

YOUNG RESIDENCE

MIKE YOUNG
16951 PLACER OAKS
LOS GATOS, CA 95032

RESIDENTIAL REMODEL/ADDITION:
1ST FLOOR - RECONFIGURE REAR BEDROOM AREA OF HOUSE
2ND FLOOR - ADD NEW 2ND FLOOR. 3 BEDROOM 2 BATHROOM

- APN 529-14-00
- ZONING SFR R-1-8
- OCCUPANCY: R-3 / U
- CONSTRUCTION TYPE: V-B
- SPRINKLER: NO
- YEAR BUILT 1959
- GROSS LOT AREA 11,807 SF

NET LOT AREA	11,149 SF		.295544	.0809	
FLOOR AREA	1ST LEVEL	2ND LEVEL	FAR	GARAGE	LOT COVERAGE
EXISTING	2,429	---	2,429	477	2,422
PROPOSED	---	907			
TOTAL SF	2,429	907	3,336	477	3,813

LOT COVERAGE ALLOWED 40% 4,722.8 SF
LOT COVERAGE PROPOSED 2,422.0 SF

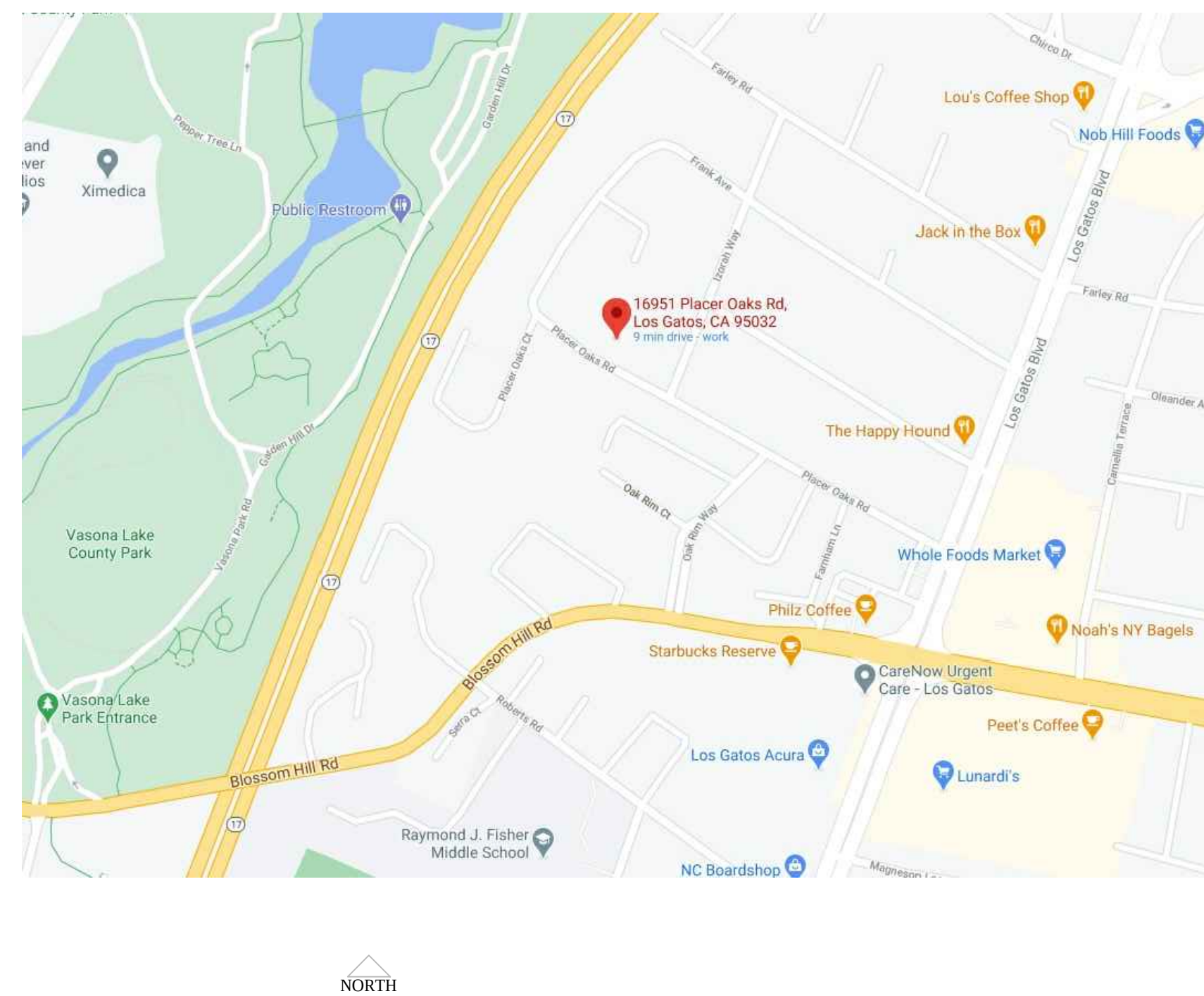
STANDARDS HEIGHT	REQUIRED (MAX) 30'-0"	PROPOSED 26'-9"
SETBACKS 1ST FLOOR		
FRONT	25'-0"	25'-8 1/2"
SIDE LEFT	8'-0"	8'-10"
SIDE RIGHT	8'-0"	9'-5"
REAR	20'-0"	82'-0"
PARKING &		2 UNCOVERED
GARAGE		2 GARAGE

CVR1	COVER SHEET
BMP	BLUE PRINT FOR A CLEAN BAY
PLN 1.1	NEIGHBORHOOD CONTEXT
PLN 1.2	NEIGHBORHOOD ELEVATIONS & PHOTOS
PLN 1.3	SITE PHOTOS
PLN 2.1	FLOOR AREA KEY
PLN 3.1	SHADOW STUDY SUMMER
PLN 3.1	SHADOW STUDY WINTER

ARCHITECTURAL

A0.1	ARCHITECTURAL SITE PLAN
A1.0	ARCHITECTURAL NOTES
A2.0	FLOOR PLAN EXISTING
A2.1	1ST FLOOR PLAN NEW
A2.2	2ND FLOOR PLAN NEW
A3.0	ELEVATIONS EXISTING
A3.1	ELEVATIONS NEW
A3.2	ELEVATIONS NEW
A4.1	ROOF PLAN
A5.1	SECTIONS
A10.0	ARCHITECTURAL DETAILS
E1.0	ELECTRICAL NOTES
E1.1	ELECTRICAL PLAN
T24.1	ENERGY COMPLIANCE
T24.2	ENERGY COMPLIANCE
T24.2	MANDATORY MEASURES
GBC1	GREEN BUILDING CODE COMPLIANCE
GBC2	GREEN BUILDING CODE COMPLIANCE

PROJECT LOCATION



REVISIONS	BY

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SAN JOSE, CA 95117

COVER SHEET

RESIDENTIAL ADDITION/REMODEL FOR:

YOUNG RESIDENCE
16951 PLACER OAKS
LOS GATOS, CA 95032
APN# 529-14-009

DATE:	2022.06.09
PROJECT:	2102
DRAWN BY:	DAVID

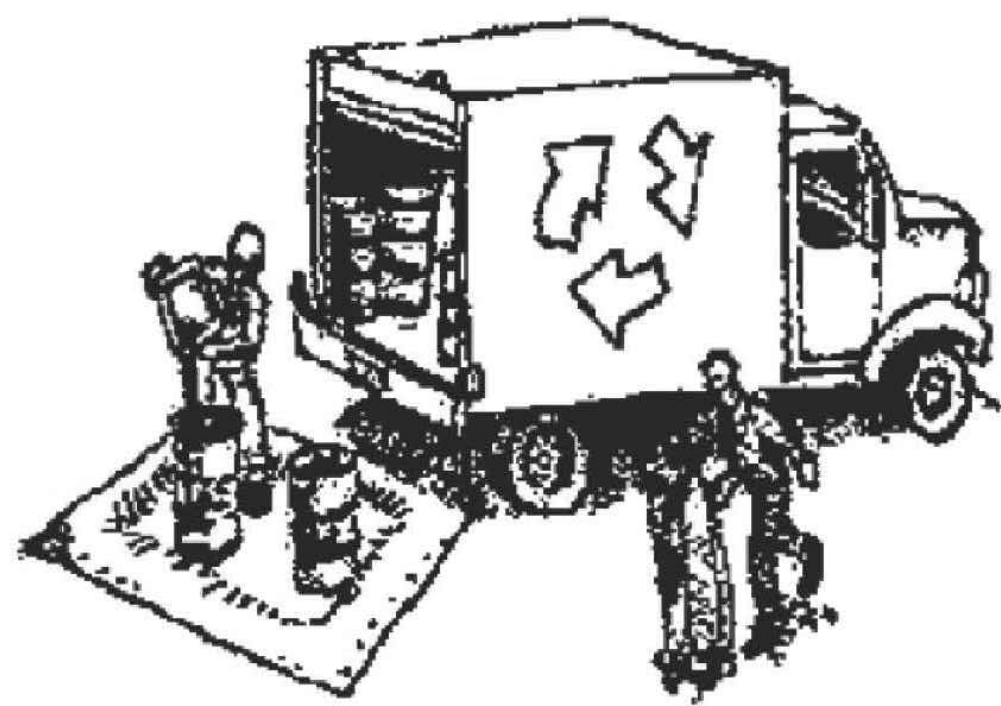
SHEET:

CVR1

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



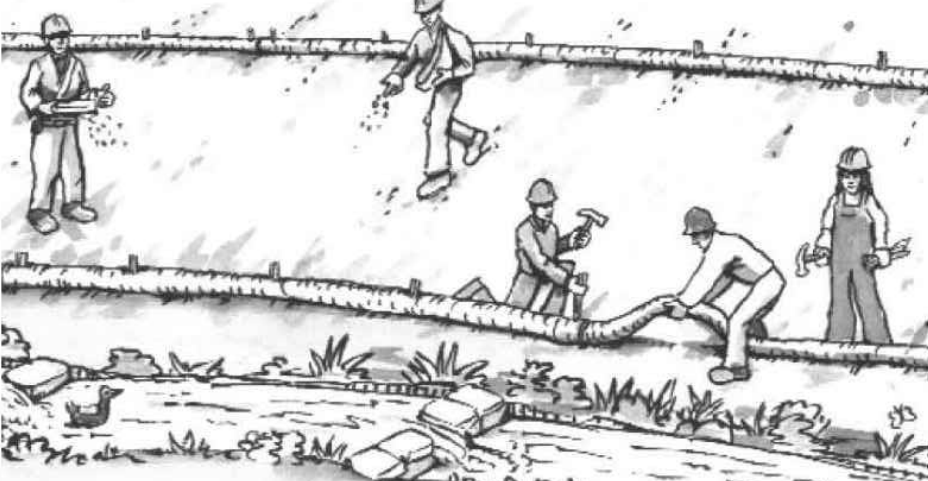
Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

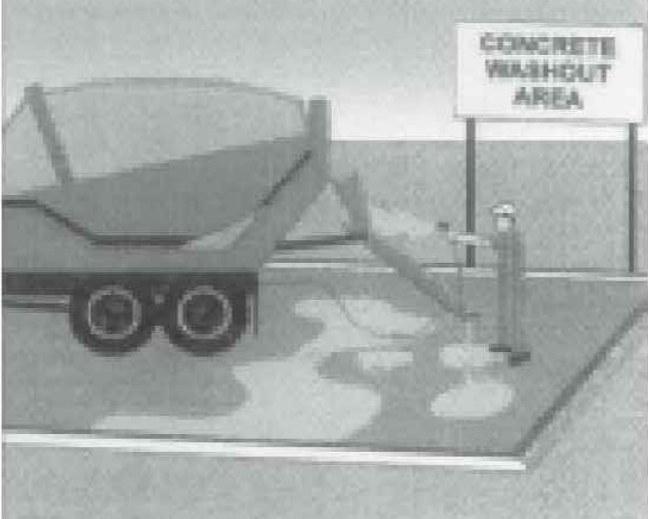
Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

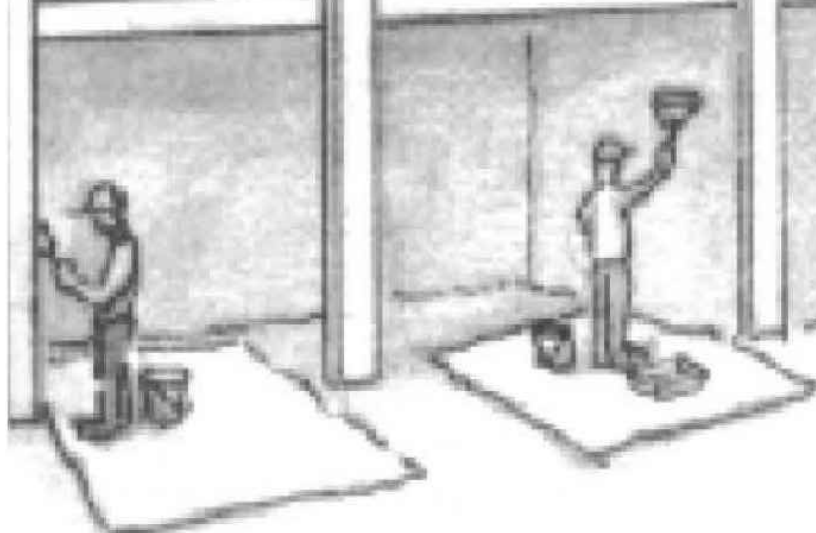
Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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BLUE PRINT FOR A CLEAN BAY

RESIDENTIAL ADDITION/REMODEL FOR:

YOUNG RESIDENCE
16951 PLACER OAKS
LOS GATOS, CA 95032
APN# 529-14-009

DATE: 2022.06.09
PROJECT: 2102
DRAWN BY: DAVID

SHEET:
BMP



NEIGHBORHOOD CONTEXT MAP
1" = 20'-0"

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SAN JOSE, CA 95117

NEIGHBORHOOD CONTEXT MAP

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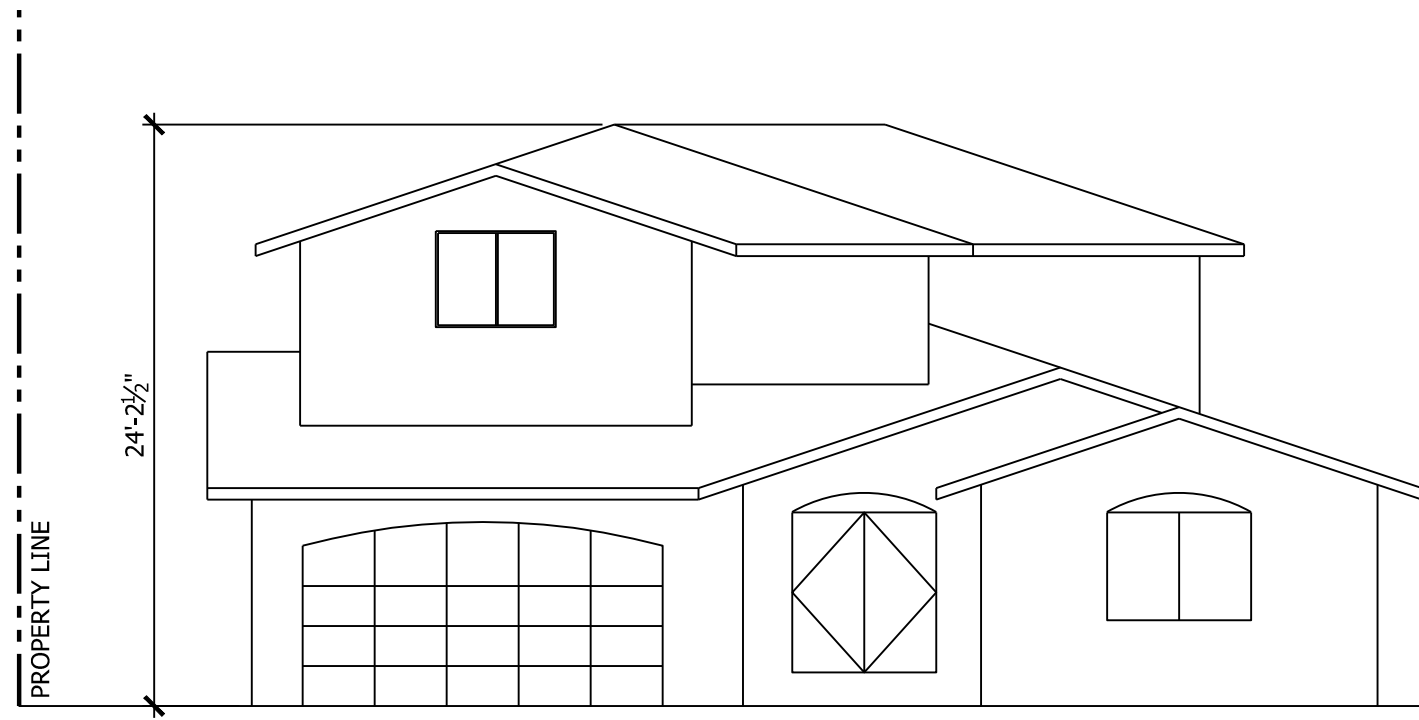
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SHEET:

PLN

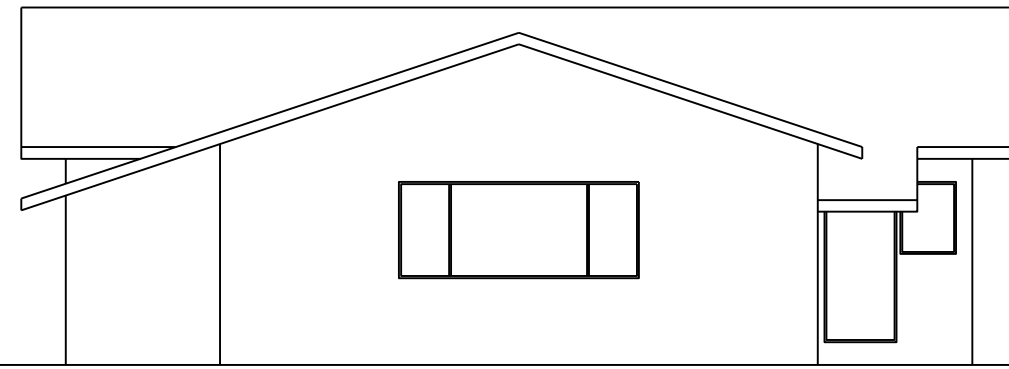
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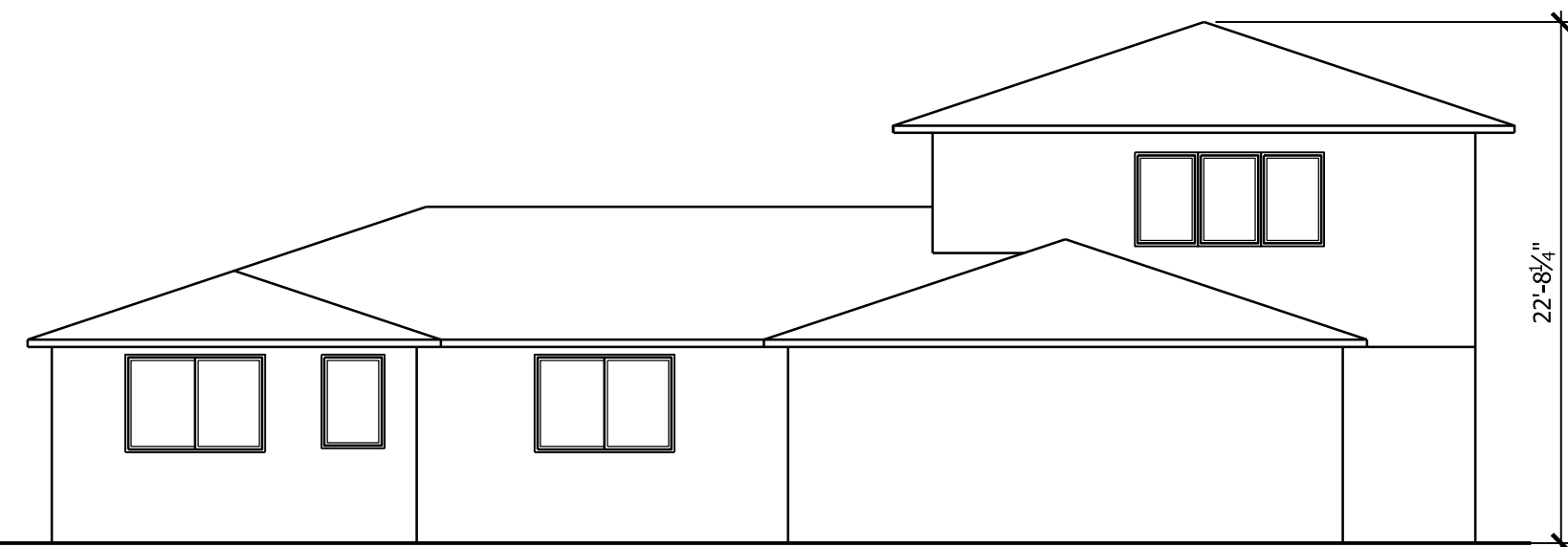
16961 PLACER OAKS APN#529-14-073
1/8" = 1'-0"



16951 FRONT (SOUTH) ELEVATION NEW
1/8" = 1'-0"



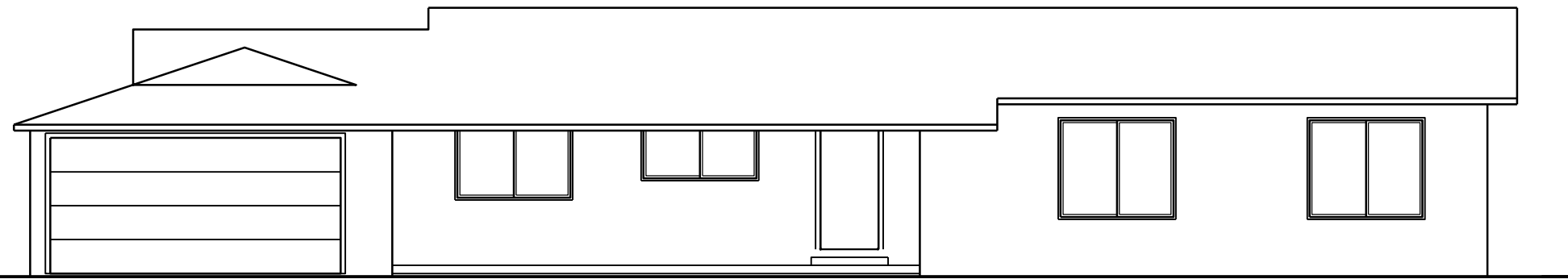
16941 PLACER OAKS APN# 529-14-008
1/8" = 1'-0"



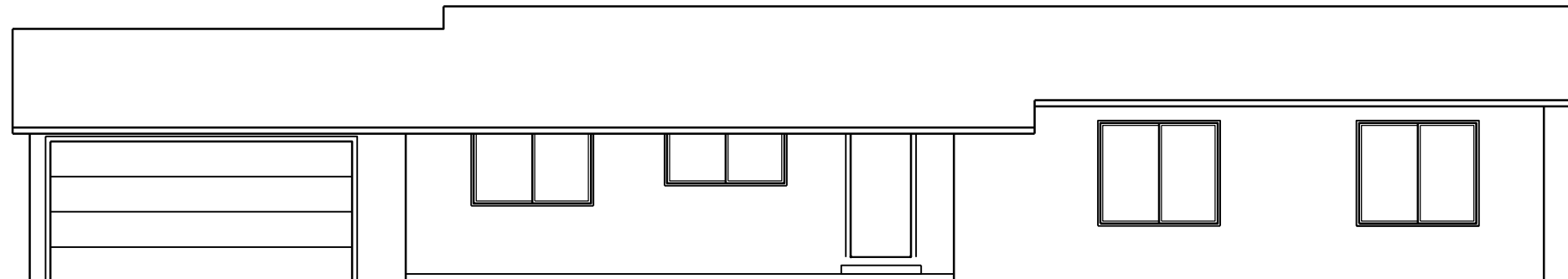
15851 IZORAH WAY APN#529-14-068
1/8" = 1'-0"



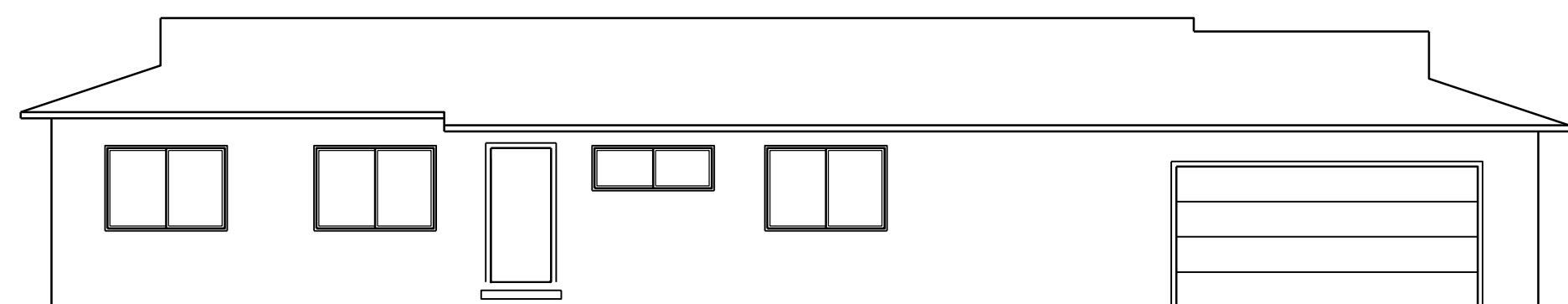
APN# 529-16-063
16900 PLACER OAKS
1/8" = 1'-0"



APN# 529-16-062
16940 PLACER OAKS
1/8" = 1'-0"



APN# 529-16-061
16950 PLACER OAKS
1/8" = 1'-0"



APN# 529-16-060
16960 PLACER OAKS
1/8" = 1'-0"



APN# 529-16-059
16970 PLACER OAKS
1/8" = 1'-0"



15851 IZORAH WAY



16940 PLACER OAKS



16950 PLACER OAKS



16960 PLACER OAKS



16970 PLACER OAKS



16971 PLACER OAKS



16996 FRANK AVE



16990 FRANK AVE



16984 FRANK AVE



16960 FRANK COURT



16964 FRANK COURT

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NEIGHBORHOOD ELEVATIONS & PHOTOS

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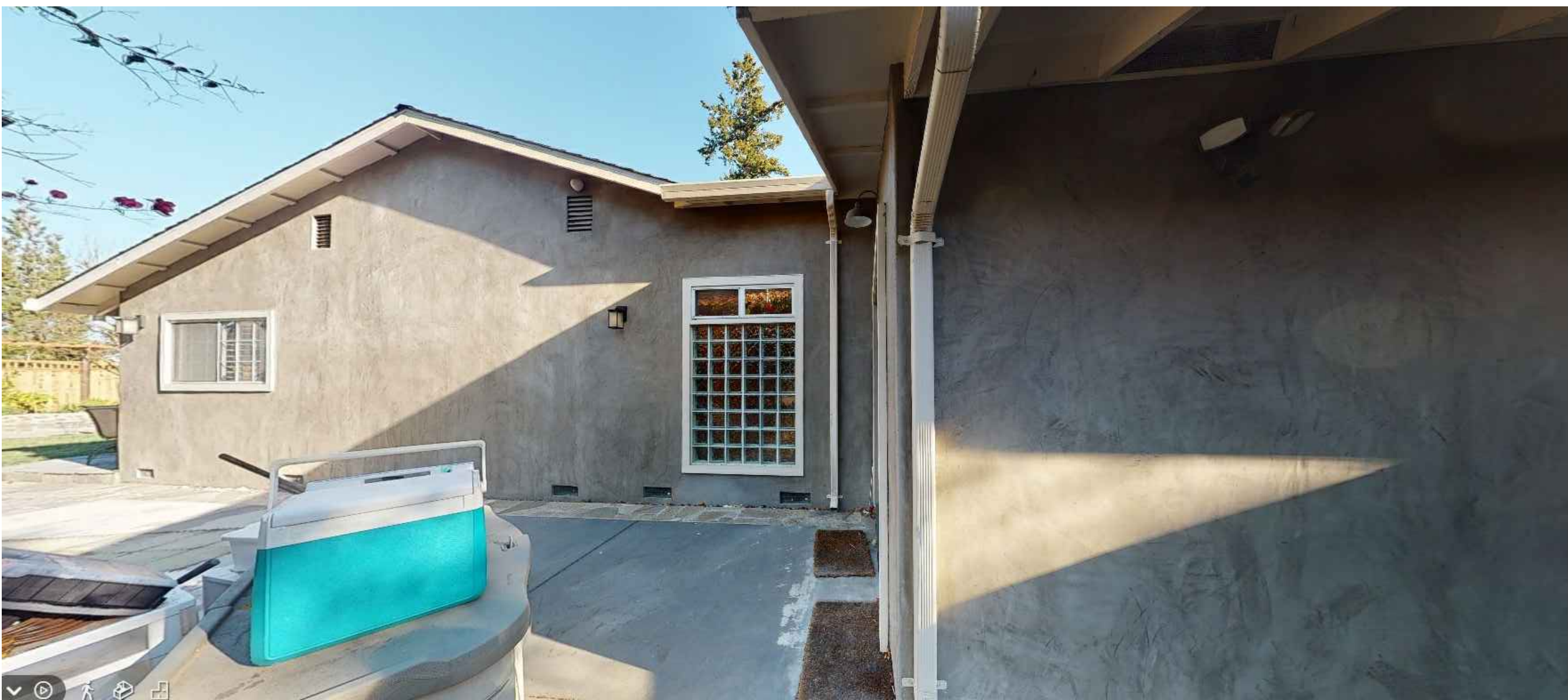
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**PLN
1.2**



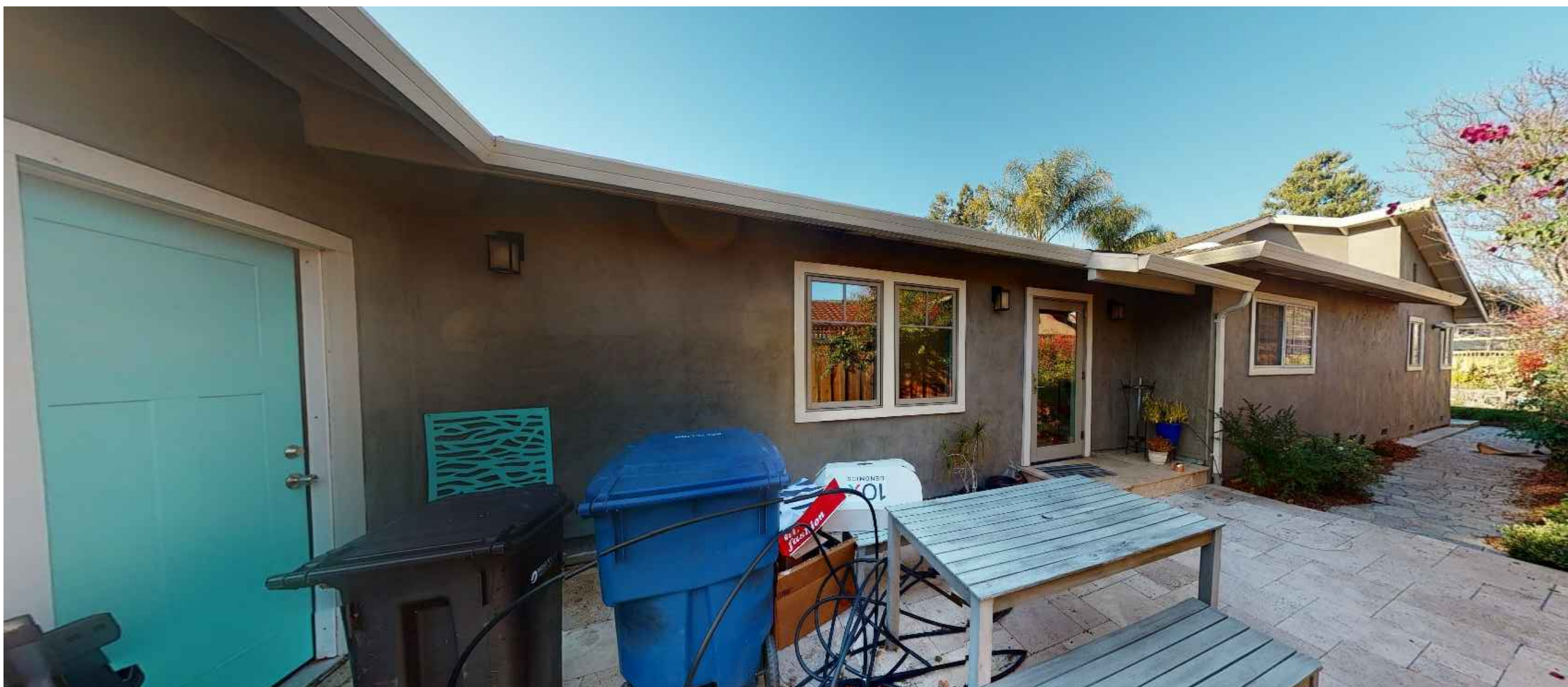
FRONT ELEVATION



LEFT/FRONT ELEVATION



LEFT/REAR ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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PAGE TITLE
SITE PHOTOS

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SHEET:
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1.3

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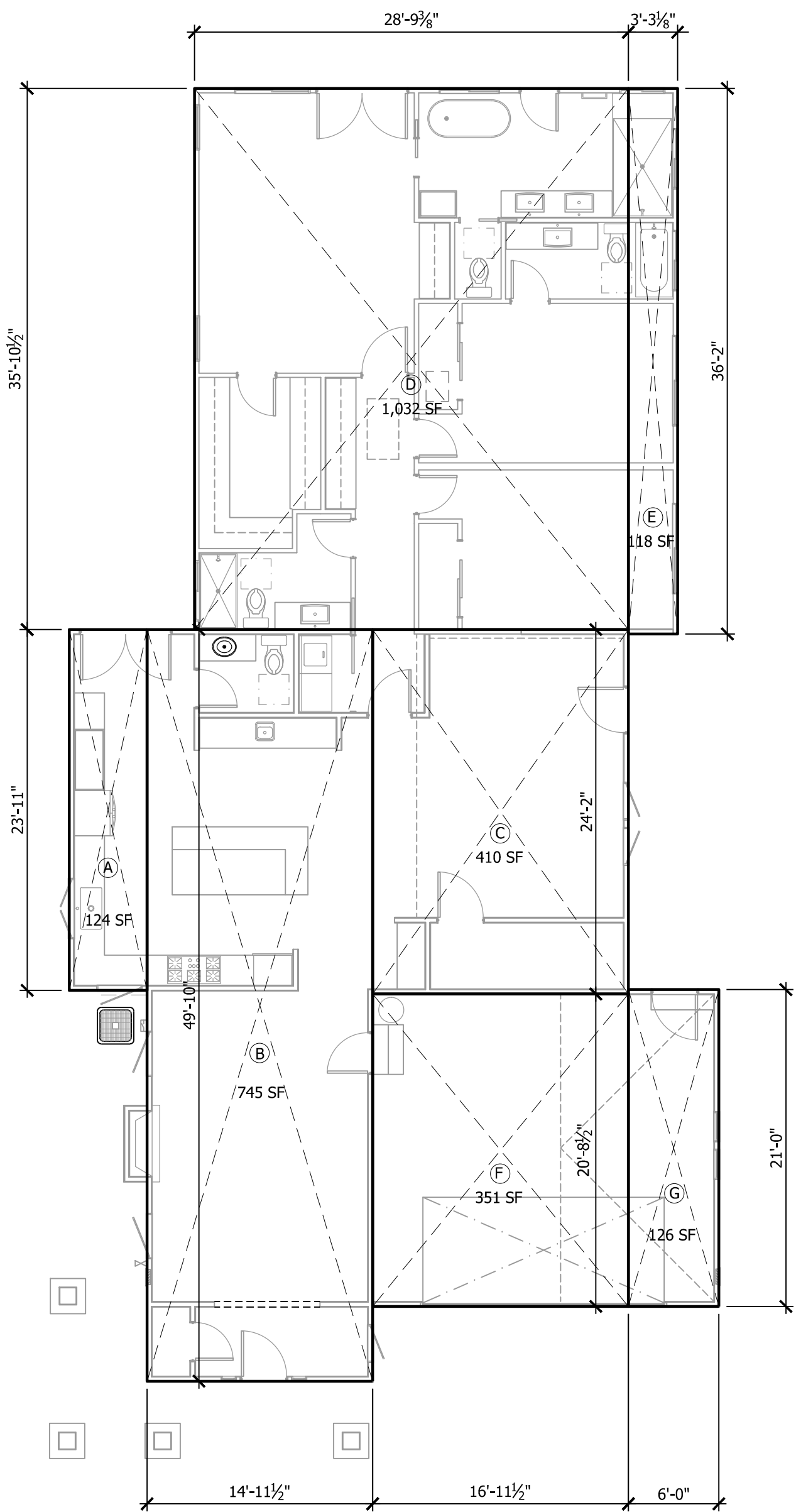
FLOOR AREA KEY

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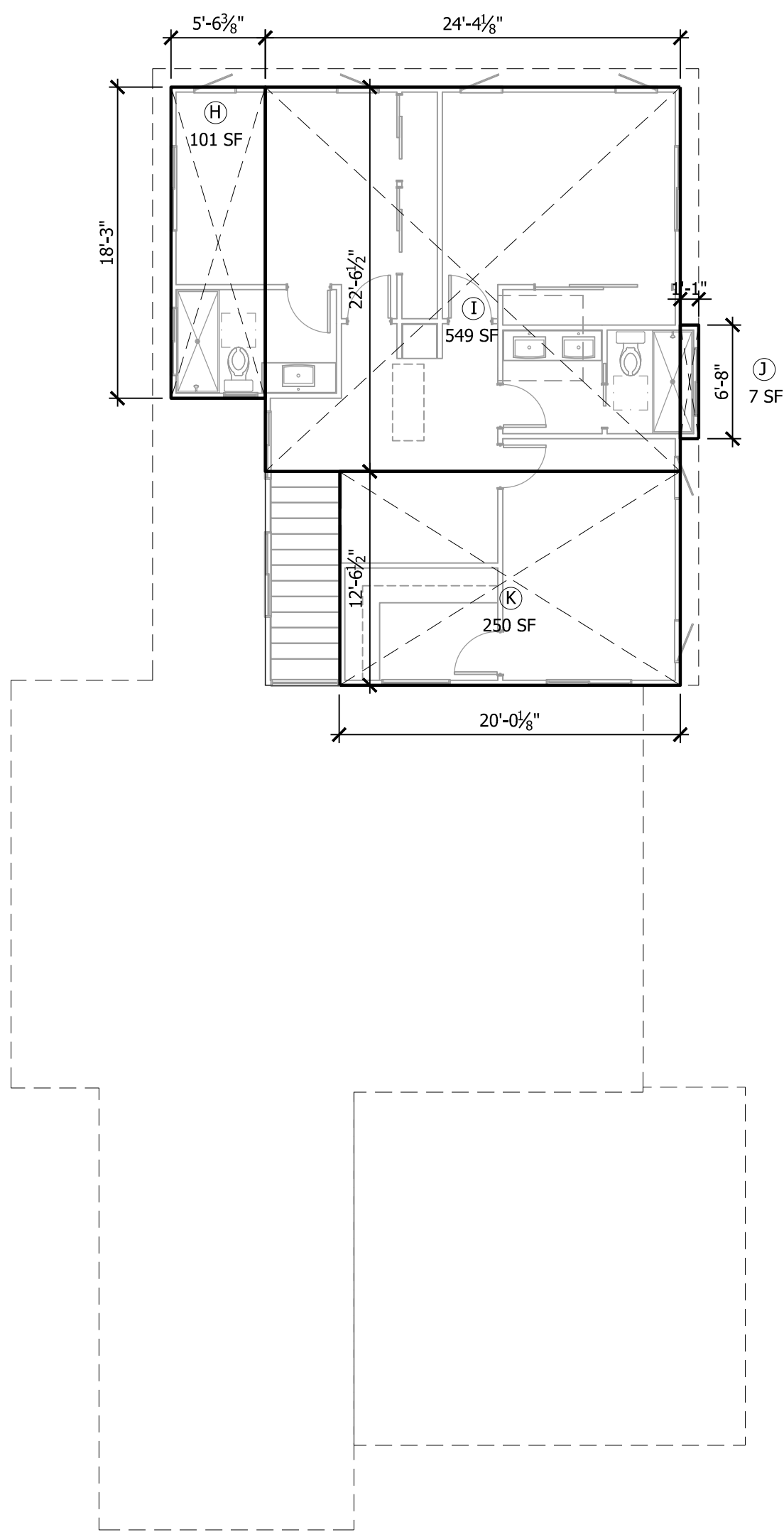
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PLN
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1ST FLOOR FAR

1/4" = 1'-0"

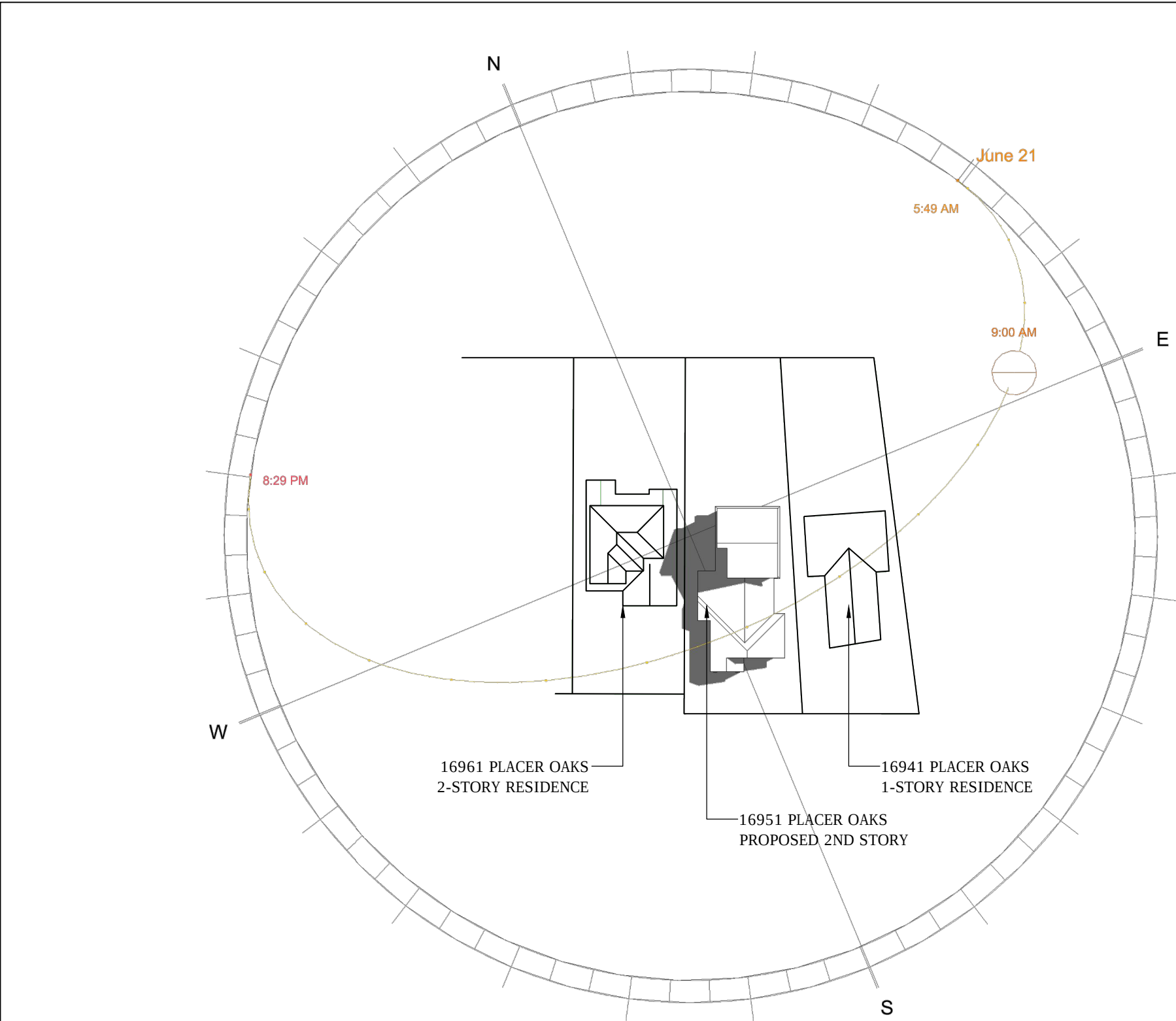
1ST FLR	OCCUPANCY	FAR
A	LIVING	124
B	LIVING	745
C	LIVING	410
D	LIVING	1,032
E	LIVING	118
TOTAL	LIVING	2,429
F	GARAGE	351
G	GARAGE	126
TOTAL	GARAGE	477



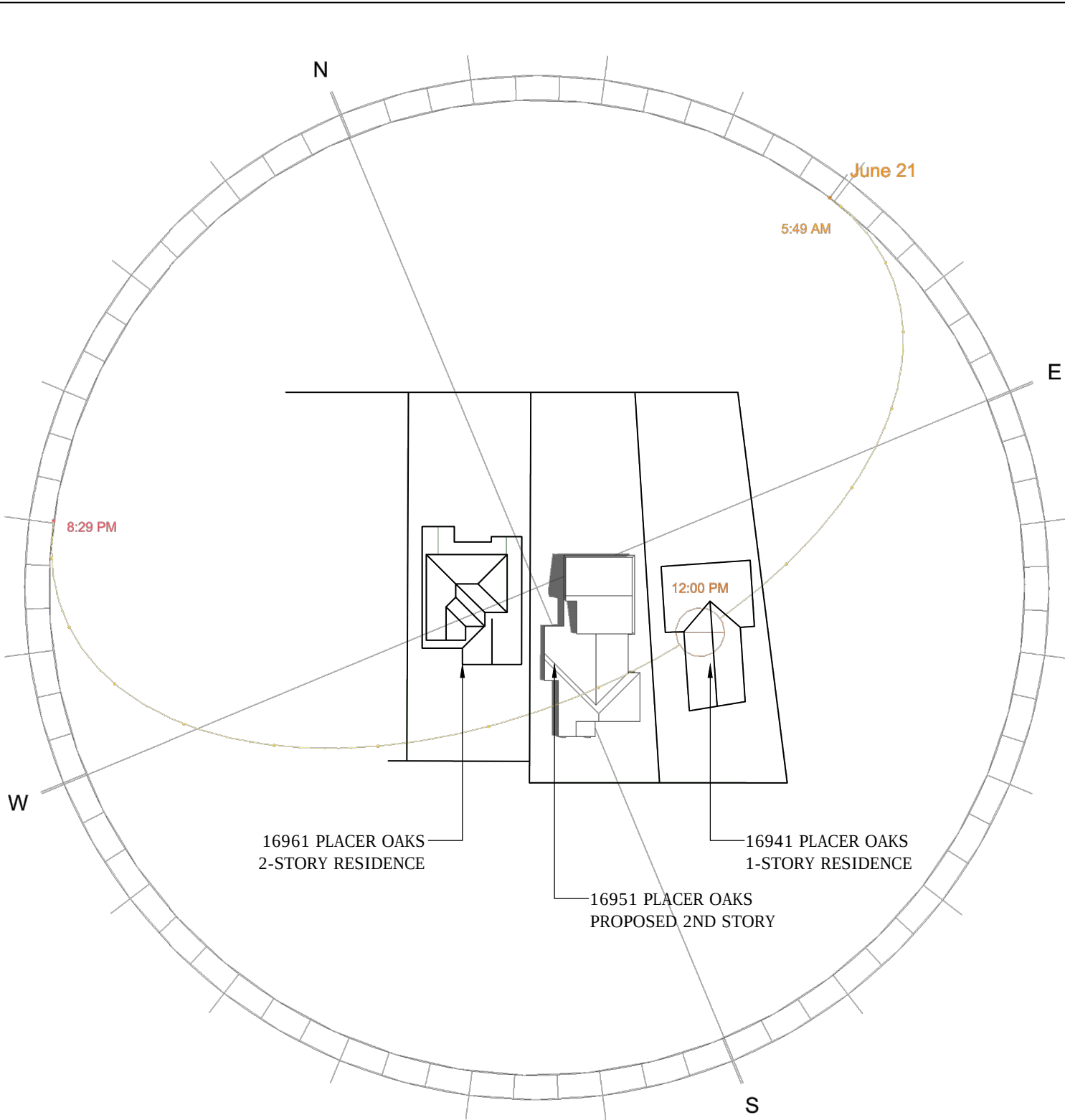
2ND FLOOR FAR

1/4" = 1'-0"

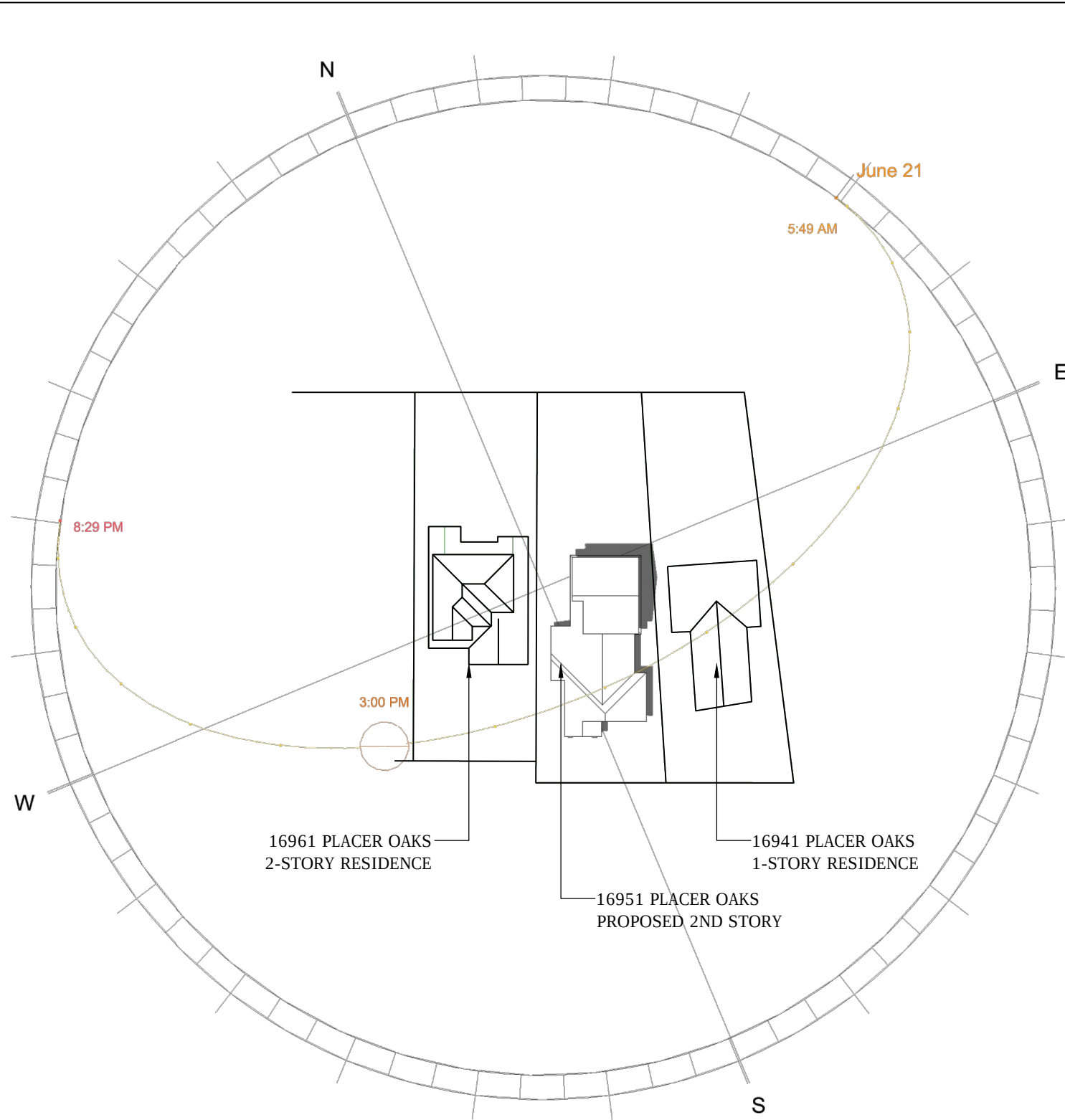
1ST FLR	OCCUPANCY	FAR
H	LIVING	101
I	LIVING	549
J	LIVING	7
K	LIVING	250
TOTAL	LIVING	907



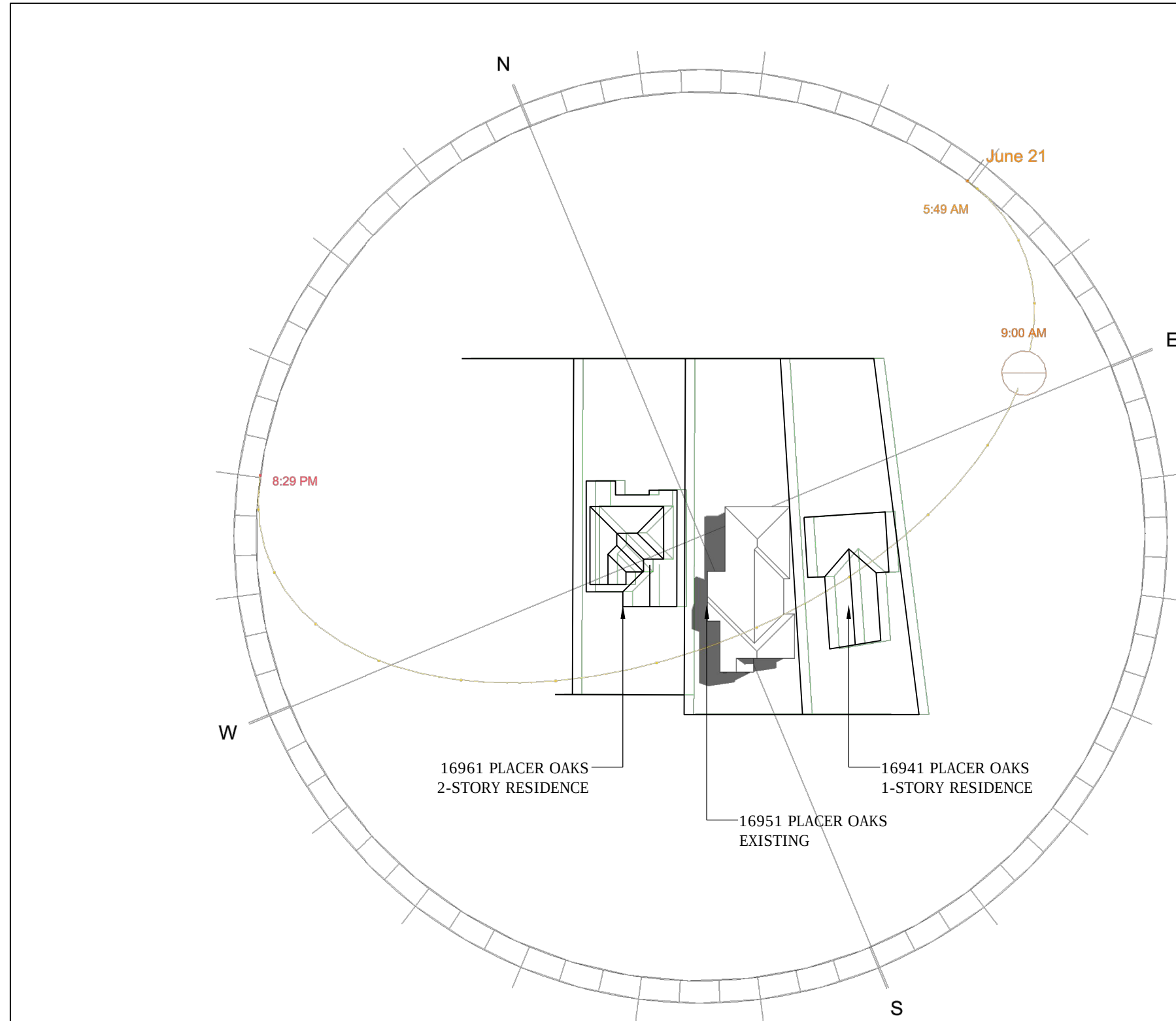
16951 PLACER OAKS SOLAR STUDY
PROPOSED 2ND STORY ADDITION
JUNE 21 9AM



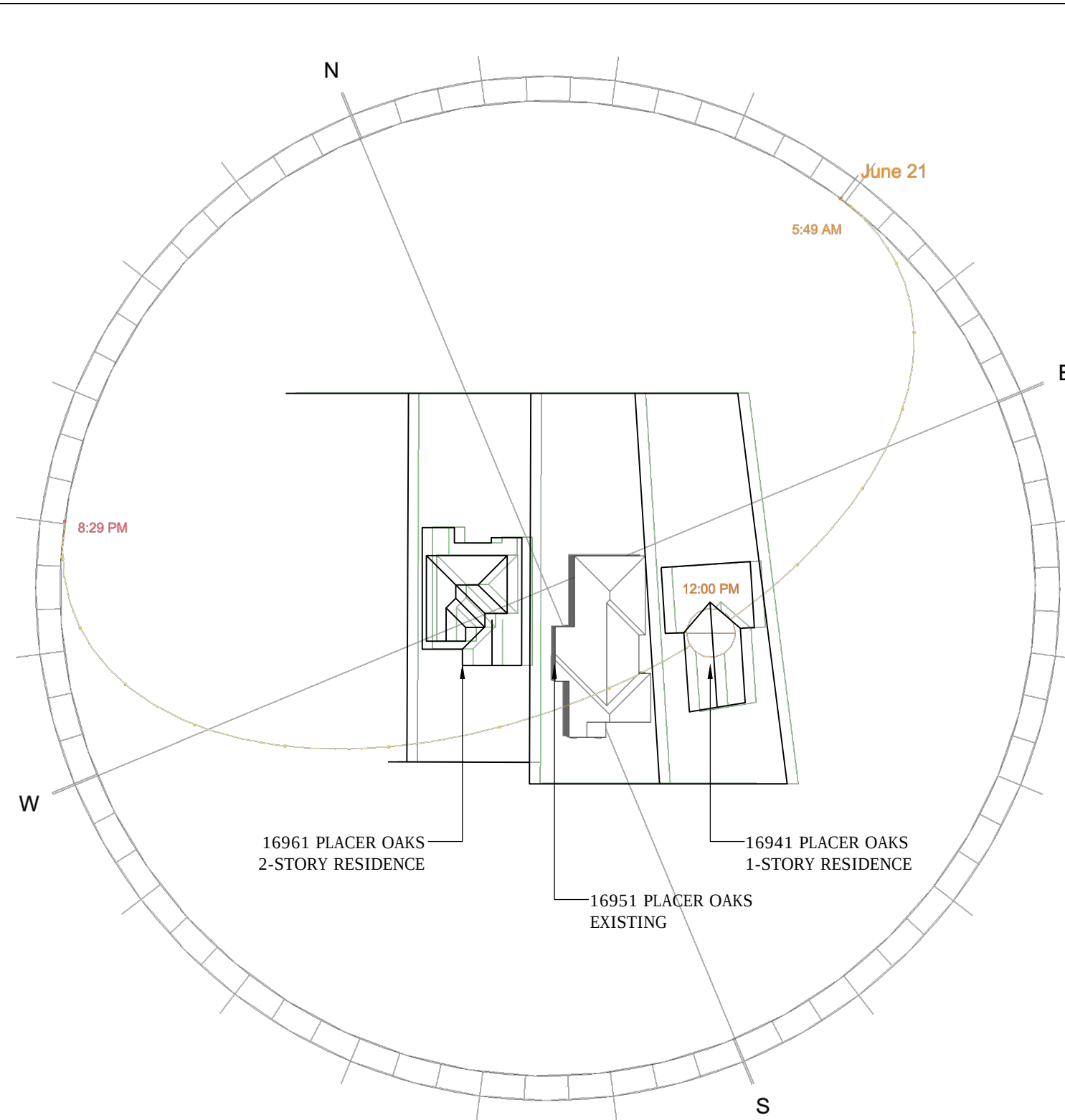
16951 PLACER OAKS SOLAR STUDY
PROPOSED 2ND STORY ADDITION
JUNE 21 12PM



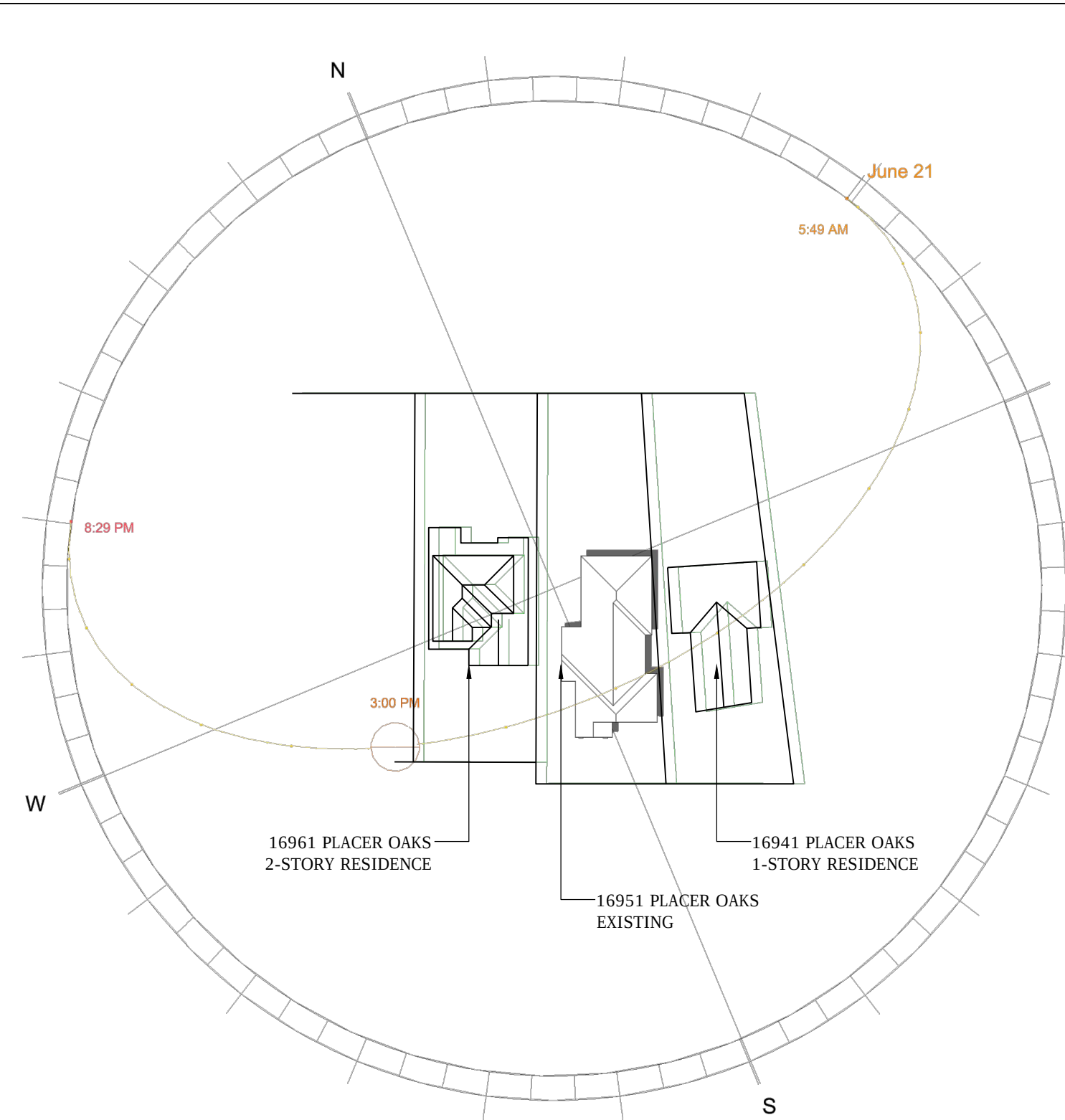
16951 PLACER OAKS SOLAR STUDY
PROPOSED 2ND STORY ADDITION
JUNE 21 3PM



16951 PLACER OAKS SOLAR STUDY
EXISTING 1-STORY
JUNE 21 9AM



16951 PLACER OAKS SOLAR STUDY
EXISTING 1-STORY
JUNE 21 12PM



16951 PLACER OAKS SOLAR STUDY
EXISTING 1-STORY
JUNE 21 3PM

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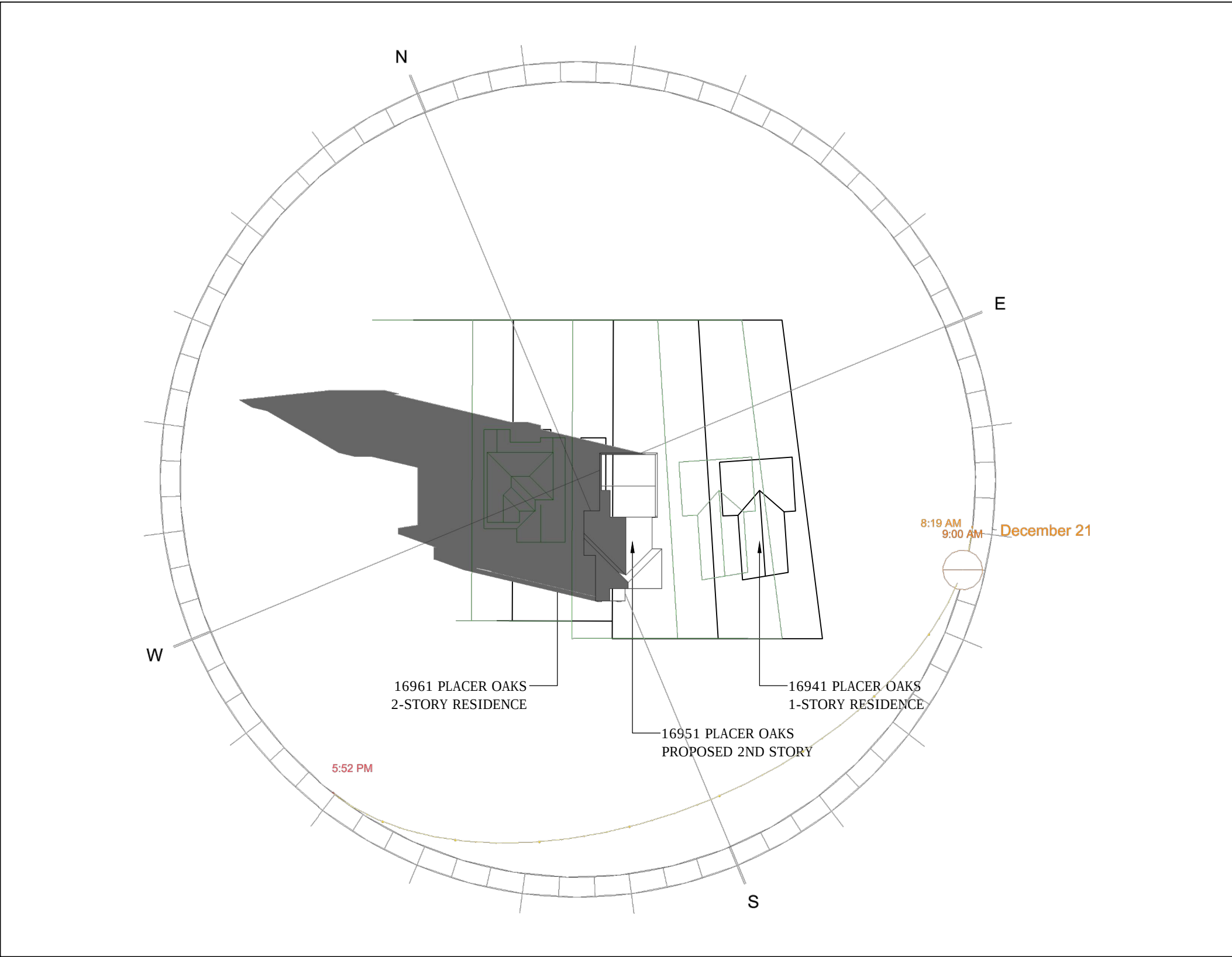
SHADOW STUDY SUMMER

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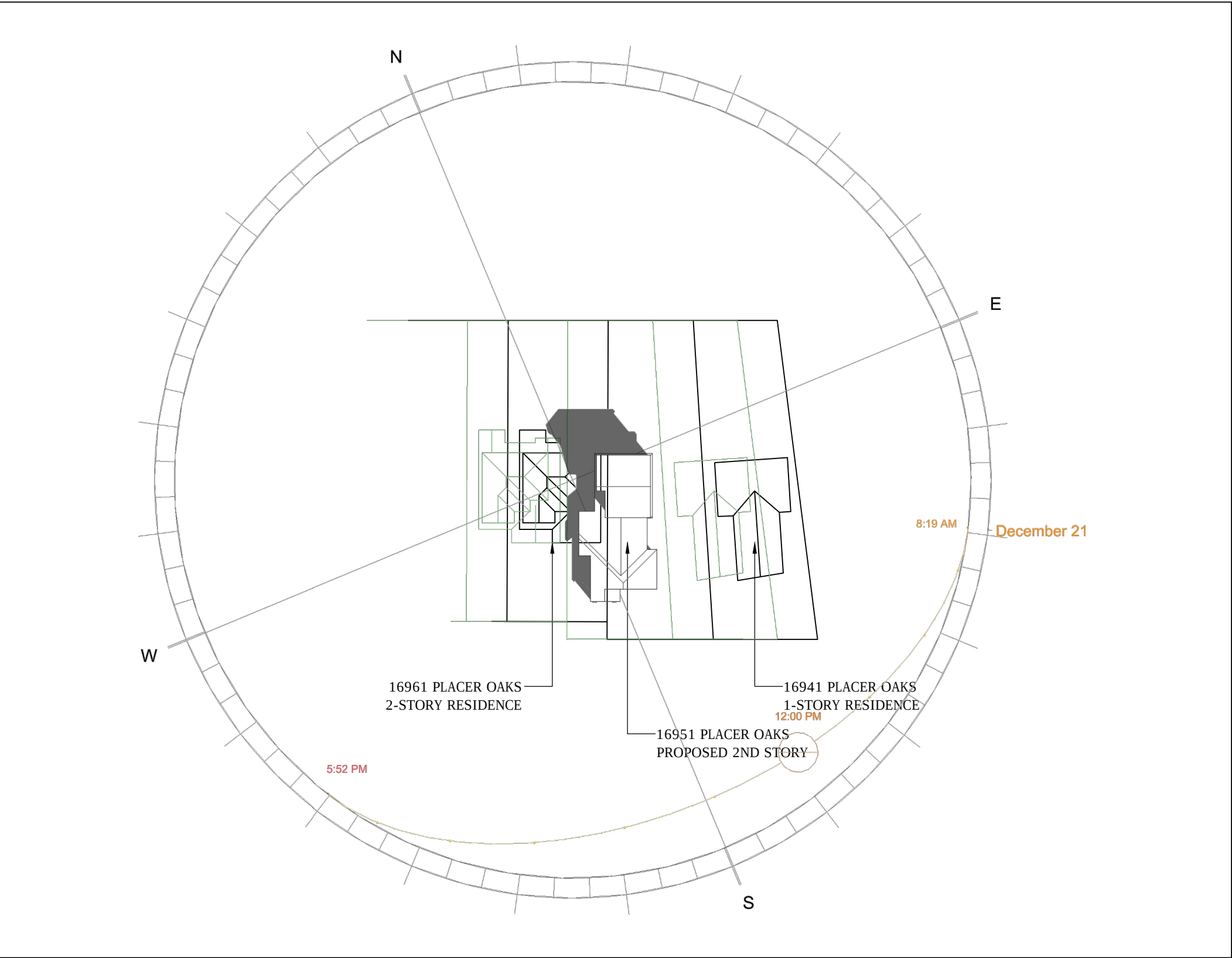
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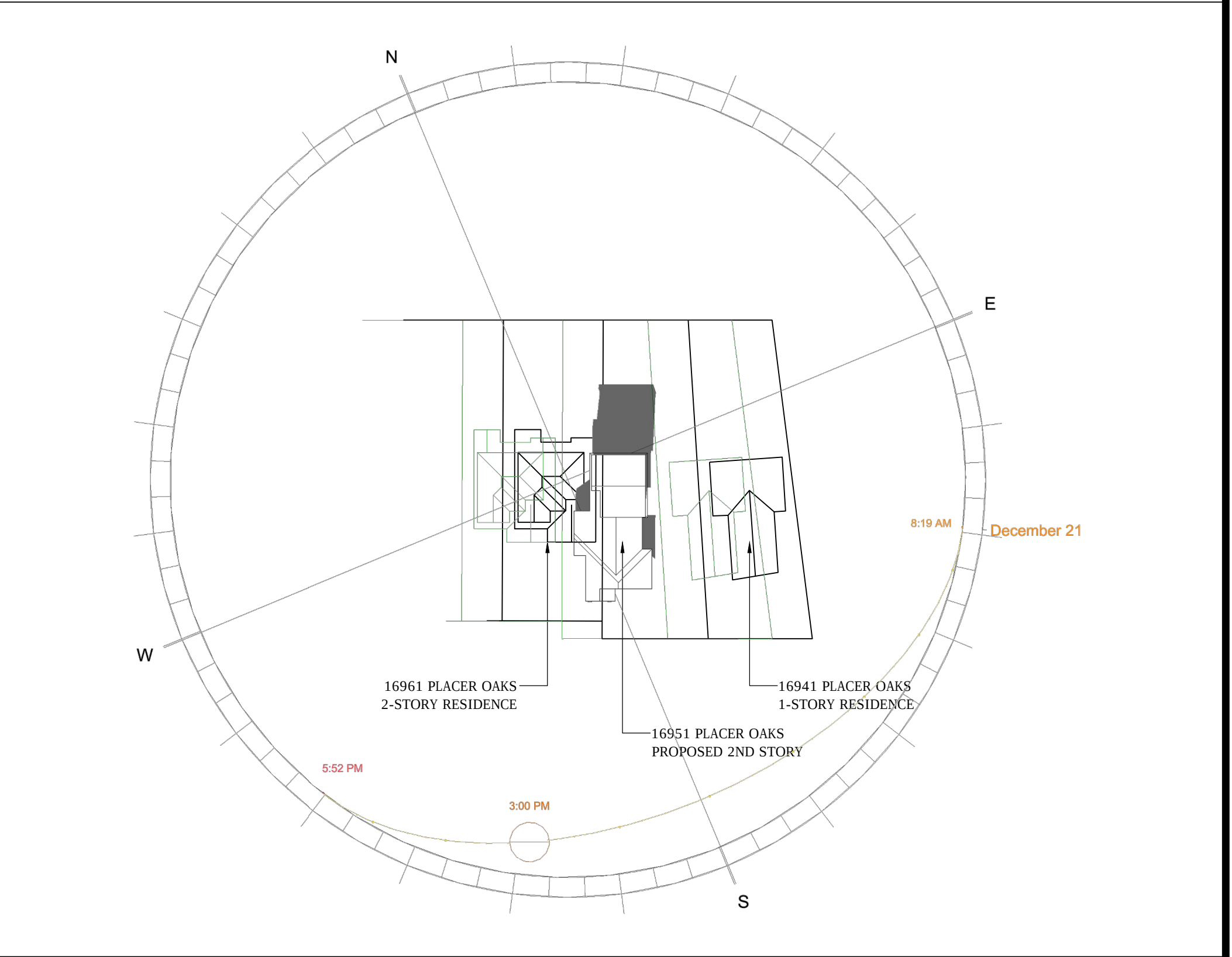
SHEET:
PLN
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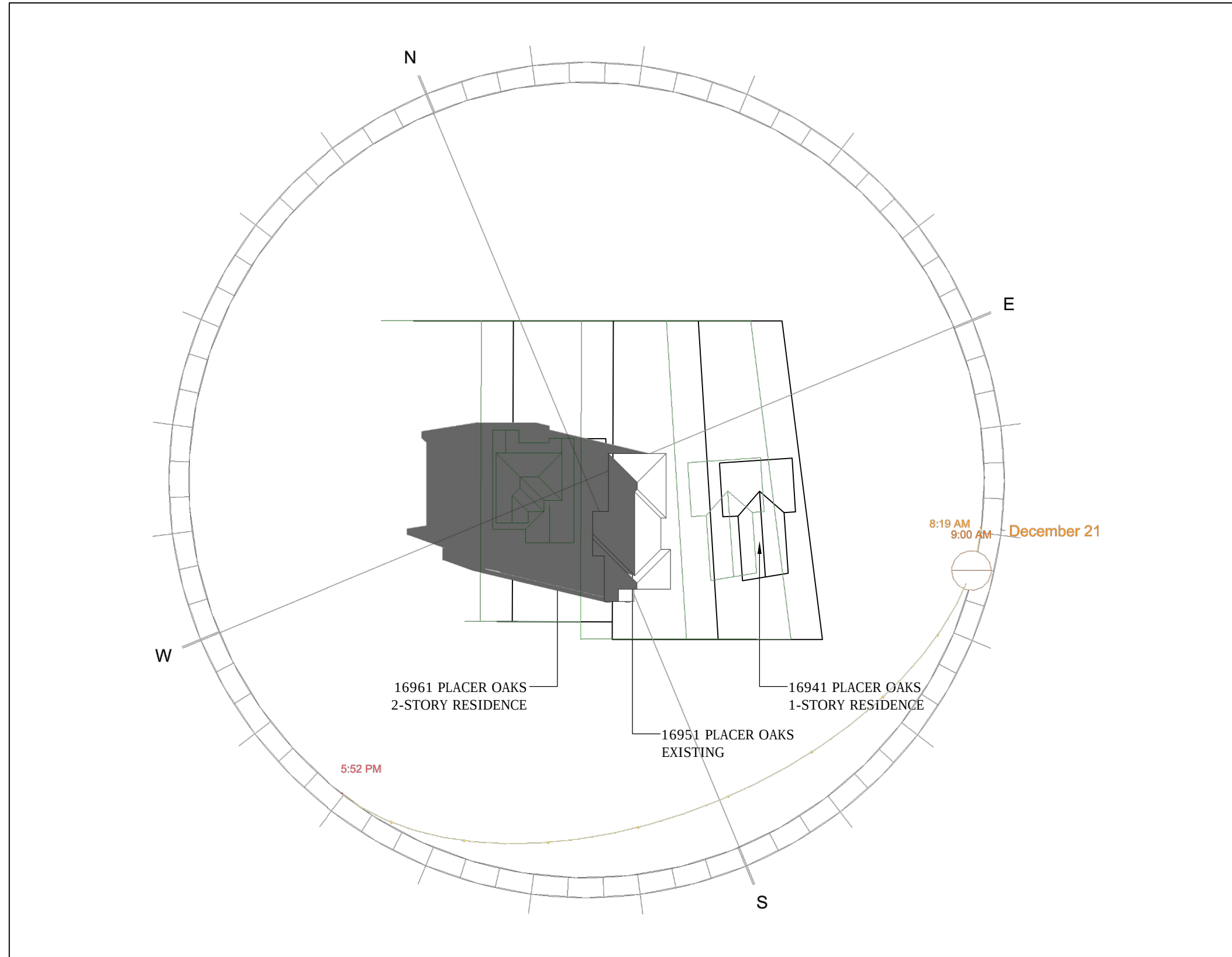
16951 PLACER OAKS SOLAR STUDY
PROPOSED 2ND STORY ADDITION
DECEMBER 21 9AM



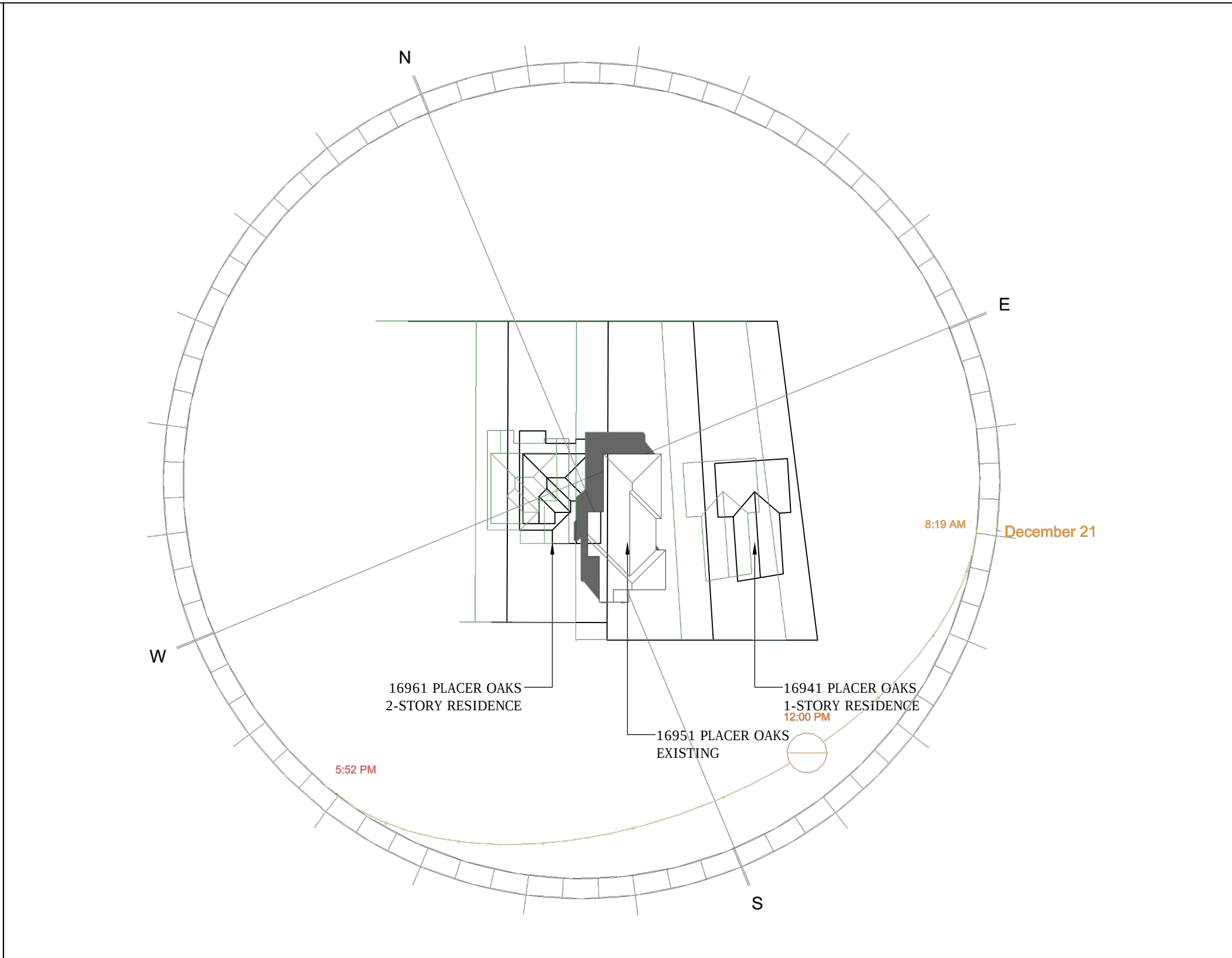
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PROPOSED 2ND STORY ADDITION
DECEMBER 21 12PM



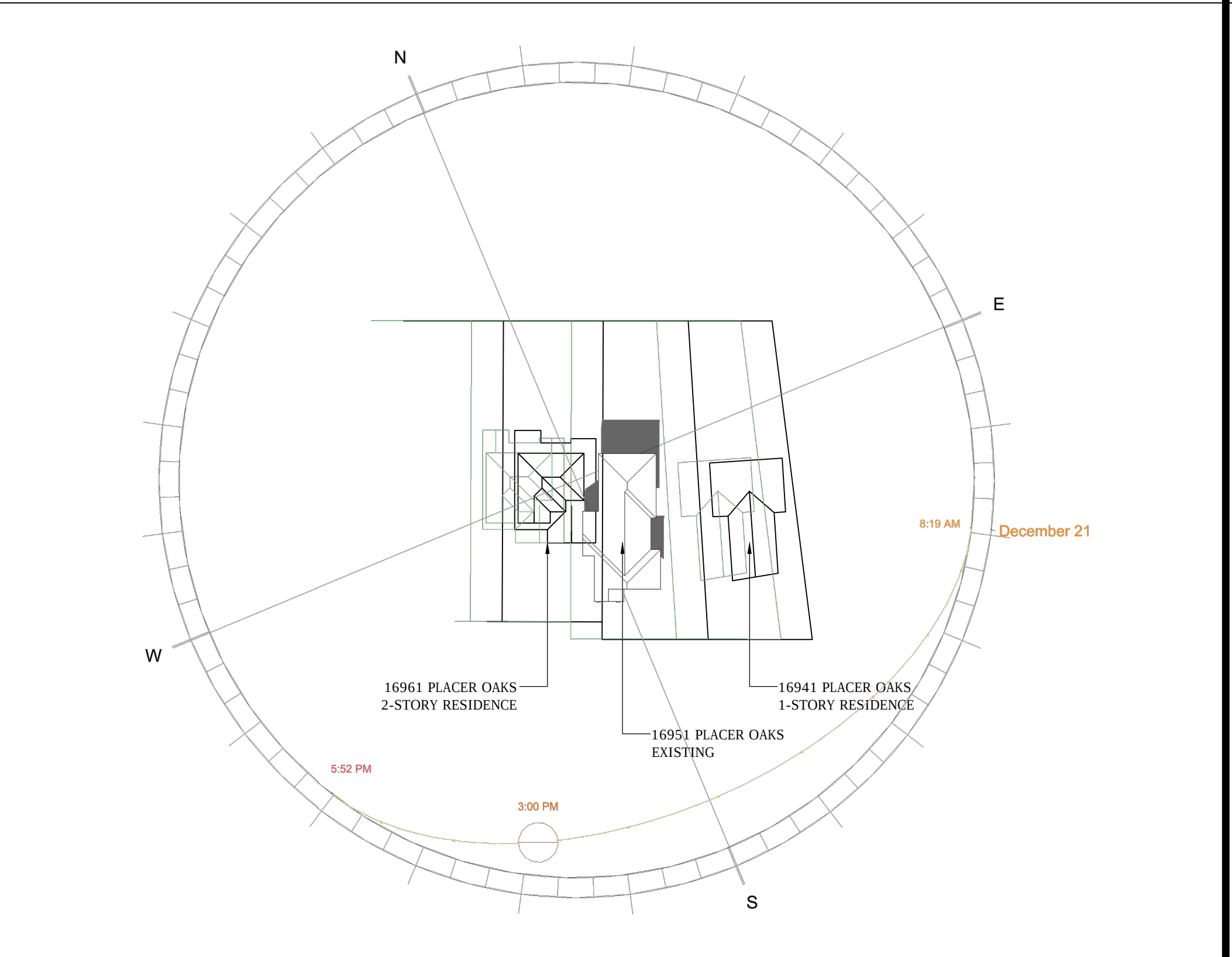
16951 PLACER OAKS SOLAR STUDY
PROPOSED 2ND STORY ADDITION
DECEMBER 21 3PM



16951 PLACER OAKS SOLAR STUDY
EXISTING 1-STORY
DECEMBER 21 9AM



16951 PLACER OAKS SOLAR STUDY
EXISTING 1-STORY
DECEMBER 21 12PM



16951 PLACER OAKS SOLAR STUDY
EXISTING 1-STORY
DECEMBER 21 3PM

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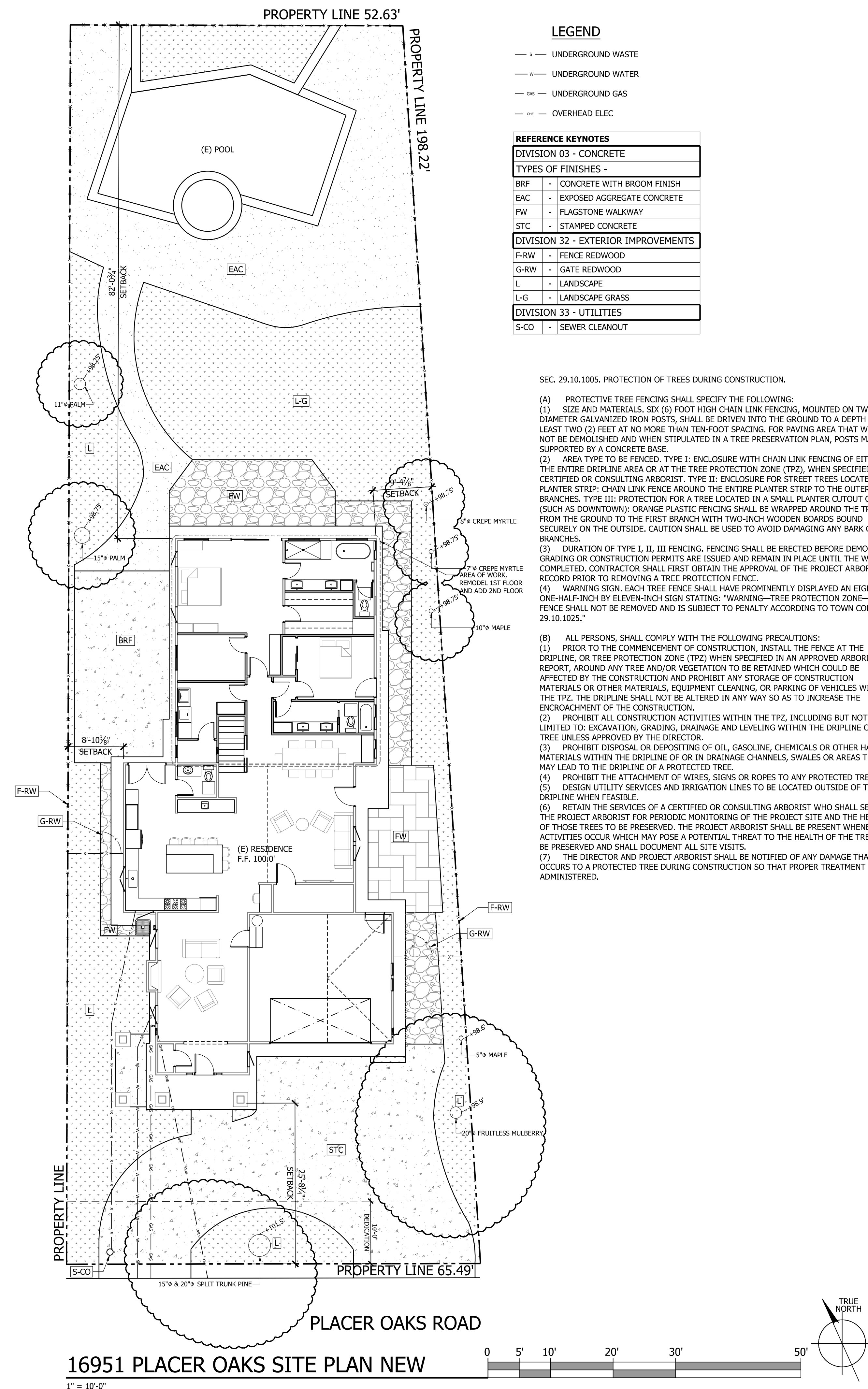
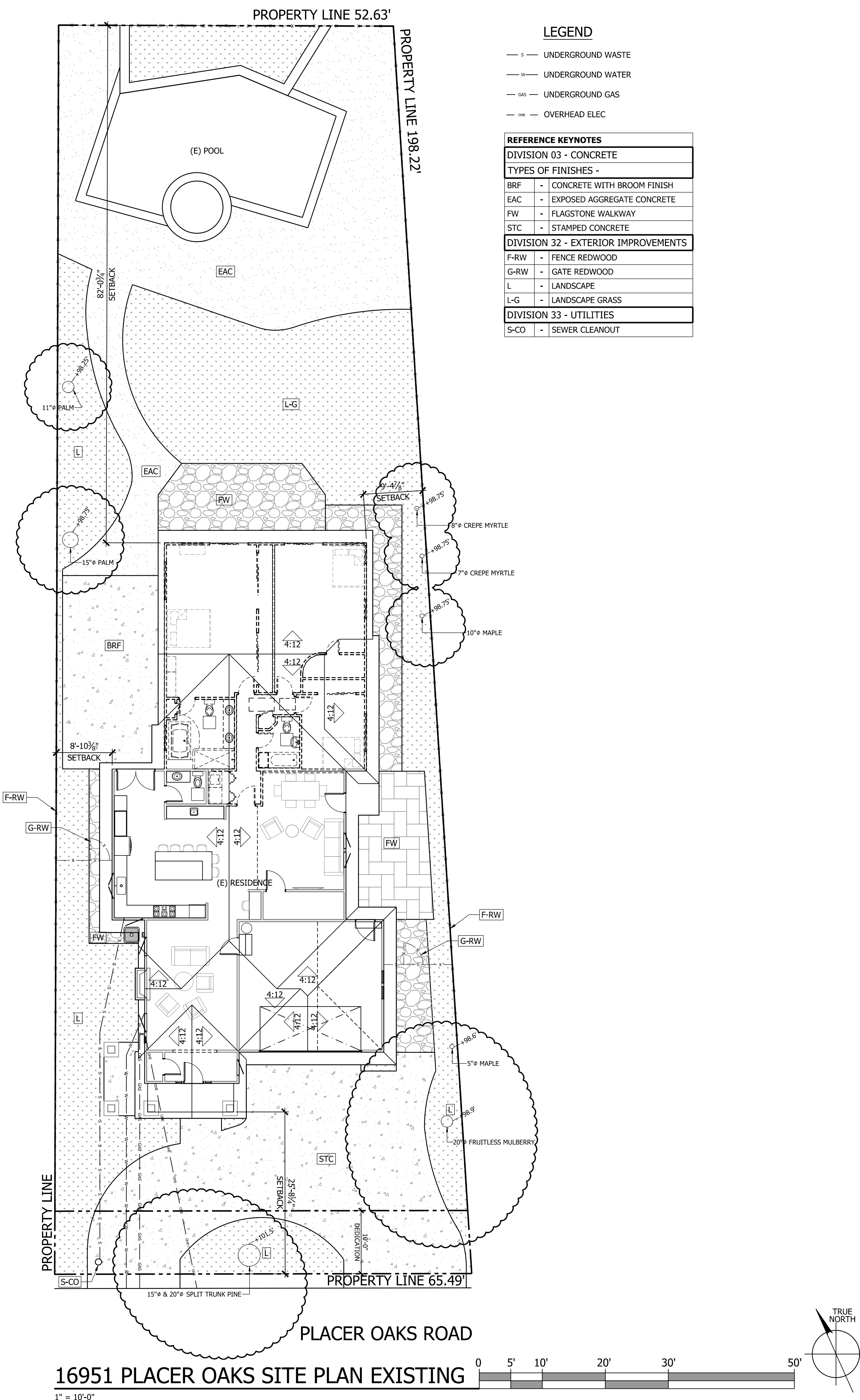
SHADOW STUDY WINTER

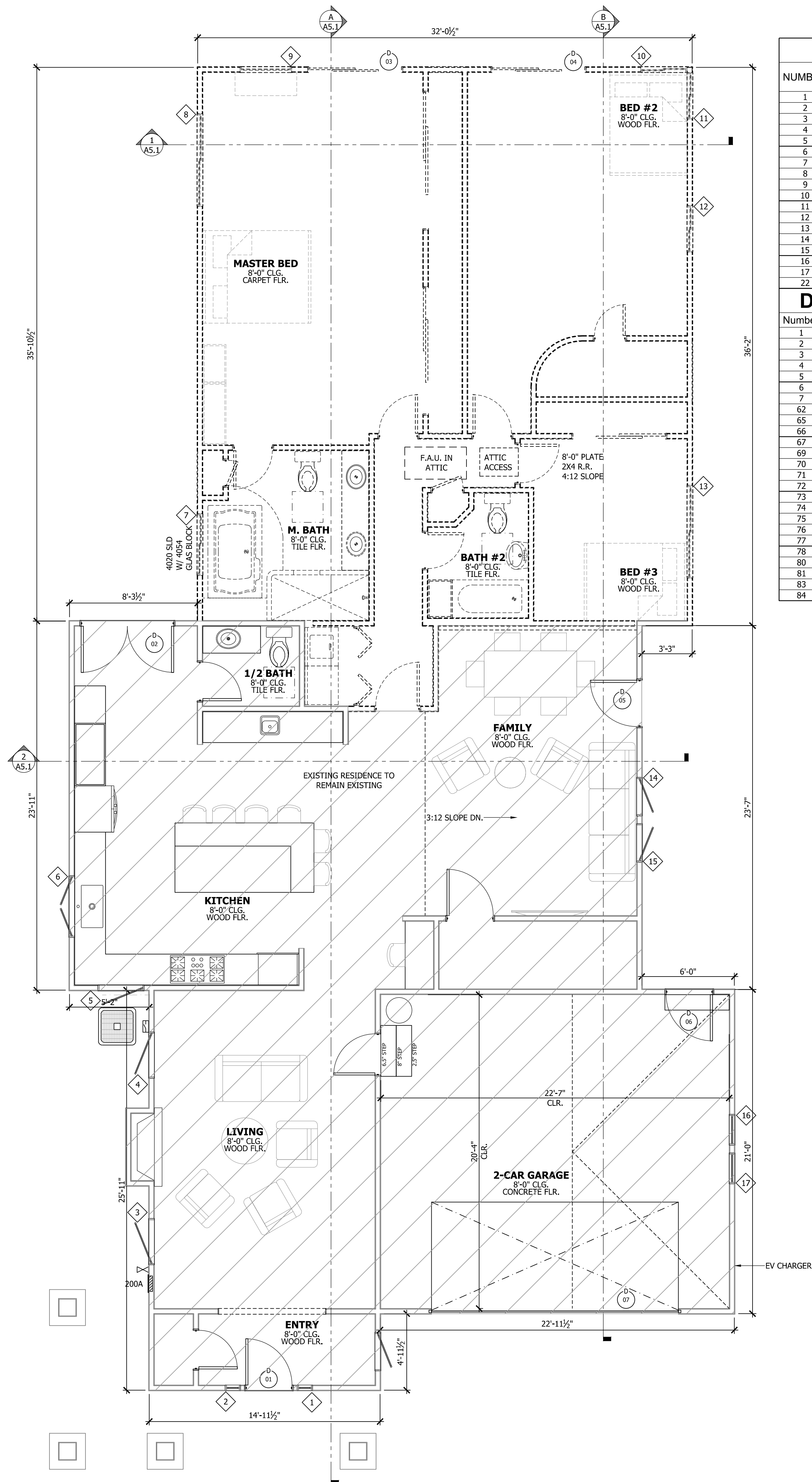
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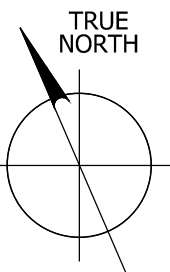
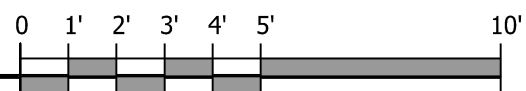


WINDOW SCHEDULE						
NUMBER	SIZE		STYLE	SHCG	U-FACTOR	NOTES
	WIDTH	HEIGHT				
1	1'-0"	6'-8"	PICTURE	.23	.30	--
2	1'-0"	6'-8"	PICTURE	.23	.30	--
3	3'-0"	4'-0"	CASEMENT	.23	.30	--
4	3'-0"	4'-0"	CASEMENT	.23	.30	--
5	3'-0"	3'-0"	CASEMENT	.23	.30	--
6	4'-0"	3'-0"	DOUBLE CASEMENT	.23	.30	--
7	4'-0"	1'-6"	SLIDER	.23	.30	--
8	6'-0"	3'-0"	SLIDER	.23	.30	--
9	3'-4"	3'-4"	PICTURE	.23	.30	--
10	3'-0"	3'-0"	SLIDER	.23	.30	--
11	3'-0"	3'-0"	SLIDER	.23	.30	--
12	3'-0"	3'-0"	SLIDER	.23	.30	--
13	6'-0"	3'-0"	SLIDER	.23	.30	--
14	2'-6"	4'-0"	CASEMENT	.23	.30	--
15	2'-6"	4'-0"	CASEMENT	.23	.30	--
16	2'-0"	4'-0"	PICTURE	.23	.30	--
17	2'-0"	4'-0"	PICTURE	.23	.30	--
22	2'-6"	4'-0"	CASEMENT	.23	.30	--

DOOR AND FRAME SCHEDULE				
Number	SIZE	STYLE	FIRE RATING	NOTES
1	3'-0" x 6'-8" x 1-3/4"	SINGLE - EXTERIOR	--	--
2	PR 3'-0" x 6'-8" x 1-3/4"	DOUBLE - EXTERIOR	--	--
3	PR 3'-0" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--	--
4	PR 3'-0" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--	--
5	3'-0" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
6	3'-0" x 6'-8" x 1-3/4"	SINGLE - EXTERIOR	--	--
7	16'-0" x 7'-0" x 1"	OVERHEAD SECTIONAL	--	--
62	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
65	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
66	3'-0" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
67	6'-11" x 6'-8" x 0"	GYPSON OPENING	--	--
69	2'-4" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
70	2'-10" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
71	4'-11" x 6'-8" x 1-3/4"	DOUBLE BIFOLD	--	--
72	2'-4" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
73	2'-0" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
74	PR 4'-1" x 6'-8" x 1-3/4"	HORIZONTAL BYPASS	--	--
75	PR 4'-5" x 6'-8" x 1-3/4"	HORIZONTAL BYPASS	--	--
76	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
77	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
78	1'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
80	2'-0" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
81	2'-0" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
83	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
84	PR 3'-0" x 6'-8" x 1-3/4"	HORIZONTAL BYPASS	--	--

16951 PLACER OAKS FLOOR PLAN EXISTING

1/4" = 1'-0"



EXTERIOR WALLS DEMOLITION CALC
EXISTING TO REMAIN 160 LF
DEMO WALL 104.1 LF - 40%

LEGEND

----- DEMO WALL 293 LF REMOVED -48% WALLS REMOVED
===== EXISTING WALL 322 LF TO REMAIN

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1ST FLOOR PLAN EXISTING

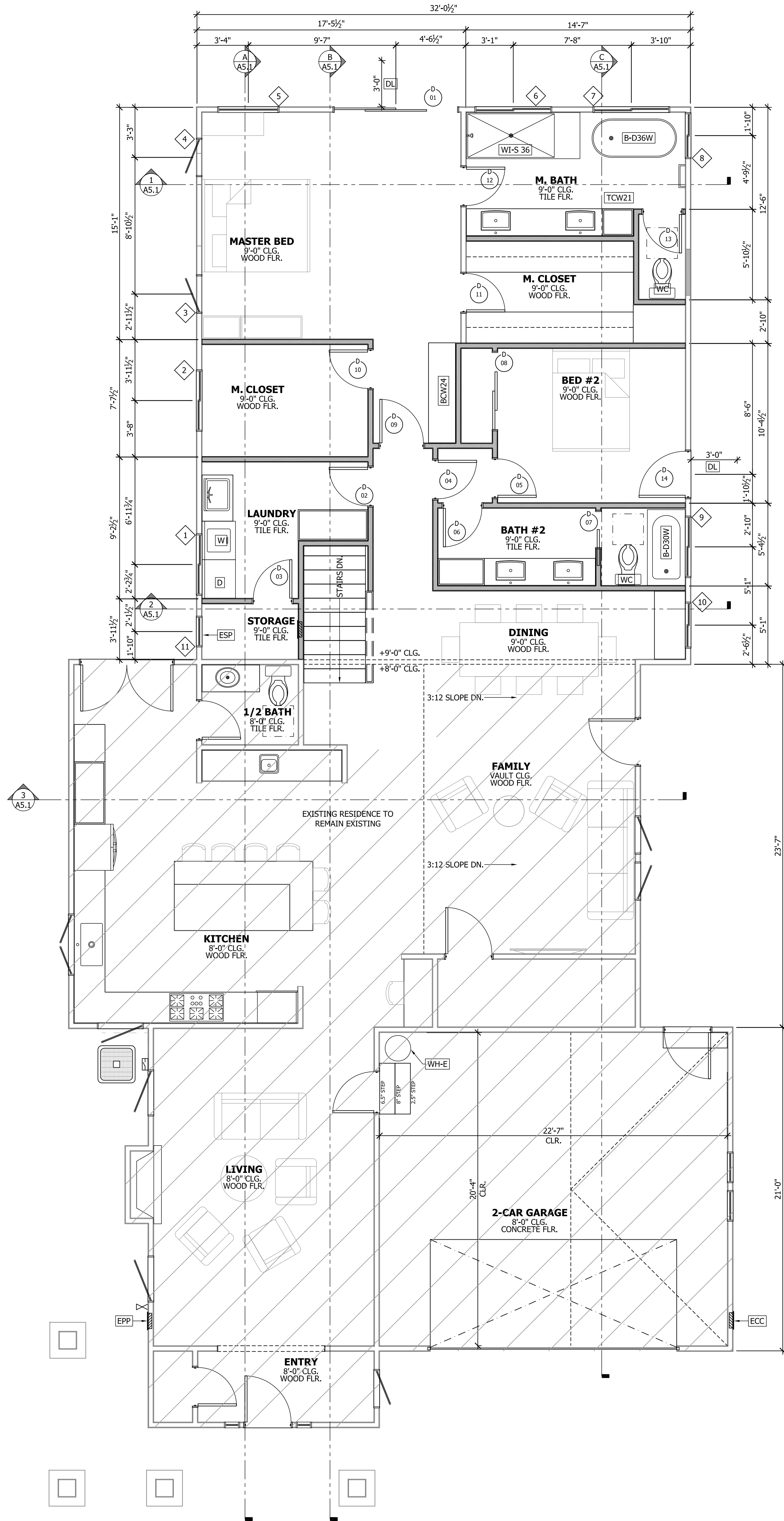
RESIDENTIAL ADDITION/REMODEL FOR:

YOUNG RESIDENCE
16951 PLACER OAKS
LOS GATOS, CA 95032
APN# 529-14-009

DATE: 2022.06.09
PROJECT: 2102
DRAWN BY: DAVID

SHEET:

A2.0



WINDOW SCHEDULE						
NUMBER	SIZE		STYLE	SHCG	U-FACTOR	NOTES
1	4'-0"	4'-0"	SLIDER	.23	.30	--
2	4'-0"	4'-0"	SLIDER	.23	.30	--
3	2'-6"	5'-0"	CASEMENT	.23	.30	--
4	2'-6"	5'-0"	CASEMENT	.23	.30	--
5	4'-0"	4'-0"	PICTURE	.23	.30	--
6	5'-0"	3'-0"	SLIDER	.23	.30	TEMP
7	5'-0"	4'-0"	SLIDER	.23	.30	TEMP
8	3'-0"	4'-0"	SLIDER	.23	.30	TEMP
9	4'-0"	3'-0"	SLIDER	.23	.30	TEMP
10	3'-0"	3'-0"	SLIDER	.23	.30	--
11	2'-0"	4'-0"	PICTURE	.23	.30	--

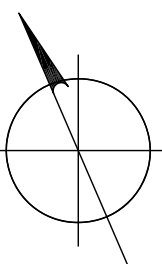
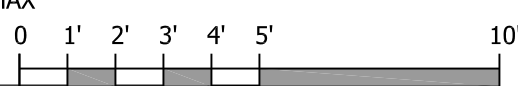
DOOR AND FRAME SCHEDULE				
Number	SIZE	STYLE	FIRE RATING	NOTES
1	PR 4'-0" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--	SAFETY GLAZING
2	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
3	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
4	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
5	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
6	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
7	2'-4" x 6'-8" x 1-3/4"	POCKET	--	--
8	PR 2'-6" x 6'-8" x 1-3/4"	HORIZONTAL BYPASS	--	--
9	2'-10" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
10	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
11	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
12	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
13	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
14	3'-0" x 6'-8" x 1-3/4"	SINGLE - EXTERIOR	--	SAFETY GLAZING

REFERENCE KEYNOTES	
DIVISION 06 - WOOD AND PLASTICS	
CABINETRY -	
BCW24	- BASE CABINET, WOOD, 24" DEEP, W/ ADJUSTABLE SHELVES
DIVISION 08 - DOORS AND WINDOWS	
DL	- LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
DIVISION 11 - EQUIPMENT	
D	- CLOTHES DRYER/ W/ RECESSED DRYER BOX. SEE DETAIL 5/A10.0
W	- CLOTHES WASHER W/ RECESSED WASHING MACHINE BOX
DIVISION 22 - PLUMBING	
B-D30W	- BATHTUB, DROP IN, 30 INCH WIDE X 60 INCH LONG
B-D36W	- BATHTUB, DROP IN, 36 INCH WIDE X 66 INCH LONG
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 7/A10.0
WH-E	- WATER HEATER EXISTING TO REMAIN
WI-S 36	- 36 INCH BY 66 INCH WALK-IN SHOWER WITH 20 INCH BENCH, SEE SHOWER NOTES SHEET A3.1
DIVISION 26 - ELECTRICAL	
ECC	- ELECTRIC CAR CHARGER
EPP	- ELECTRICAL POWER PANEL NEW 200A SERVICE
ESP	- NEW ELECTRICAL SUB PANEL

16951 PLACER OAKS 1ST FLOOR PLAN NEW

1/4" = 1'-0"

1ST FLR LIVING 2,429 SF
2ND FLR LIVING 924 SF MAX
GARAGE 477 SF



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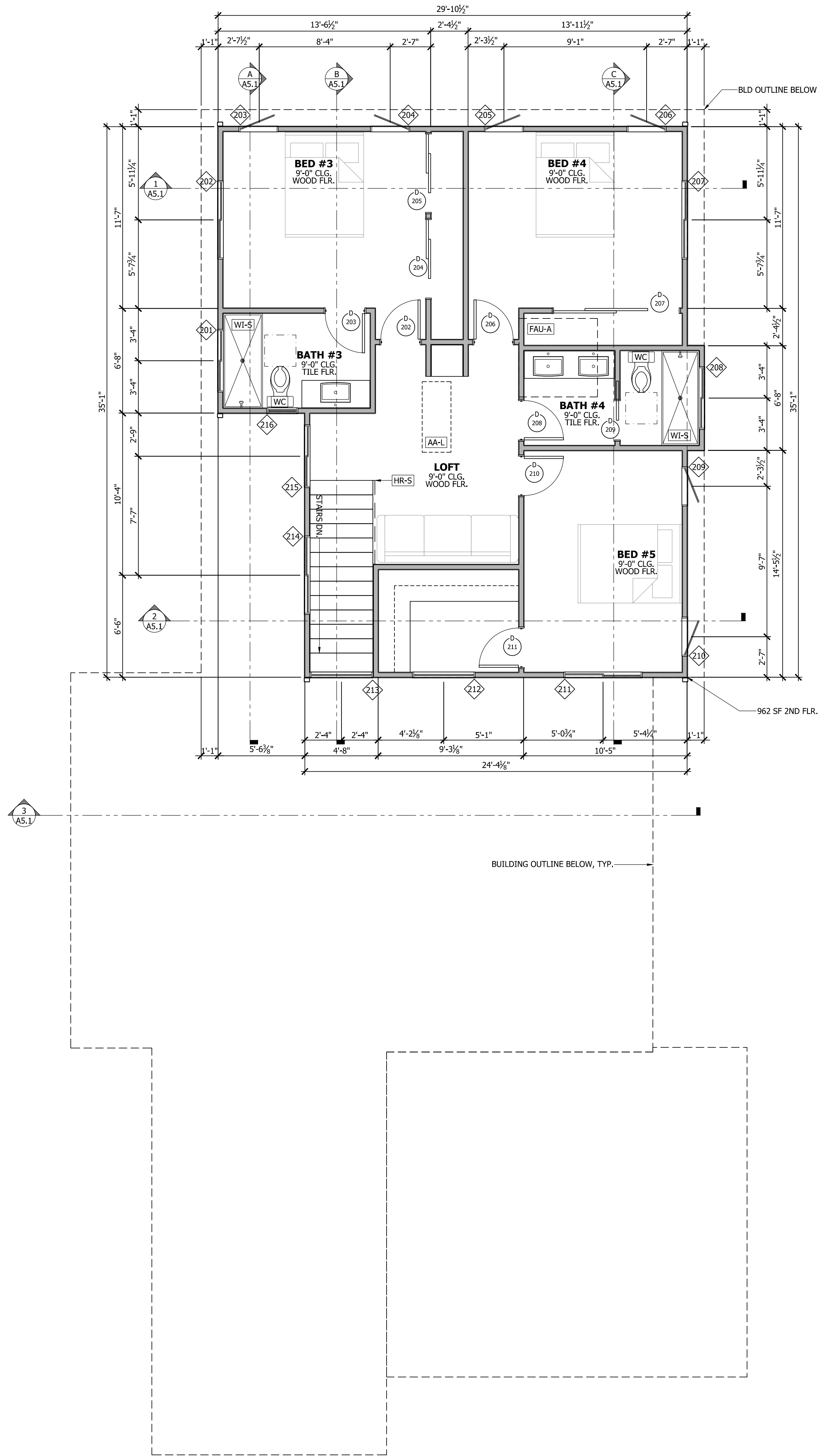
1ST FLOOR PLAN NEW

RESIDENTIAL ADDITION/REMODEL FOR:

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16951 PLACER OAKS
LOS GATOS, CA 95032
APN# 529-14-009

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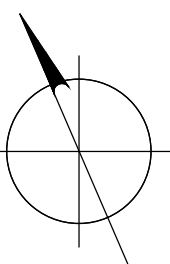
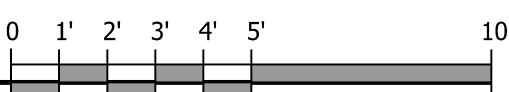
WINDOW SCHEDULE						
NUMBER	SIZE		STYLE	SHCG	U-FACTOR	NOTES
	WIDTH	HEIGHT				
201	4'-0"	3'-0"	SLIDER	.23	.30	TEMP
202	5'-0"	4'-0"	SLIDER	.23	.30	EGRESS
203	2'-6"	5'-0"	CASEMENT	.23	.30	--
204	2'-6"	5'-0"	CASEMENT	.23	.30	--
205	2'-6"	5'-0"	CASEMENT	.23	.30	--
206	2'-6"	5'-0"	CASEMENT	.23	.30	--
207	5'-0"	4'-0"	SLIDER	.23	.30	EGRESS
208	4'-0"	3'-0"	SLIDER	.23	.30	TEMP
209	2'-6"	5'-0"	CASEMENT	.23	.30	--
210	2'-6"	5'-0"	CASEMENT	.23	.30	--
211	5'-0"	4'-0"	SLIDER	.23	.30	EGRESS
212	4'-0"	3'-0"	PICTURE	.23	.30	--
213	4'-0"	3'-0"	PICTURE	.23	.30	--
214	5'-0"	3'-0"	SLIDER	.23	.30	EGRESS
215	4'-0"	3'-0"	SLIDER	.23	.30	--
216	2'-0"	3'-0"	SINGLE HUNG	.23	.30	TEMP

DOOR AND FRAME SCHEDULE				
Number	SIZE	STYLE	FIRE RATING	NOTES
202	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
203	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
204	PR 2'-6" x 6'-8" x 1-3/4"	HORIZONTAL BYPASS	--	--
205	PR 2'-6" x 6'-8" x 1-3/4"	HORIZONTAL BYPASS	--	--
206	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
207	PR 4'-0" x 6'-8" x 1-3/4"	HORIZONTAL BYPASS	--	--
208	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
209	2'-6" x 6'-8" x 1-3/4"	POCKET	--	--
210	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
211	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--

REFERENCE KEYNOTES	
DIVISION 11 - EQUIPMENT	
AA-L	- ATTIC ACCESS LADDER 22 1/2" X 54" REQUIRED FOR ATTICS WHICH ARE MORE THAN 30' IN HEIGHT
DIVISION 22 - PLUMBING	
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 7/A10.0
WI-S	- WALK-IN SHOWER, SEE SHOWER NOTES SHEET A3.1
DIVISION 23 - HVAC	
FAU-A	- DIRECT VENT FORCED AIR UNIT IN ATTIC. SEE DETAIL 17/A10.0

16951 PLACER OAKS 1ST FLOOR PLAN NEW

1/4" = 1'-0"



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2ND FLOOR PLAN NEW

RESIDENTIAL ADDITION/REMODEL FOR:

YOUNG RESIDENCE
16951 PLACER OAKS
LOS GATOS, CA 95032
APN# 529-14-009

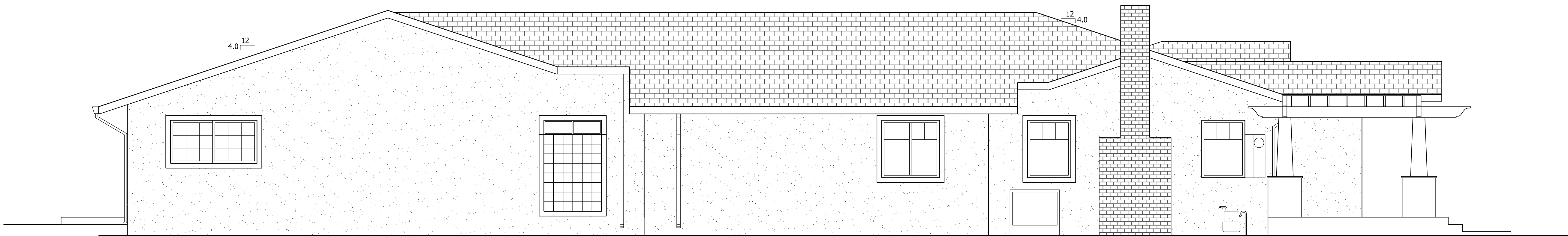
DATE: 2022.06.09
PROJECT: 2102
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SHEET:
A2.2



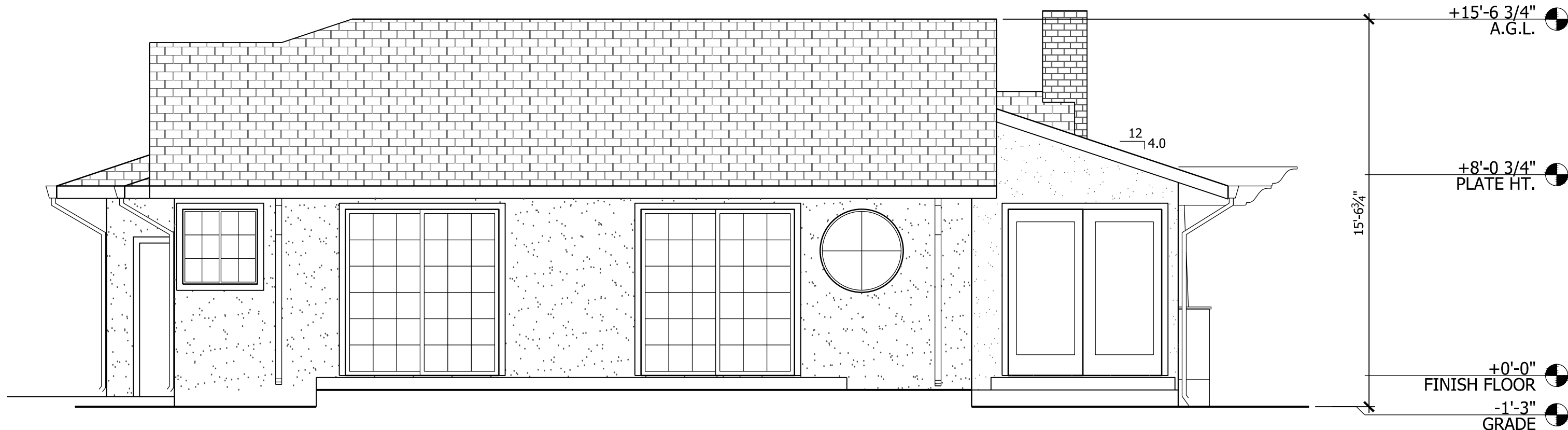
FRONT (SOUTH) ELEVATION EXISTING

1/4" = 1'-0"



LEFT (WEST) ELEVATION EXISTING

1/4" = 1'-0"



REAR (NORTH) ELEVATION EXISTING

1/4" = 1'-0"



RIGHT (EAST) ELEVATION EXISTING

1/4" = 1'-0"

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ELEVATIONS EXISTING

RESIDENTIAL ADDITION/REMODEL FOR:

YOUNG RESIDENCE
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LOS GATOS, CA 95032
APN# 529-14-009

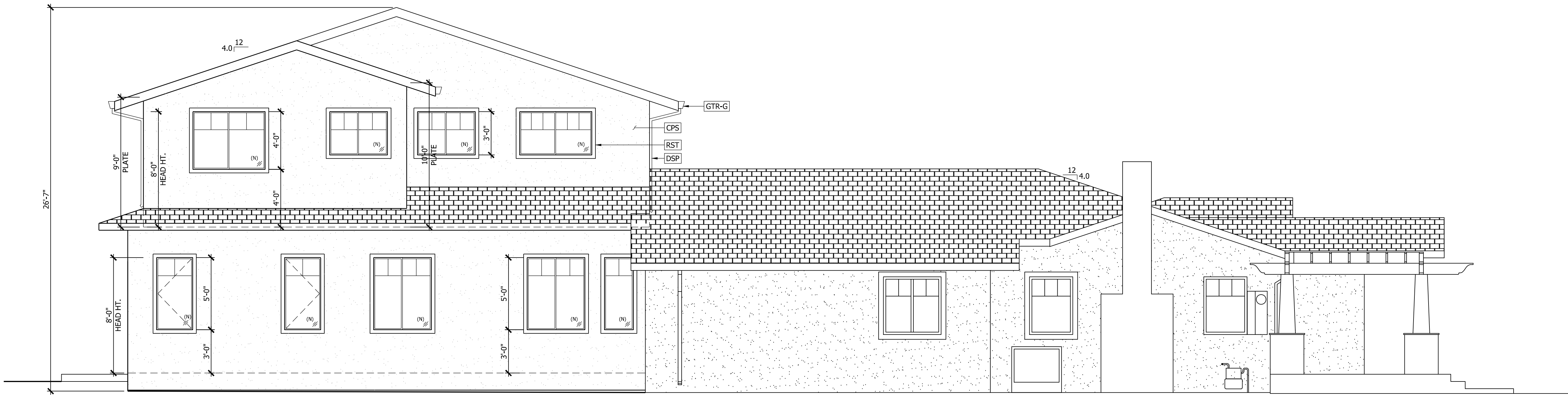
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A3.0



FRONT (SOUTH) ELEVATION NEW

1/4" = 1'-0"



LEFT (WEST) ELEVATION NEW

1/4" = 1'-0"

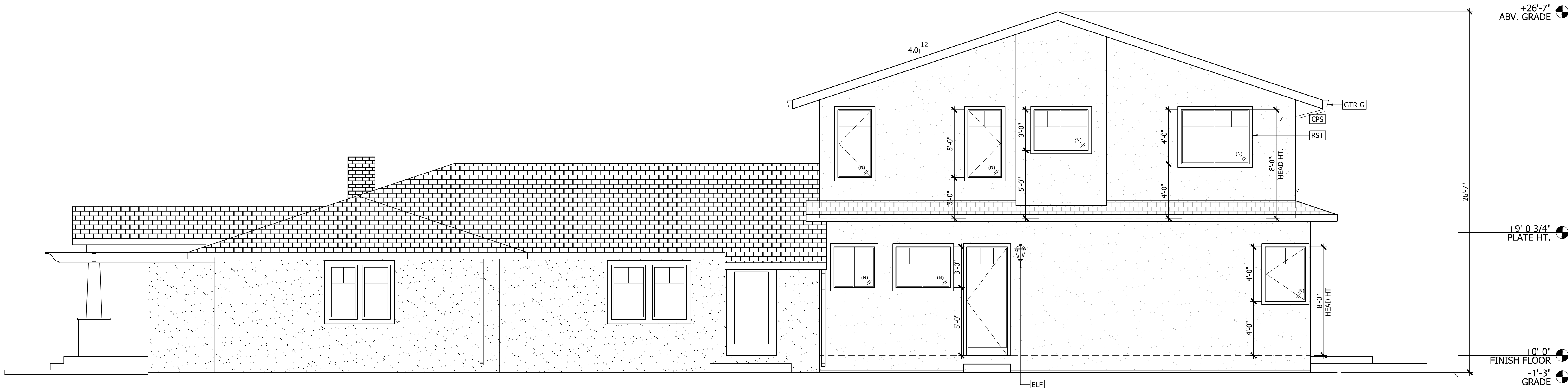
REFERENCE KEYNOTES	
DIVISION 06 - WOOD AND PLASTICS	
MISCELLANEOUS -	
WF	- 1X8 WOOD FASCIA, PAINT TO MATCH WINDOW TRIM
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
DSP	- DOWNSPOUT, DRAIN TO EXISTING ROOF
DSP-2	- DOWNSPOUT WITH SPLASH BLOCK, DRAIN TO LANDSCAPE AREA
FLASHING AND SHEET METAL -	
GTR-G	- GUTTER, GALVANIZED; PAINT TO MATCH WINDOW TRIM. SEE DETAIL _____
ROOFING AND SIDING -	
RST	- 1X ROUGH SAWN TRIM, PAINT WHITE TO MATCH EXISTING
SHG-2	- CLASS 'A' COMPOSITION SHINGLE ROOFING, MATCH EXISTING
DIVISION 09 - FINISHES	
CEMENT PLASTER -	
CPS	- 3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, SAND FINISH
DIVISION 26 - ELECTRICAL	
ELF	- EXTERIOR LIGHT FIXTURE LIGHTING WILL BE DOWNWARD DIRECTED WITH BULBS SHIELDED FROM NEIGHBOR'S VIEW

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REAR (NORTH) ELEVATION NEW

1/4" = 1'-0"



RIGHT (EAST) ELEVATION NEW

1/4" = 1'-0"

REFERENCE KEYNOTES	
DIVISION 06 - WOOD AND PLASTICS	
MISCELLANEOUS -	
WF	- 1X8 WOOD FASCIA, PAINT TO MATCH WINDOW TRIM
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
DSP	- DOWNSPOUT, DRAIN TO EXISTING ROOF
DSP-2	- DOWNSPOUT WITH SPLASH BLOCK, DRAIN TO LANDSCAPE AREA
FLASHING AND SHEET METAL -	
GTR-G	- GUTTER, GALVANIZED; PAINT TO MATCH WINDOW TRIM. SEE DETAIL
ROOFING AND SIDING -	
RST	- 1X ROUGH SAWN TRIM, PAINT WHITE TO MATCH EXISTING
SHG-2	- CLASS 'A' COMPOSITION SHINGLE ROOFING, MATCH EXISTING
DIVISION 09 - FINISHES	
CEMENT PLASTER -	
CPS	- 3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, SAND FINISH
DIVISION 26 - ELECTRICAL	
ELF	- EXTERIOR LIGHT FIXTURE LIGHTING WILL BE DOWNWARD DIRECTED WITH BULBS SHIELDED FROM NEIGHBOR'S VIEW

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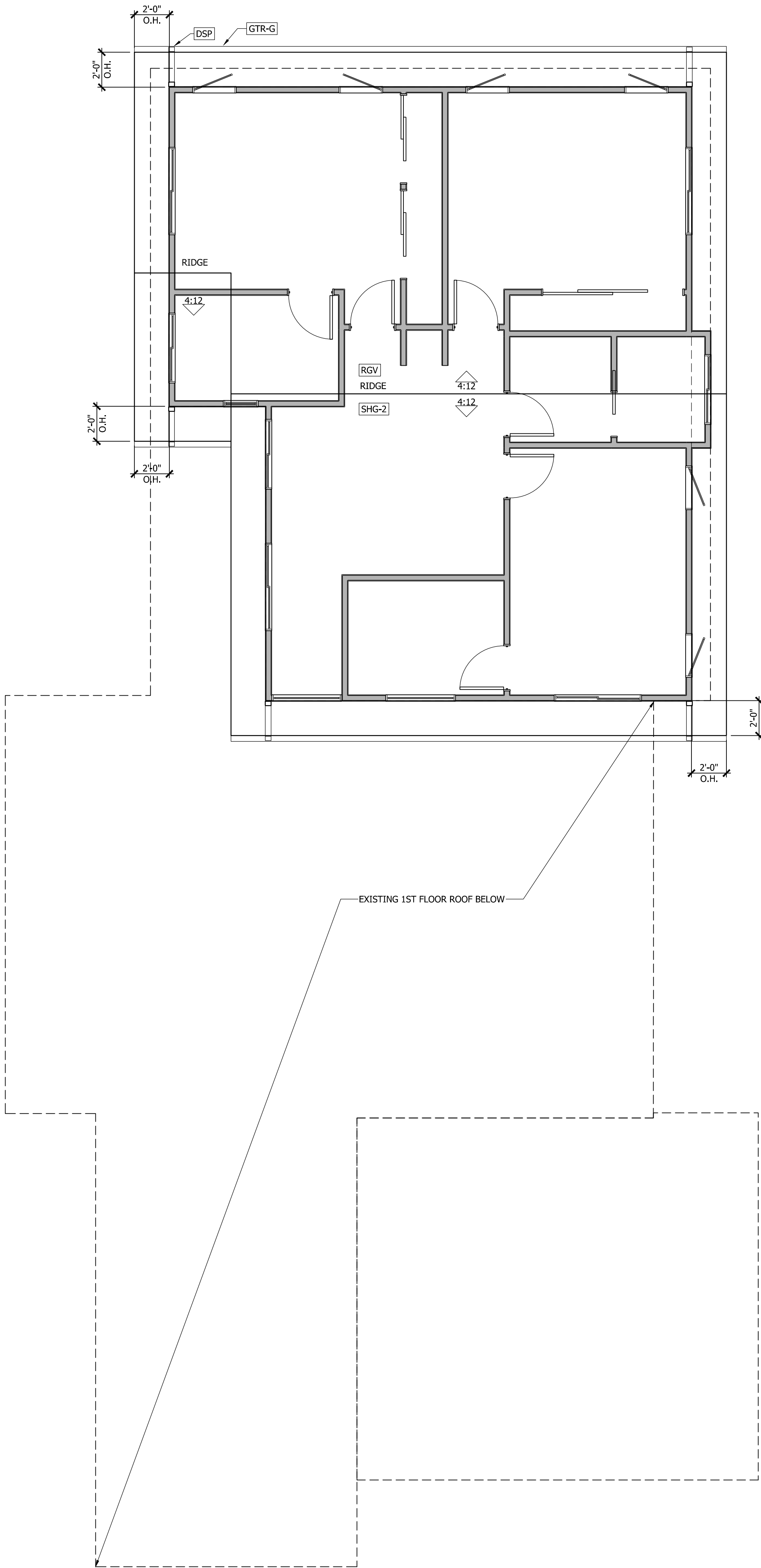
ELEVATIONS NEW

RESIDENTIAL ADDITION/REMODEL FOR:

YOUNG RESIDENCE
16951 PLACER OAKS
LOS GATOS, CA 95032
APN# 529-14-009

DATE:	2022.06.09
PROJECT:	2102
DRAWN BY:	DAVID

SHEET:
A3.2



REFERENCE KEYNOTES	
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
DSP	- DOWNSPOUT, DRAIN TO EXISTING ROOF
FLASHING AND SHEET METAL -	
GTR-G	- GUTTER, GALVANIZED; PAINT TO MATCH WINDOW TRIM. SEE DETAIL
ROOFING AND SIDING -	
RGV	- RIDGE VENT, SEE DETAIL 2/A10.0
SHG-2	- CLASS 'A' COMPOSITION SHINGLE ROOFING, MATCH EXISTING

ATTIC VENTILATION CALCULATIONS:

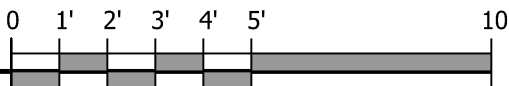
1,159 SF ATTIC/300 EQUAL	TOTAL 3.86 SF
NEED 40%-50% TOTAL REQUIRED SF HIGH VENT	
15' RIDGE VENT @ .125 SF/LF	1.9 SF
NEED 2.5 SF LOW VENT	
(7) LOW PRO VENTS @ .3 SF EACH	2.1 SF
TOTAL	4.0 SF
TO BE INSTALLED	

ROOF NOTES:

- PLYWOOD FOR ANY SURFACE OR EDGE EXPOSED TO WEATHER MUST BE BONDED WITH EXTERIOR GLUE.
- EXPOSED GLU-LAMS SHALL BE PRESERVATIVE TREATED, APPLIED BY THE MANUFACTURER, OR MADE FROM NATURALLY DURABLE WOOD.
- ALL FASTENERS USED FOR ATTACHMENT OF SIDING SHALL BE CORROSION-RESISTANT (R703.4)
- NEW ROOF SHEATHING TO BE MINIMUM 15/32"CDX/OSB APA RATED FOR 24" O.C. FRAMING, NAIL WITH 8d AT 6" O.C. EDGE, 12 O.C. FIELD. INSTALL WITH FACE GRAIN PERPENDICULAR TO FRAMING, STAGGER END JOINTS.
- CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT OPENINGS AND INTERSECTIONS/ATTACHMENTS. (R703.8)
- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; VERTICALLY AT FLOOR AND CEILING LEVELS, HORIZONTALLY AT INTERVALS NOT TO EXCEED 10' (R302.11)
- FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR SHALL BE CHECKED BEFORE ENCLOSURE, CBC 4.505.3

16951 PLACER OAKS ROOF PLAN

1/4" = 1'-0"



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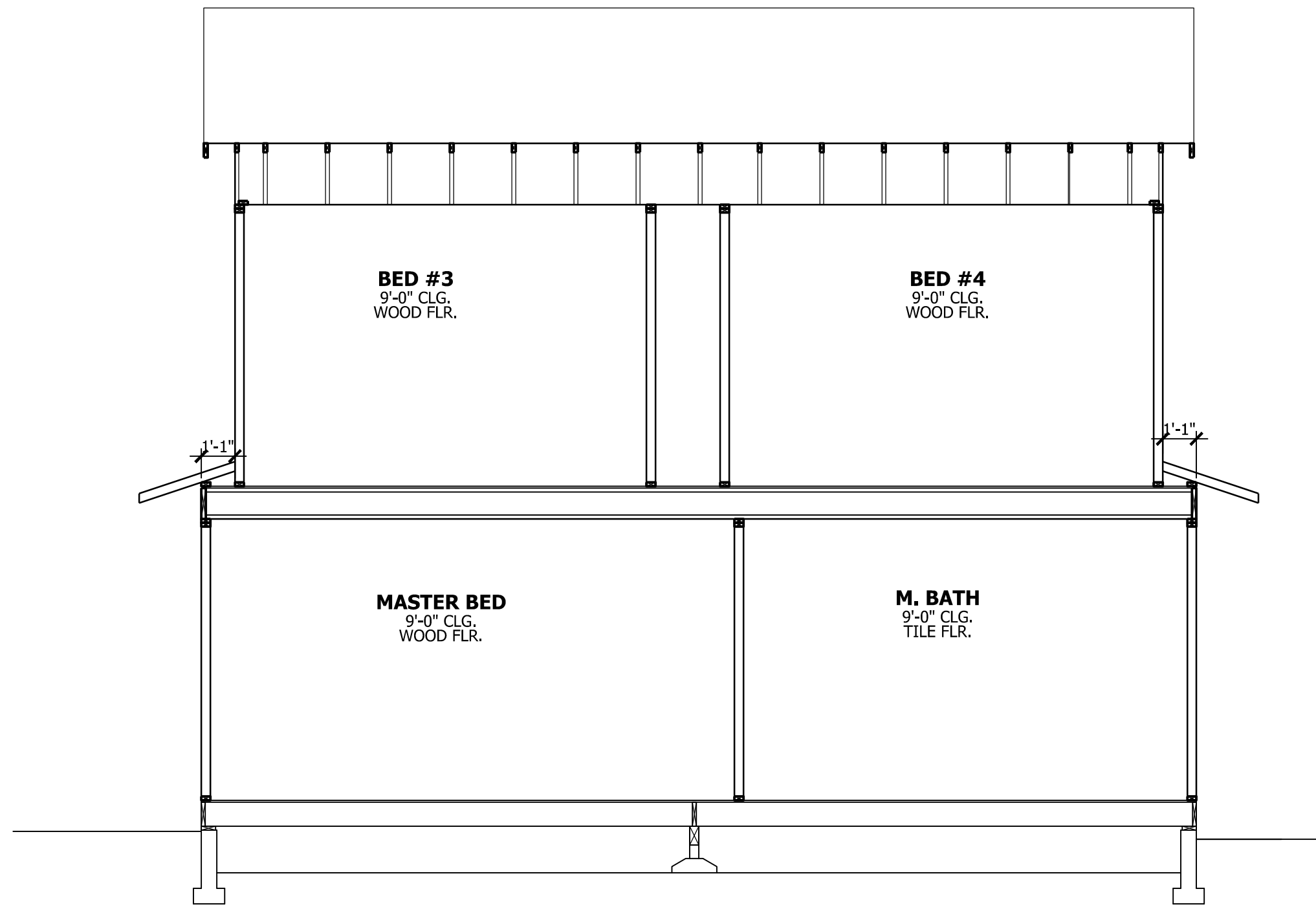
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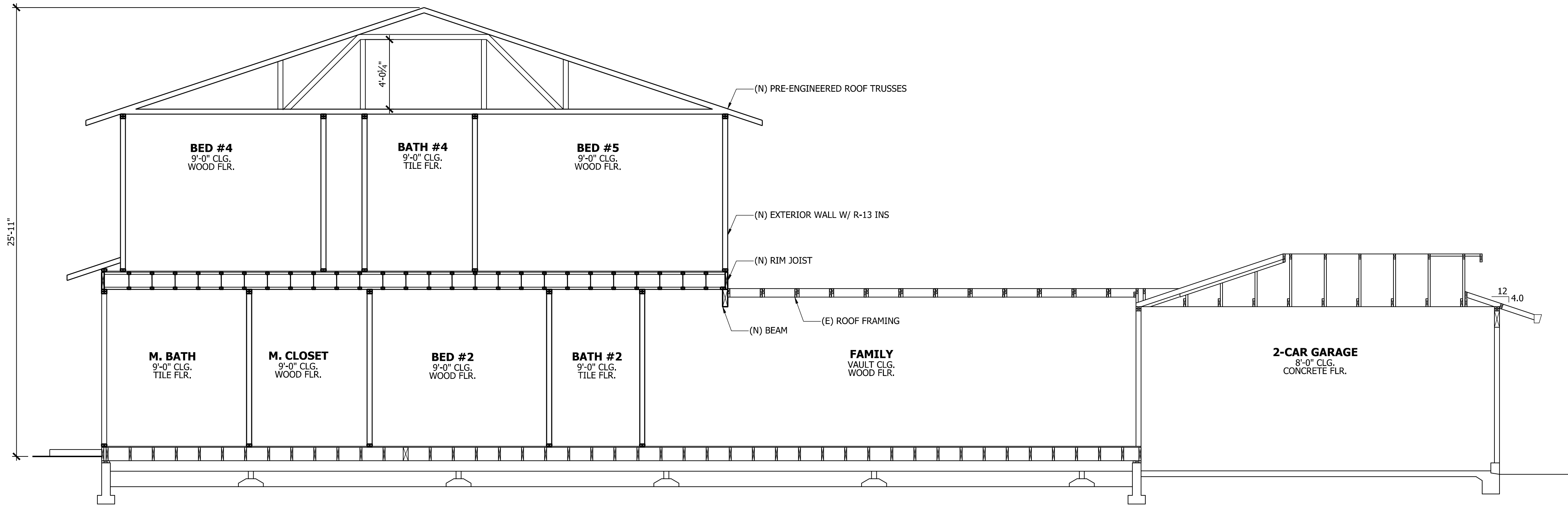
YOUNG RESIDENCE
16951 PLACER OAKS
LOS GATOS, CA 95032
APN# 529-14-009

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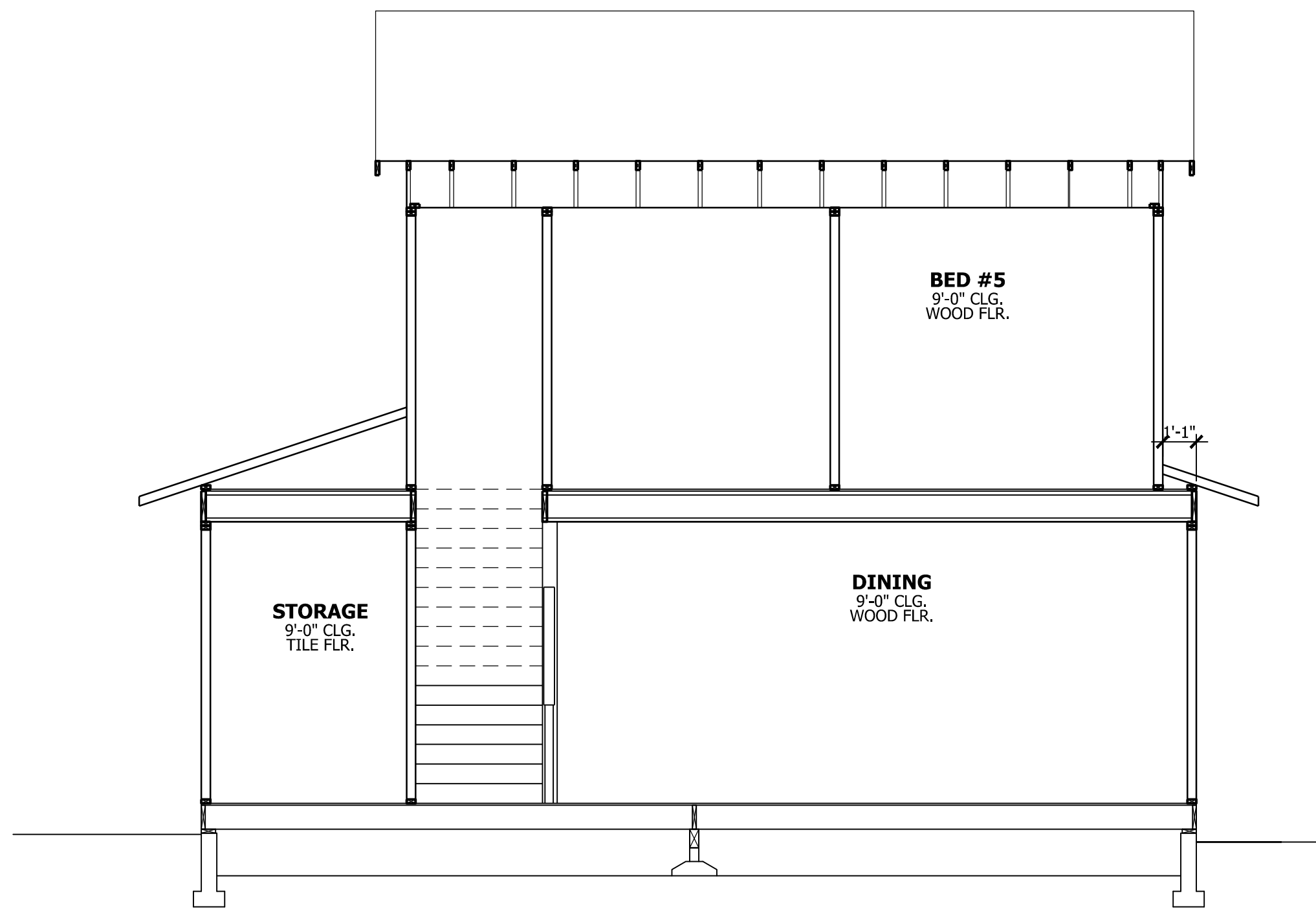
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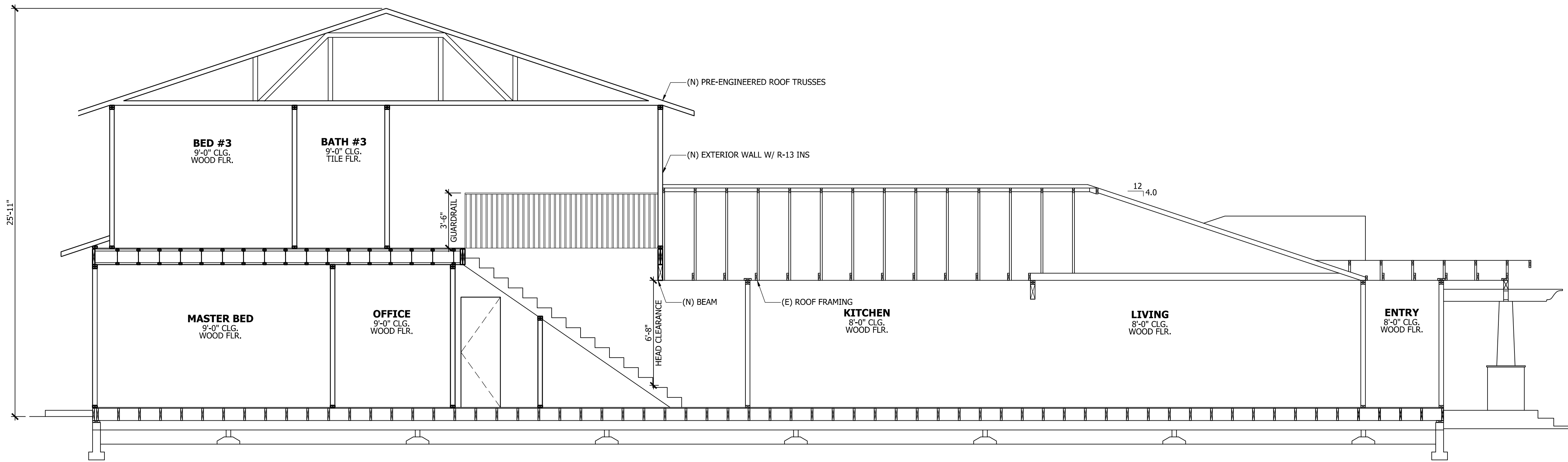
SECTION 1
1/4" = 1'-0"



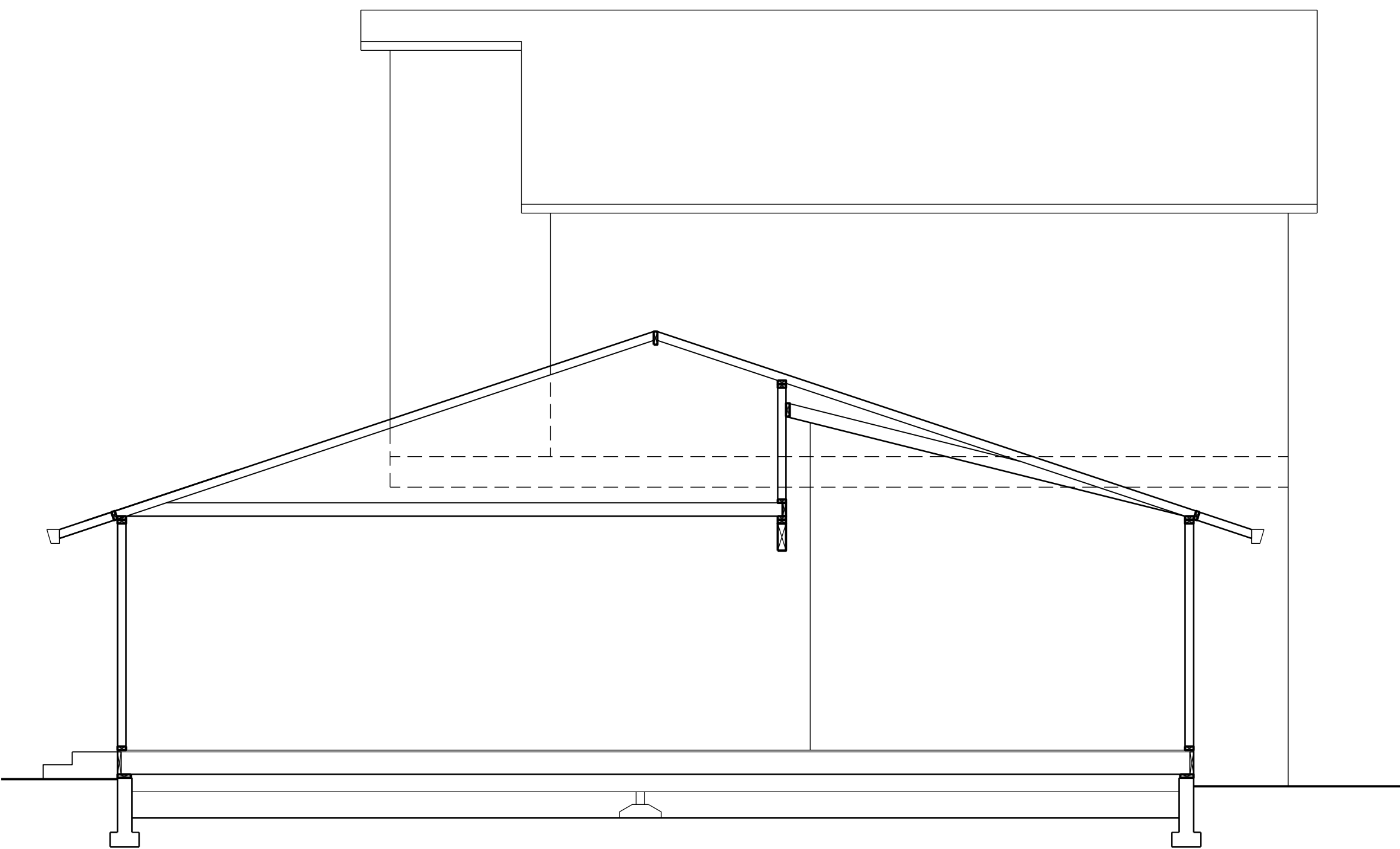
SECTION C
1/4" = 1'-0"



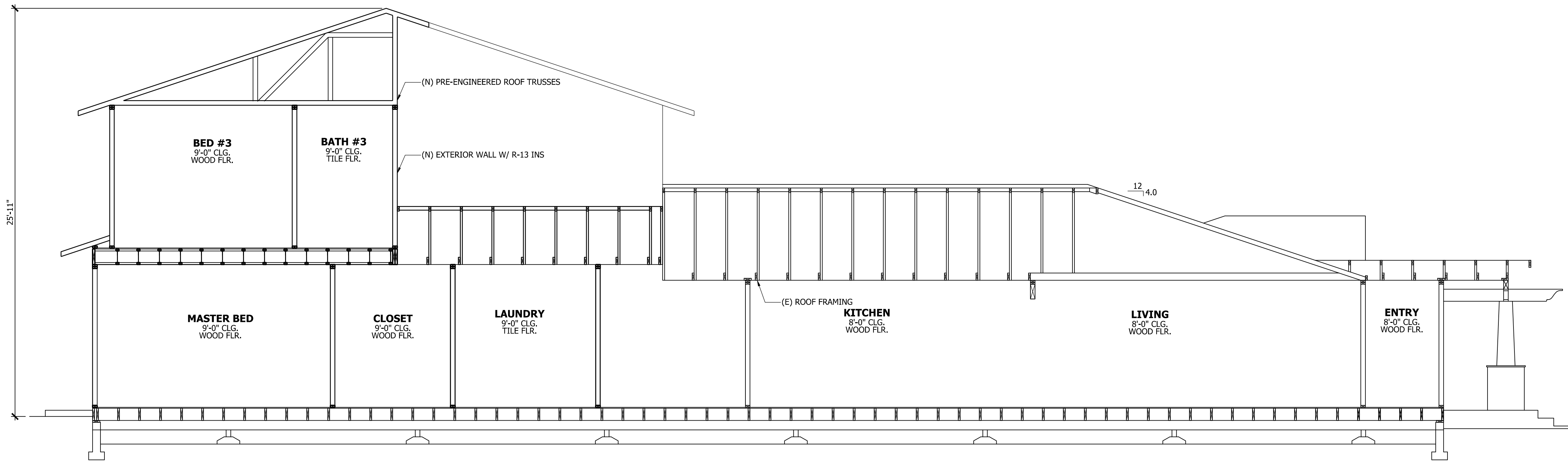
SECTION 2
1/4" = 1'-0"



SECTION B
1/4" = 1'-0"



SECTION 3
1/4" = 1'-0"



SECTION A
1/4" = 1'-0"

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SECTIONS

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APN# 529-14-009

DATE: 2022.06.09
PROJECT: 2102
DRAWN BY: DAVID

SHEET:
A5.1