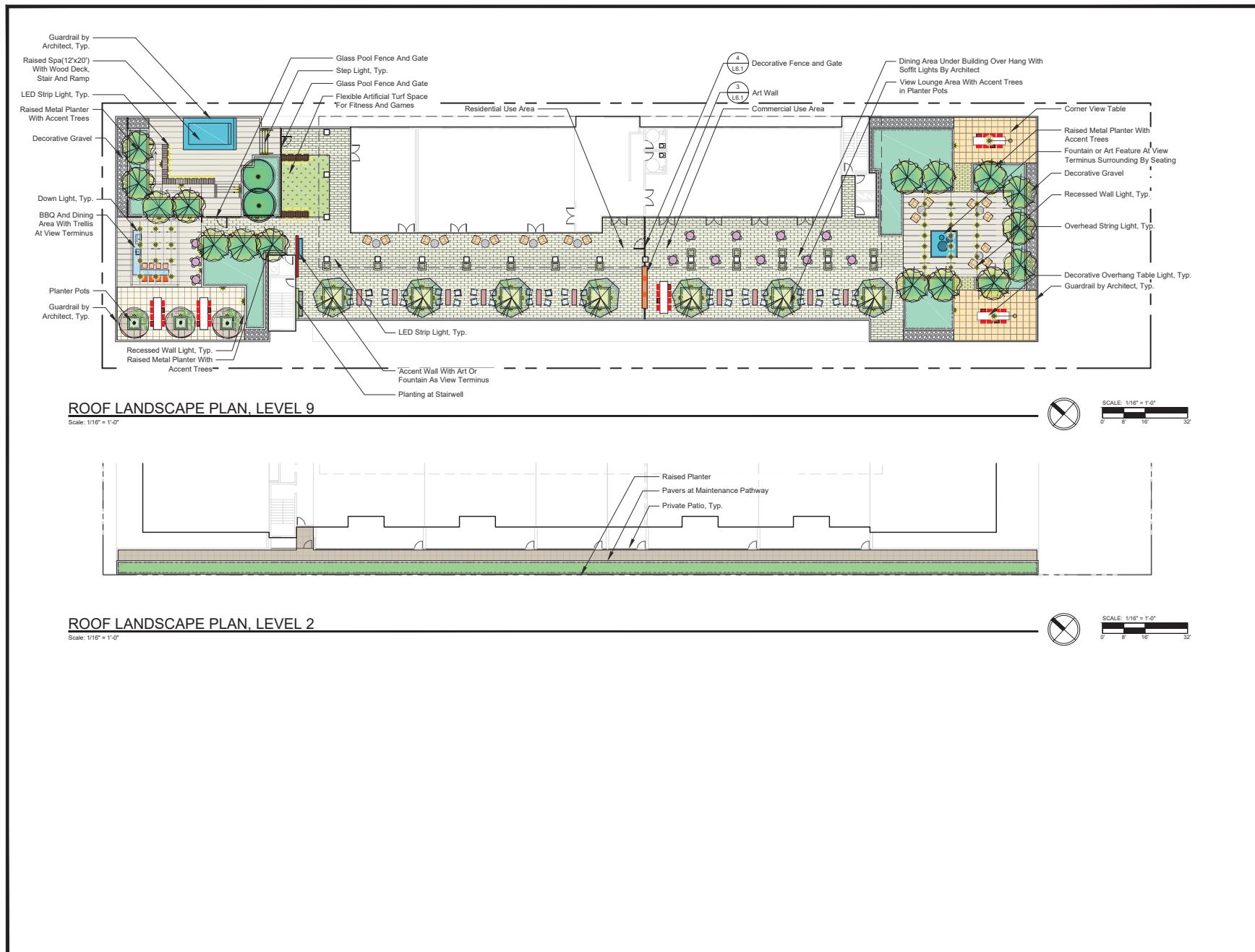
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SITE PLAN	
Sheet No.: _____	

L1.1
File: _____ Job: _____

SHEET INDEX

- L1.1 Landscape Plan, Site
- L1.2 Landscape Plan, Roof
- L2.1 Precedent Images
- L4.1 Planting Plan, Site
- L4.2 Planting Plan, Roof
- L5.1 Hydrozone, Site
- L5.2 Hydrozone, Roof
- L6.1 Landscape Details
- L7.1 Tree Disposition



Architectural Drawing
Architectural Landscape Plan

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ROOF PLAN

Sheet No.: L1.2

File: Job:

SITE IMAGES



Bike Rack



Recessed Wall Light

Accent Pavers



Planter Pot



Stormwater Treatment Planter



Transformer with Artwork

ROOF DECK IMAGES



Roof Deck Character

Raised Planters with Pedestal Pavers



Lounge Seating

BBQ Kitchen Counter with Trellis



Benches with LED Lights

Flexible Artificial Lawn

String Lights and Lounge



Raised Spa

Fountain Wall



Recessed Wall Lights

Accent Pedestal Pavers

PLANTING IMAGES



Acer palmatum 'Sango-kaku'



Malus floribunda parrisii



Juglans californica hindsii



Arctostaphylos 'Pacific Mist'



Prunus 'Kanzan'



Prunus cerasifera



Salvia clevelandii



Polystichum munitum



Lomandra 'Platinum Beauty'

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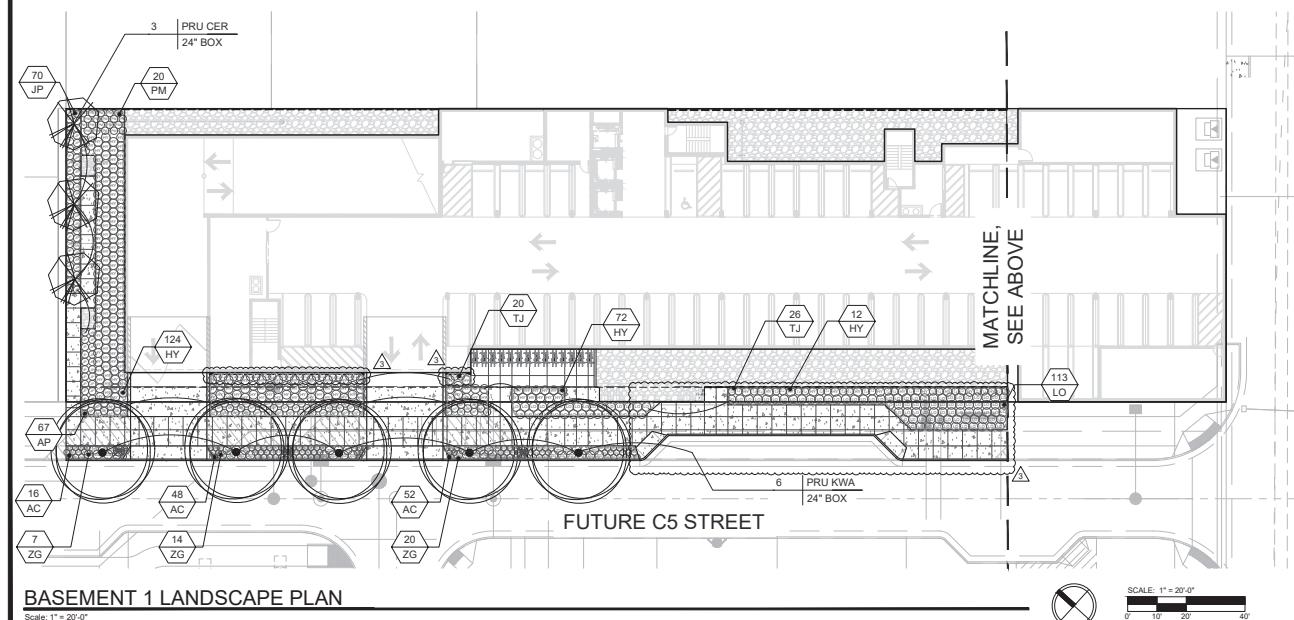
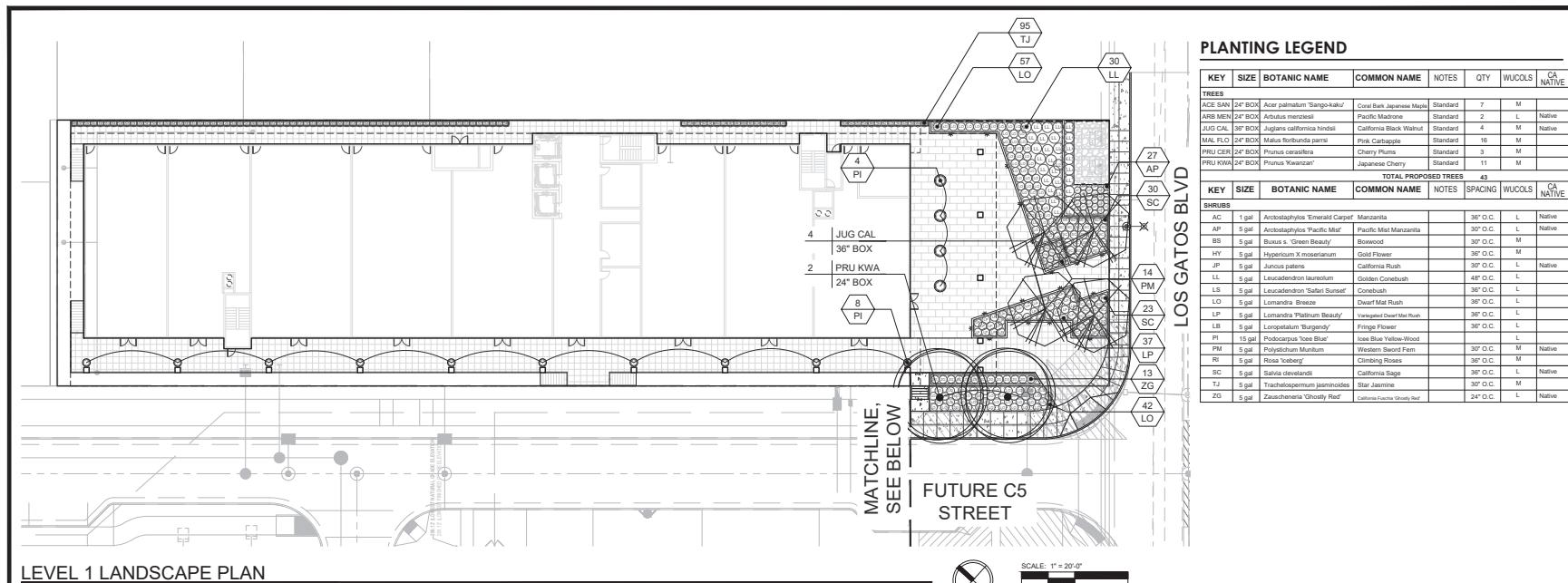
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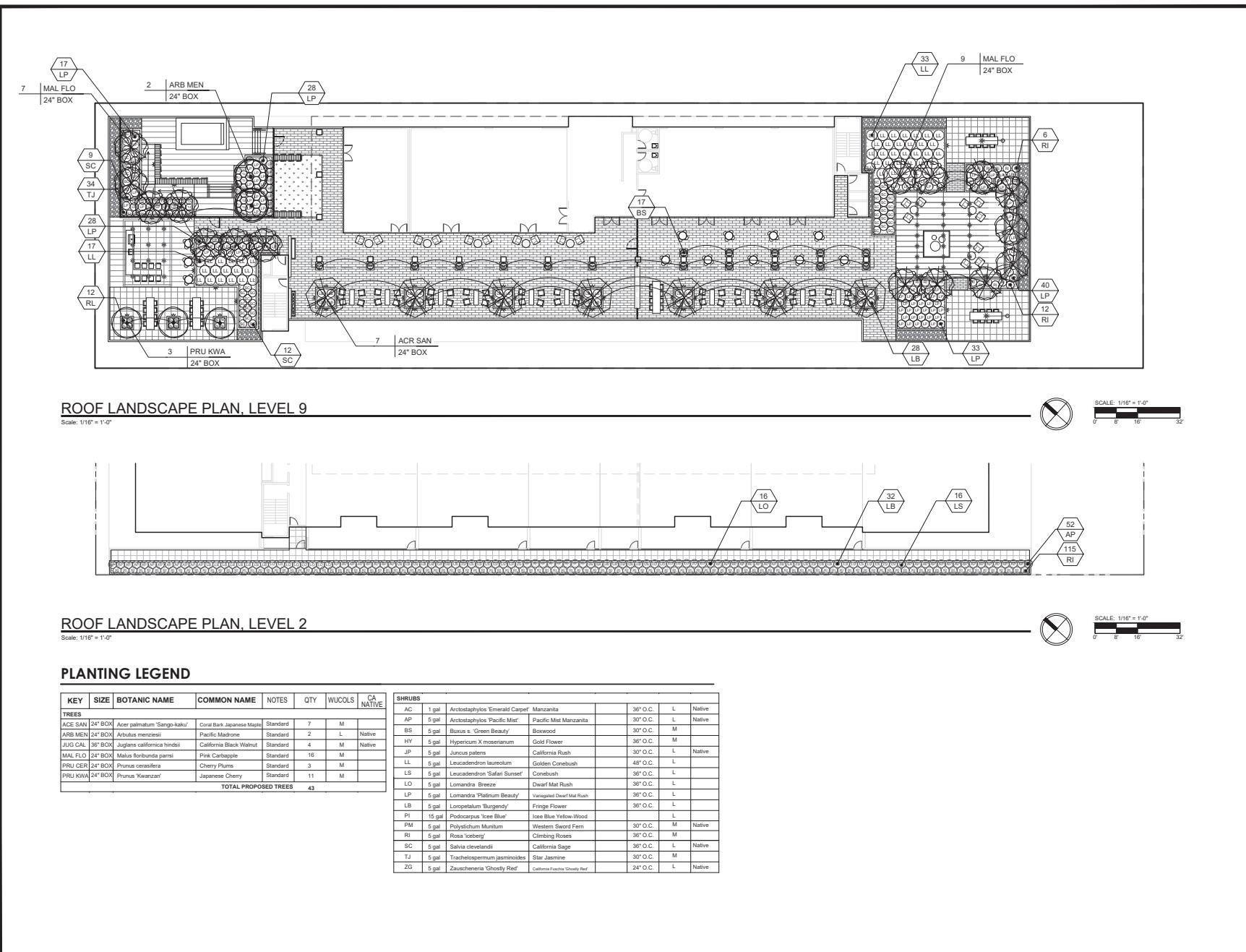
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PLANTING PLAN- ROOF

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L4.2

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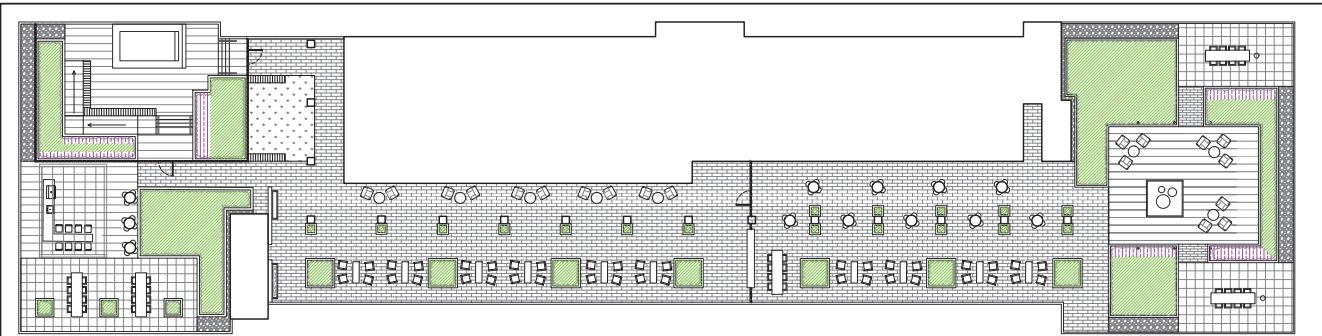
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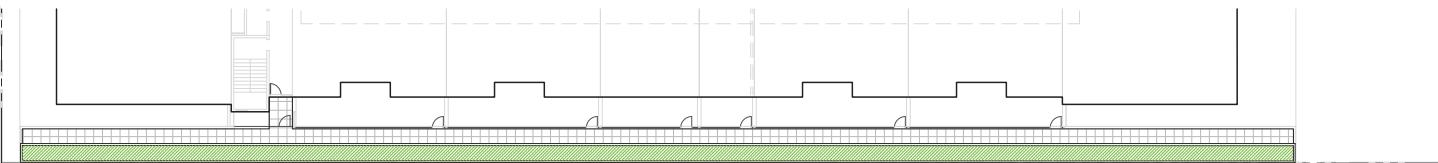
L5.2



ROOF LANDSCAPE PLAN, LEVEL 9

Scale: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"
0 8' 16' 32'



ROOF LANDSCAPE PLAN, LEVEL 2

Scale: 1/16" = 1'-0"

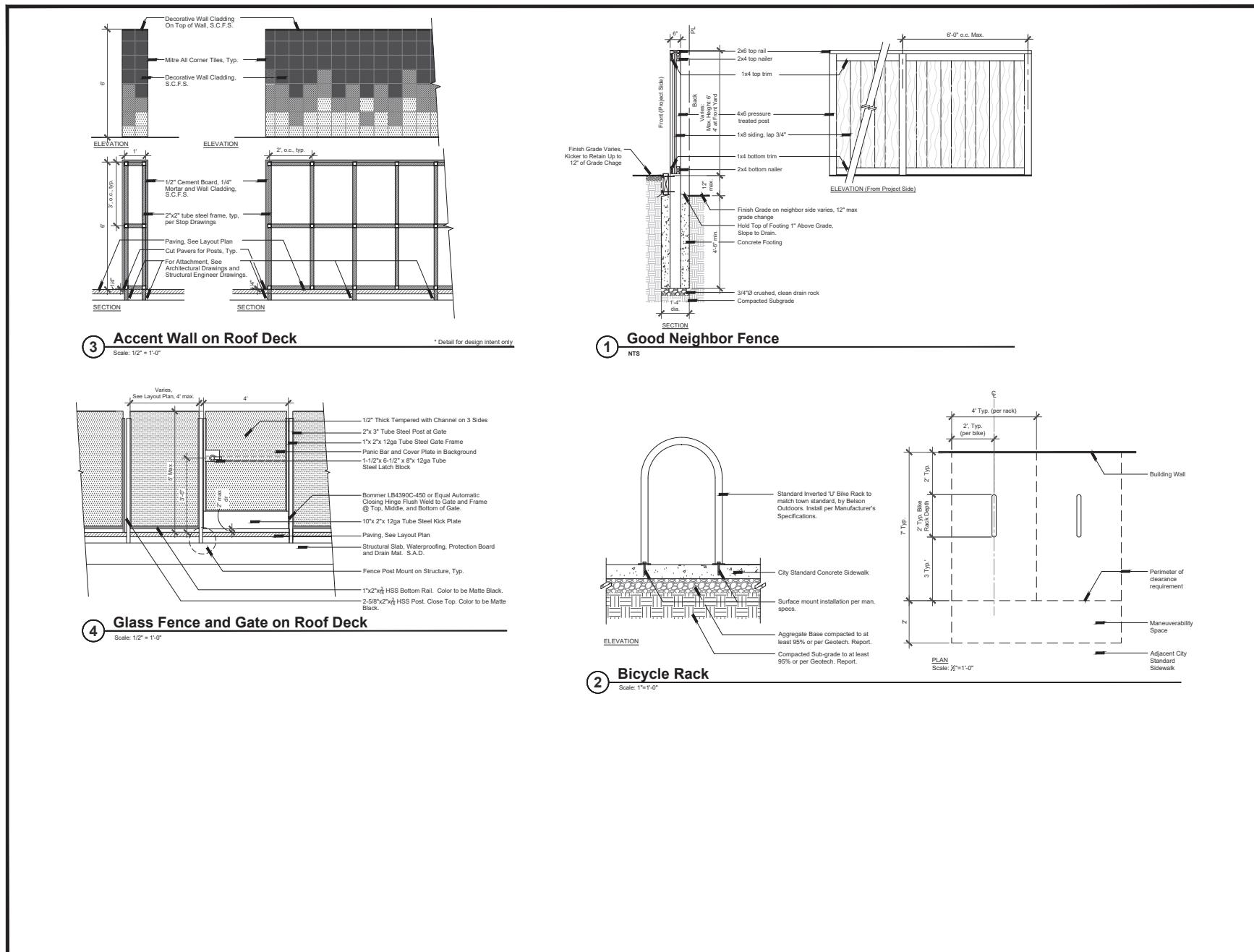
SCALE: 1/16" = 1'-0"
0 8' 16' 32'

WATER USE LEGEND - ROOFS

Key WUCOLS Category

	Low Water Use: 4,310 SF
	Medium Water Use: 339 SF
	High Water Use: 0 SF
	Special Landscape Area: 0 SF

Total Landscape Area: 4,649 SF



Architectural
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**THE
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Landscape Architects | Land Planners

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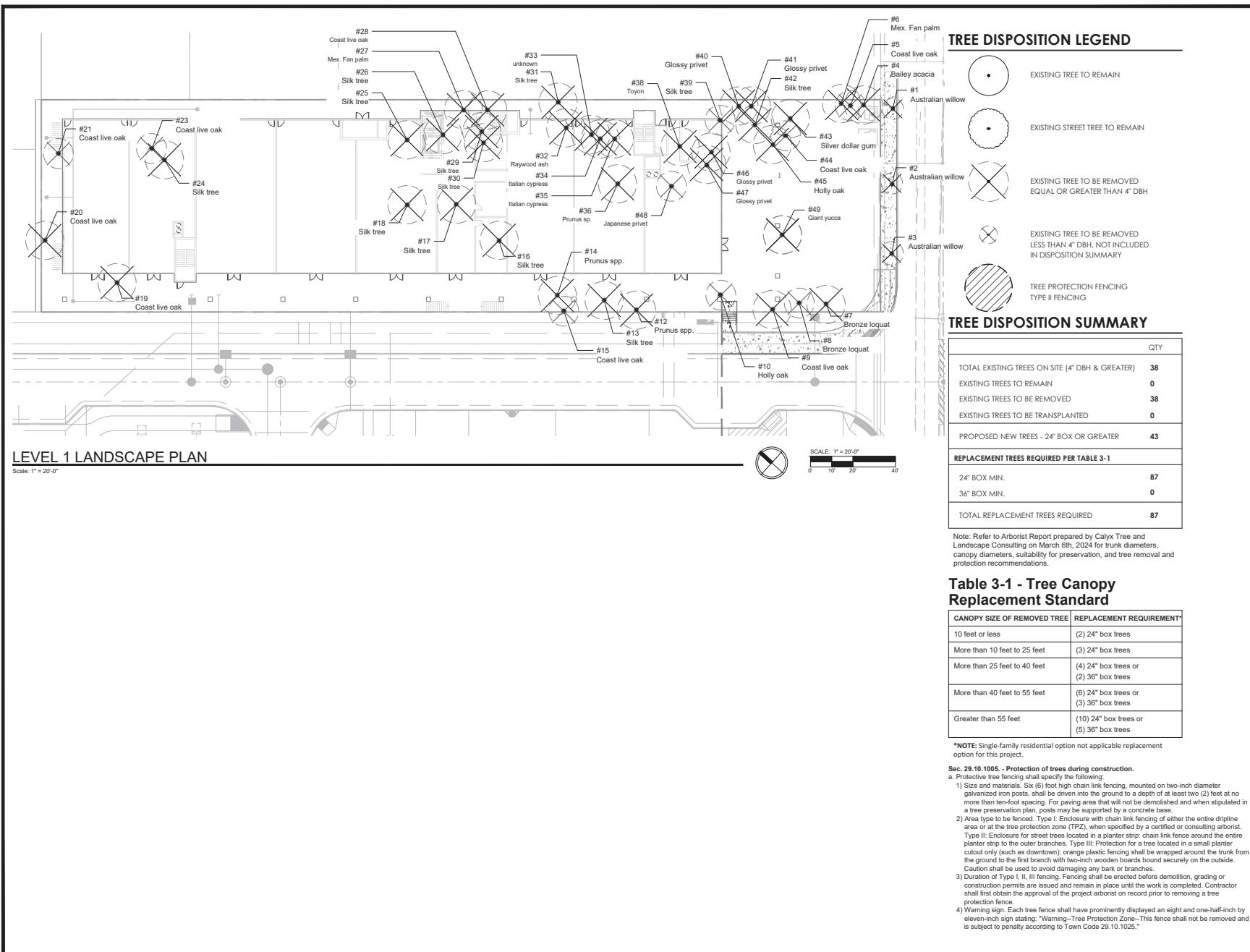
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LANDSCAPE DETAILS

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L6.1



Architectural Services
Architectural Services

kanderson@andersonchinc.com Cell: 408.202.5462 Kurt B. Anderson, AIA Principal
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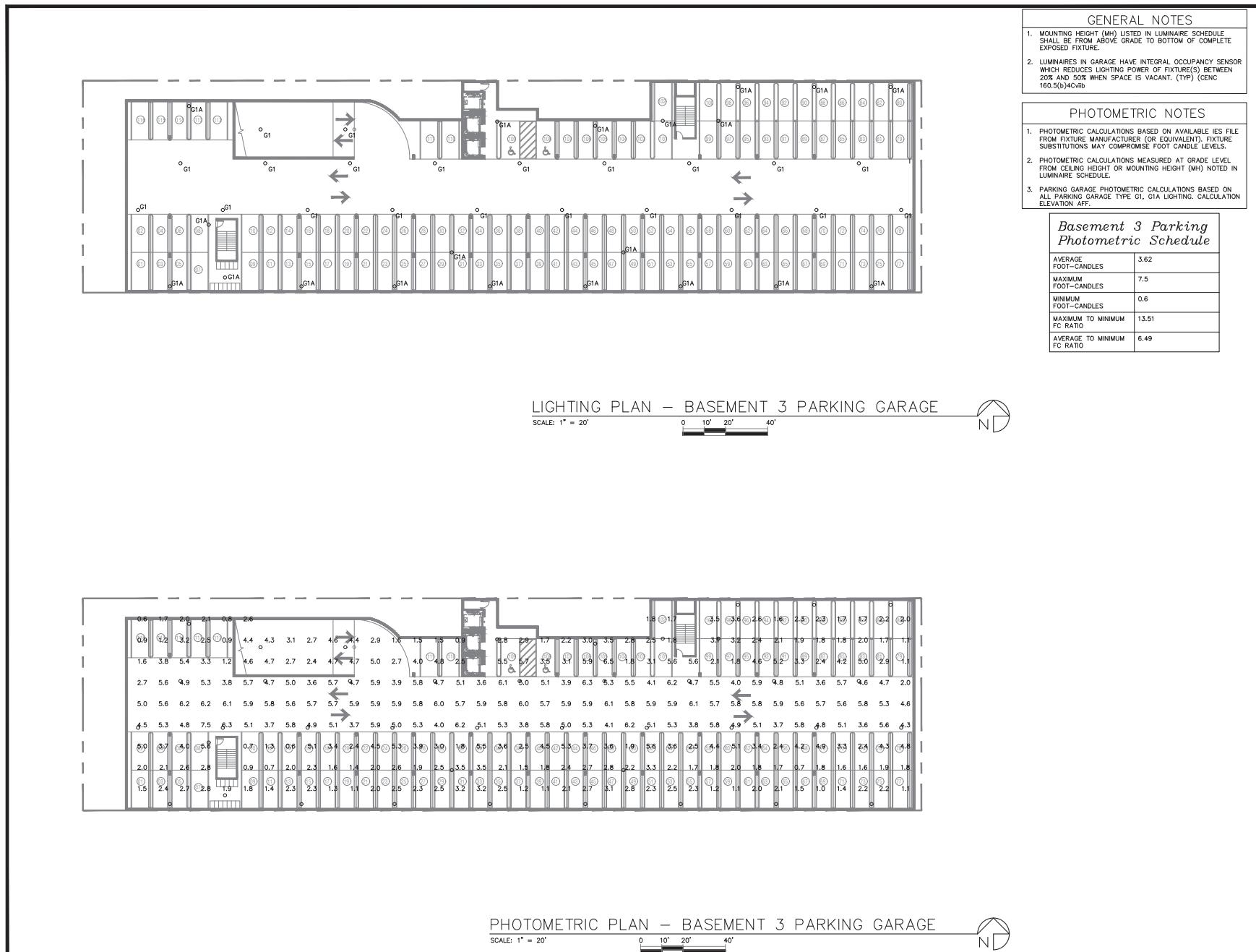
Sheet Title:

TREE DISPOSITION

Sheet No.:

L7.1

File: Job:



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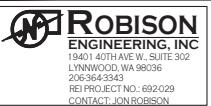
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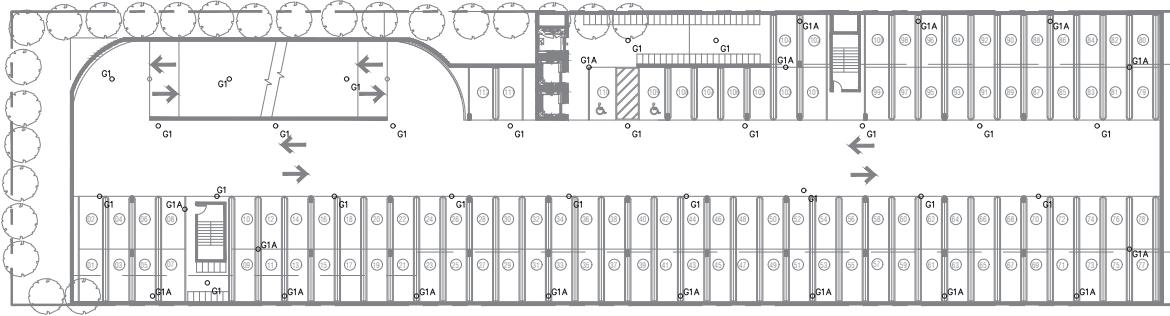
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Initial Submittal Date: 03/05/24
Scale: AS NOTED
Drawn By: CM
Checked By: AS
Sheet Title: Lighting & Photometric Plans: Basement 3
Sheet No.: E1.00
File: Job:

Lighting & Photometric Plans: Basement 3

Sheet No.: E1.00
File: Job:



LIGHTING PLAN – BASEMENT 2 PARKING GARAGE

SCALE: 1" = 20'

0 10' 20' 40'

GENERAL NOTES

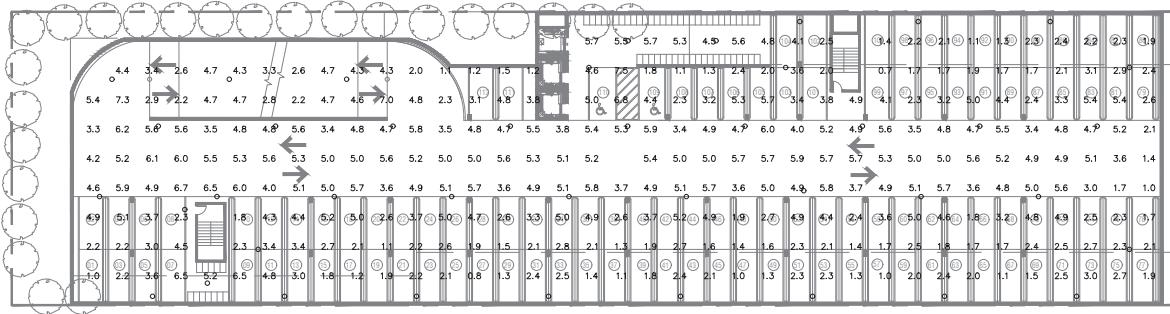
1. MOUNTING HEIGHT (MH) LISTED IN LUMINAIRE SCHEDULE SHALL BE FROM ABOVE GRADE TO BOTTOM OF COMPLETE EXPOSED FIXTURE.
2. LUMINAIRES IN GARAGE HAVE INTEGRAL OCCUPANCY SENSOR WHICH REDUCES LIGHTING POWER OF FIXTURE(S) BETWEEN 20% AND 50% WHEN SPACE IS VACANT. (TYP) (CENC 160.5(b)4cviB)

PHOTOMETRIC NOTES

1. PHOTOMETRIC CALCULATIONS BASED ON AVAILABLE IES FILE FROM FIXTURE MANUFACTURER (OR EQUIVALENT). FIXTURE SUBSTITUTIONS MAY COMPROMISE FOOT CANDLE LEVELS.
2. PHOTOMETRIC CALCULATIONS MEASURED AT GRADE LEVEL FROM CEILING HEIGHT OR MOUNTING HEIGHT (MH) NOTED IN LUMINAIRE SCHEDULE.
3. PARKING GARAGE PHOTOMETRIC CALCULATIONS BASED ON ALL PARKING GARAGE TYPE G1, G1A LIGHTING. CALCULATION ELEVATION AFF.

Basement 2 Garage Photometric Schedule

AVERAGE FOOT-CANDLES	3.71
MAXIMUM FOOT-CANDLES	7.5
MINIMUM FOOT-CANDLES	0.7
MAXIMUM TO MINIMUM FC RATIO	10.64
AVERAGE TO MINIMUM FC RATIO	5.27



PHOTOMETRIC PLAN – BASEMENT 2 PARKING GARAGE

SCALE: 1" = 20'

0 10' 20' 40'

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ENGINEERING, INC.
18461 40TH AVE W. SUITE 302
LYNNWOOD, WA 98036
206-364-3243
REI PROJECT NO.: 69200
CONTACT: JON ROBISON

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02/14/25

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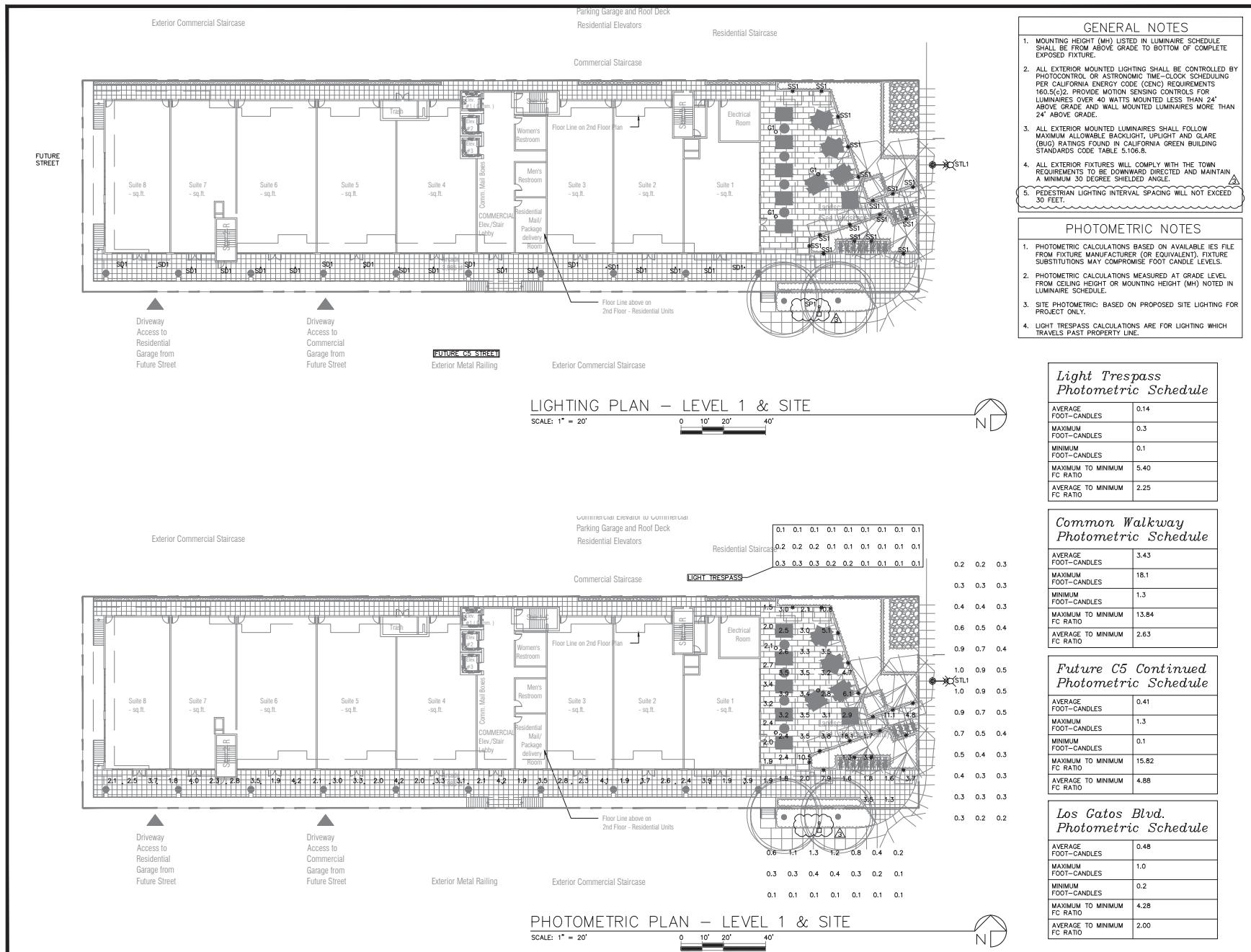
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Sheet Title: Lighting & Photometric Plans: Garage & Site

Sheet No.: E1.01

File: Job:



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Initial Submittal Date: 03/05/24

Scale: AS NOTED

Drawn By: CM

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Sheet Title:

Lighting & Photometric Plans: Level 1 & Site

Sheet No.:

E1.03

File: Job:

EXTERIOR LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	VOLTAGE	TYPE	CRI / CCT	LAMPING	WATTAGE
G1	○	SURFACE	PARKING GARAGE - INTEGRAL MOTION SENSING	GARDCO: SVPG A03 840 5RD [MOUNTING] UNV BLBT L3	MULTIPLE	BI-LEVEL MOTION SENSOR	80 / 4000K	(1) 52W LED	52
G1A	○	SURFACE	PARKING GARAGE - INTEGRAL MOTION SENSING	GARDCO: SVPG A01 840 5RD [MOUNTING] UNV BLBT L3	MULTIPLE	BI-LEVEL MOTION SENSOR	80 / 4000K	(1) 21W LED	21
SA1	.	TRELLIS	TRELLIS DOWNLIGHT	BK LIGHTING: NS LED E66 MFL 12	12	0-10V DIMMING	NA / 2700K	(1) 7W LED	7
SD1	.	SURFACE	4" DOWNLIGHT	DMF: M4 NC R S DRD2M 07 9 30 FL 0	MULTIPLE	0-10V	93 / 3000K	(1) 9.5W LED	9.5
SFL	○	POLE	FLOOR LAMP - BUG RATING B1 U0 GO	LANDSCAPE FORMS: AJ400 S 35 F	120	PHASE DIMMING	90 / 3000K	(1) 23W LED	23
SL1	—LED—	SURFACE	LED STRIP LIGHT	KWDC: MC SA C A A010 30 M 67 0300 S00A ED G	120	PHASE DIMMING	NA / 2700K	(1) 3.05W / FT LED	3.05
SP1	○□	12' POLE	POLE LIGHT - TYPE II - B1 U0 G1	GARDCO: P20 C A02 830 T2S	MULTIPLE	0-10V	80 / 3000K	(1) 52W LED	52
SS1	■	RECESSED	WALL LIGHT - B0 U4 G2	BEGA: B33159 K3	MULTIPLE	0-10V	80 / 3000K	(1) 24W LED	24
SS2	■	RECESSED	STEP LIGHT - B0 U1 GO	BEGA: B22230 K3	MULTIPLE	NON - DIMMING	80 / 3000K	(1) 3.1W LED	3.1
SSL	—	STRING	STRING LIGHT - B0 U0 GO WITH CANOPY	TIVOLI: LS12 B 24 S 27 F 12 / SHADE HT BK 8	12	0-10V	NA / 2700K	(1) 0.23W LED	0.23
STL1	○—○	28'-9" POLE	EXISTING COBRA HEAD STREET LIGHT	CREE: XPS2 101 4000	240	EXISTING	70 / 4000K	(1) 101W LED	101

NOTES:

1. CONTRACTOR TO FURNISH AND INSTALL ALL FIXTURES.
2. LUMINAIRE SCHEDULE IS BOD ONLY. CONTRACTOR TO SUBMIT FIXTURE MODEL OR EQUIVALENT. CONTRACTOR TO COORDINATE FIXTURE FINISHES WITH ARCHITECT/OWNER.
3. FIXTURE CATALOG NUMBERS DO NOT NECESSARILY DENOTE SPECIFIC MOUNTING ACCESSORIES. CONTRACTOR TO PROVIDE ALL NECESSARY ACCESSORIES TO SUCCESSFULLY COMPLETE THE INSTALLATION.
4. BUG RATING ON EXTERIOR FIXTURES INDICATES "BACKLIGHT", "UPLIGHT", AND "GLARE" AS STANDARDS IN CLASSIFYING OUTDOOR LIGHT FIXTURES.

SHEET INDEX

DRAWING	DESCRIPTION
E1.00	LIGHTING & PHOTOMETRIC PLANS: GARAGE & SITE
E1.01	LIGHTING & PHOTOMETRIC PLANS: LEVEL 1 & SITE
E1.09	LIGHTING & PHOTOMETRIC PLANS: ROOF TERRACE
E1.50	LIGHT FIXTURE DETAILS
E1.51	LIGHT FIXTURE DETAILS & LUMINAIRE SCHEDULE

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	Sheet Title:	Light Fixture Details & Luminaire Schedule

Sheet No.: E1.51

