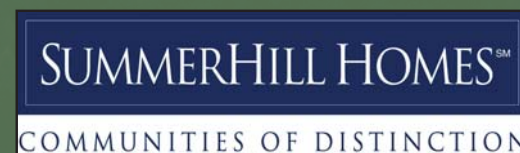


TOWN OF LOS GATOS, CALIFORNIA

North 40



PHASE I
RESIDENTIAL & MIXED-USE NEIGHBORHOOD DEVELOPMENT
ARCHITECTURE AND SITE PLANNING, WITH TENTATIVE MAP, APPLICATION

NOVEMBER 14, 2013

APRIL 29, 2014

MARCH 12, 2015

OCTOBER 14, 2015

FEBRUARY 8, 2016

MARCH 18, 2016

[FILE NAME: 710920 LOS GATOS NORTH 40 PHASE I PROJECT TWO SHEET INDEX.DWG] [TAG: 300(C) (R)] [Month 12, Wednesday 2011, 2:15pm] [Plotted by: J25EN] [Plot Setting: Full (80%)]
[XREF FILE NAME: \\N0020001\XREF\002\PHASE I.DWG]

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Los Gatos North 40 Phase I

Architecture and Site Planning Application

Project Description

Phase I of the North 40 is a comprehensive proposal by Grosvenor, SummerHill Homes and Eden Housing for the Lark and Transition Districts. Together, the proposal is for a master plan that will provide continuity with the development of future phases, including the Northern District. The Town's Draft Specific Plan, including the Specific Plan Vision Statement, has been brought to life without compromising thoughtful design. Approximately 67,991 square feet of retail and restaurant offerings, including an intimate 20,920 square foot Market Hall, are proposed in the Transition District to serve this new community as well as the existing surrounding neighborhoods.

The 320 residential units proposed include diverse residences that target the Town's unmet needs: for young professionals and seniors. These include 50 senior affordable apartments directly above Market Hall, providing convenient access to goods and services; 80 multi-family condominium homes, 180 condominium homes designed with the young professional or couple in mind, 8 rental apartments above retail, and 2 live-work residences.

A network of paseos, parks and gathering spaces linked by orchard trees and community gardens provide over 30% of the project area as open space, with beautiful view corridors and places for residents to come together.

Vicinity Map



Project Team

Master Plan / Transition District

Developer: Grosvenor
Contact: Don Capobres
221 Bachman Ave.
Los Gatos, CA 95030
P: 415.710.7640
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Lark District

Developer: SummerHill Homes
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E: wbaker@shhomes.com

Developer: Lexor Builders, Inc.

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Affordable Housing

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Master Plan / Transition District

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Lark District

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Master Plan / Transition District

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Lark District

Landscape Architect: Van Dom Abed
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Community Gardens Advisor: Garden To Table

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Lighting / Photometrics: Interface Engineering

Contact: Kristina Santi
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San Francisco, CA 94103
E: kristinas@interfaceeng.com

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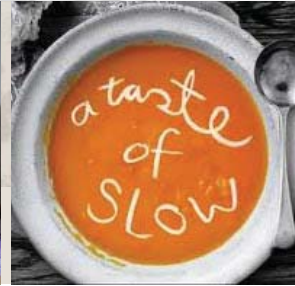
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THE NORTH 40 CELEBRATING THE LOS GATOS LIFESTYLE

TOWN COUNCIL VISION STATEMENT

The North 40 reflects the special nature of our hometown. It celebrates our history, agricultural heritage, hillside views and small town character. The North 40 is seamlessly woven into the fabric of our community, complementing other Los Gatos residential and business neighborhoods. It is respectful of precious community resources and offers unique attributes that enrich the quality of life of all our residents.

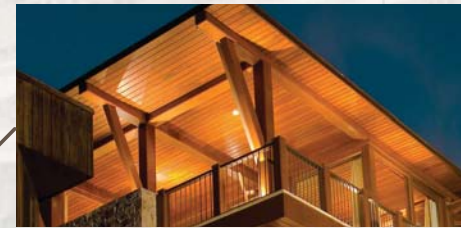


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WALKING TOUR THE NORTH 40 PHASE I



**KEEPING THE NEXT
GENERATION IN LOS GATOS**
CONDOMINIUM CLUSTER
RESIDENTIAL



**KEEPING THE NEXT
GENERATION IN LOS GATOS**
CONDOMINIUM CLUSTER
RESIDENTIAL



**EMBRACING THE OUTDOOR
LIFESTYLE**
CONNECT, GATHER, GROW



LIVE, MEET, RELAX
A DIVERSE AND VIBRANT
NEIGHBORHOOD



**KEEPING THE NEXT
GENERATION IN LOS GATOS**
ROWHOME RESIDENTIAL



**KEEPING THE NEXT
GENERATION IN LOS GATOS**
GARDEN CLUSTER RESIDENTIAL



WALKABLE TRANSITIONS
THE LARK AND TRANSITION
DISTRICTS CONNECT AS ONE



HEART OF THE DISTRICT
SPECIALTY MARKET/ MARKET HALL

REALIZING THE VISION

After years of working with the Town of Los Gatos, Grosvenor, SummerHill Homes and Eden Housing believe we have captured the essence of the Town Council's Vision Statement and Guiding Principles in an authentic Los Gatos village. Our plan features a mix of housing opportunities tailored to meet the Town's unmet needs for places for young professionals and seniors to live. The residences are tied together with an open space plan that embraces the site's agricultural history through functioning community gardens and orchard treatments. Finally, the heart of the project comes alive with a specialty market and neighborhood retail where neighbors, friends and families can gather and celebrate the Los Gatos quality of life.

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HEART OF THE DISTRICT

AN INVITING SUGGESTION OF HISTORIC STRUCTURE

TOWN COUNCIL VISION

GUILDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- The two buildings that face Los Gatos Boulevard make notable reference to the site's and to Los Gatos' agricultural root
- The building designs will create a place that feels genuine and that speaks "neighborhood" rather than "project".



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HEART OF THE DISTRICT GROW LOCAL, EAT LOCAL

TOWN COUNCIL VISION GUILDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- A specialty market will provide quality artisan products consistent with the Los Gatos lifestyle
- A shopping experience unlike anything offered in the Town will complement Downtown's boutiques and Los Gatos Boulevard's commercial strip centers, and provide an anchor for North Los Gatos
- Informal gathering spots will offer the opportunity to slow down, meet neighbors and spend time with family

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See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity.

HEART OF THE DISTRICT SPECIALTY MARKET/ MARKET HALL

TOWN COUNCIL VISION GUILDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- A walkable neighborhood with cafes, restaurants and personal services will connect the lifestyles of today's empty nesters and young professionals
- Produce, flowers and artisan goods will flow out onto the sidewalks, exhibiting a strong connection to the area's agrarian roots

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LIVE, MEET RELAX NEIGHBORHOOD SERVING RETAIL

TOWN COUNCIL VISION GUILDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Walkable neighborhood-scale retailers, restaurants and cafes will provide opportunities for residents to meet, socialize and satisfy their needs for everyday goods and services
- Transition District retail will be designed to complement future retail development in the Northern District

NORTH FORTY

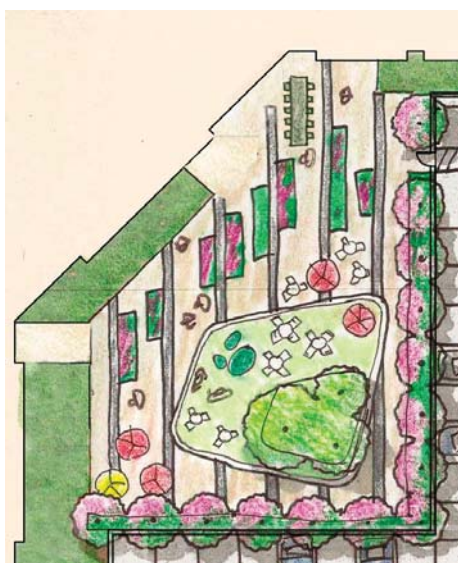
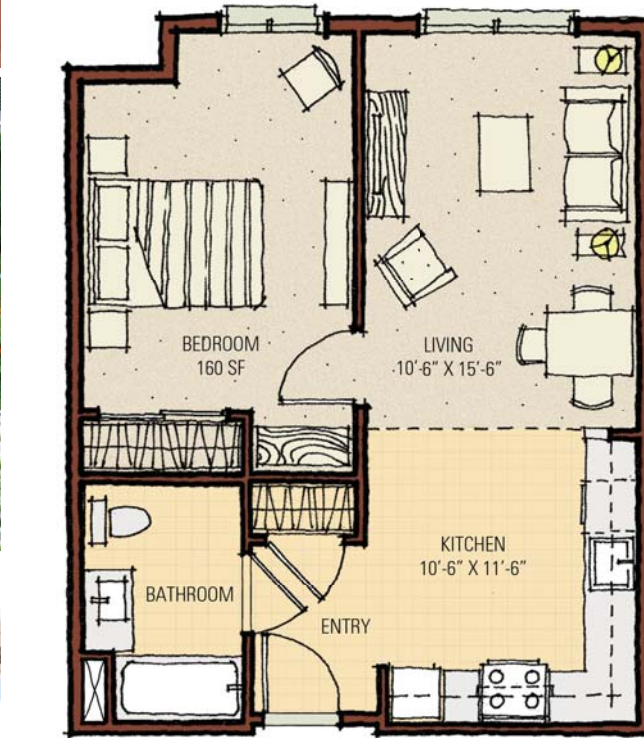
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LIVE, MEET, RELAX A DIVERSE AND VIBRANT NEIGHBORHOOD

TOWN COUNCIL VISION GUILDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Smaller senior affordable apartments will be located alongside retail and homes for young professionals, creating a diverse and sustainable neighborhood
- Pedestrian-oriented open spaces, community gardens and plazas will provide additional opportunities for relaxation and activity
- Proximity to goods and services will enhance the attractiveness and financial feasibility of the senior affordable residences

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CONNECT
GATHER
GROW

EMBRACING THE OUTDOOR LIFESTYLE COMMUNITY PARKS & GARDENS

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Centralized community gardens to come together, learn, and grow
- Multiple gathering spaces for residents to dine, unwind, and unplug
- Bocce court for interactive fun between neighbors
- Continued orchard treatment and connectivity to paseos

NORTH FORTY

LOS GATOS, CA

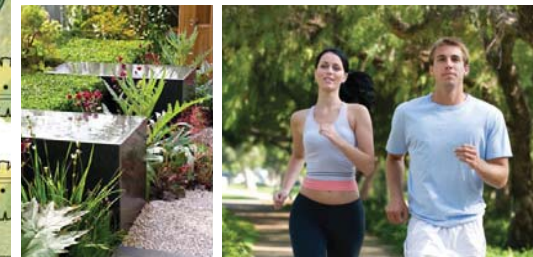
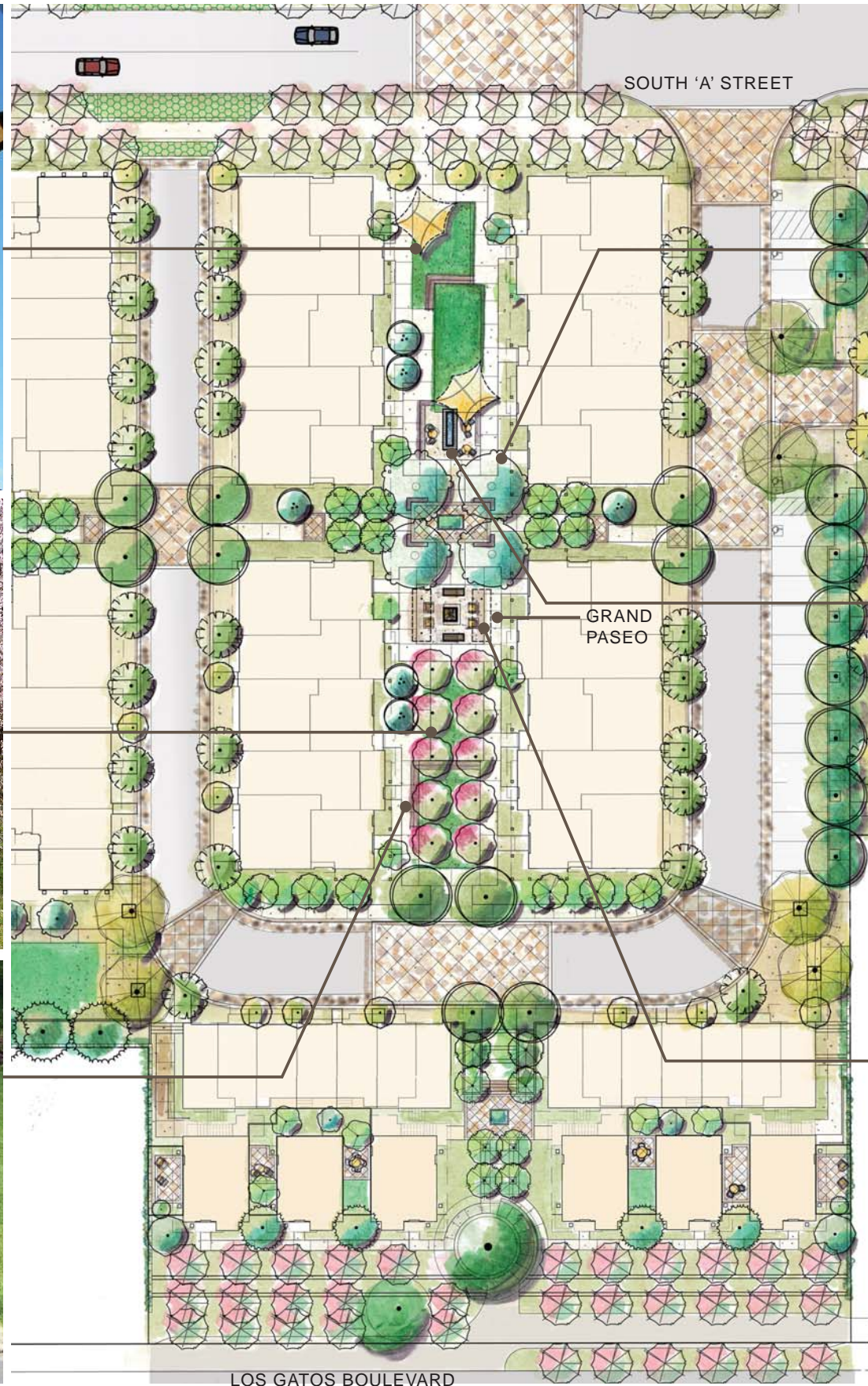


SUMMERHILL HOMESSM
COMMUNITIES OF DISTINCTION



192-072

03.18.16



EMBRACING THE OUTDOOR LIFESTYLE GRAND PASEO LINKING SOUTH A STREET TO LOS GATOS BOULEVARD

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Grand Paseo complete with fire pits, area to lounge, shade sails, and continued orchard treatment
- Interwoven paseos throughout the neighborhoods with orchard trees, intimate gathering spaces, and view corridors
- Dog park and walking trail for our best friend to play in and enjoy

NORTH FORTY

LOS GATOS, CA



SUMMERHILL HOMESSM
COMMUNITIES OF DISTINCTION



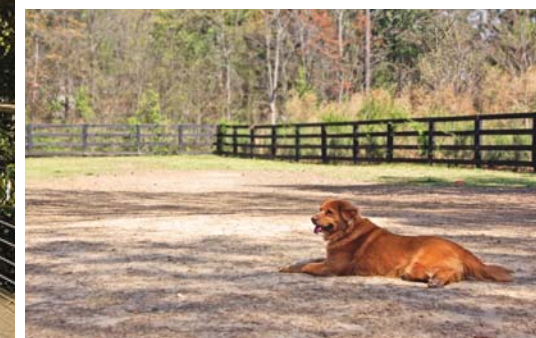
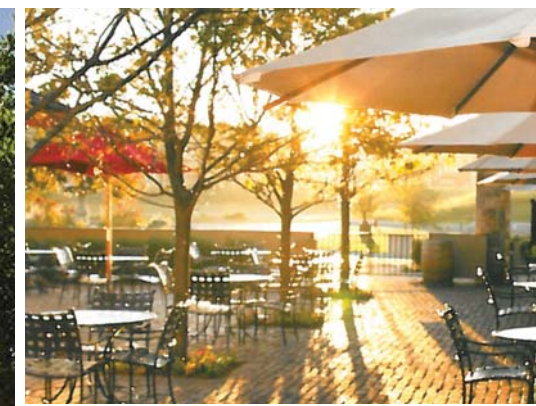
192-072

03.18.16

EMBRACING THE OUTDOOR LIFESTYLE COMMUNITY PARK & GARDENS



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity



TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/ or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Mid-block central Community Park with a diverse offering of innovative amenities to attract the "unmet needs" buyer
- Garden plots to be adopted and grown by Lark and Transition District residents
- Continued orchard trees
- Pedestrian and inter-district connectivity through a network of paseos

NORTH FORTY

LOS GATOS, CA



192-072

03.18.16



WALKABLE TRANSITIONS THE LARK & TRANSITION DISTRICTS CONNECT AS ONE



See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- An inviting and warm pedestrian and vehicular corridor that joins the existing and new
- A walkable neighborhood street that seamlessly connects the districts
- A tapestry of residential offerings to meet the unmet needs of the town woven together with paseos, and common landscape treatments
- Moving from the lower intensity residential Lark District to a range of uses including residential, neighborhood-serving stores, and a specialty market

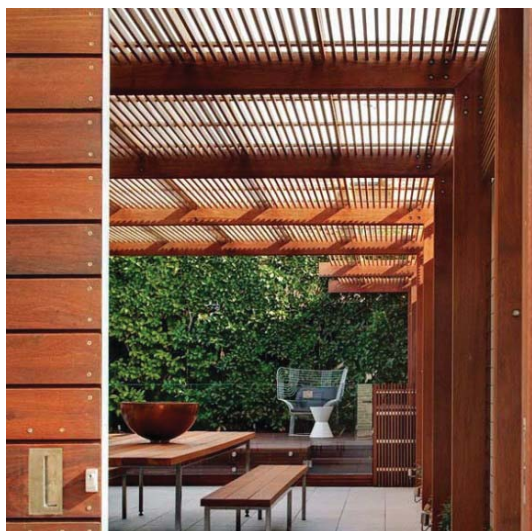
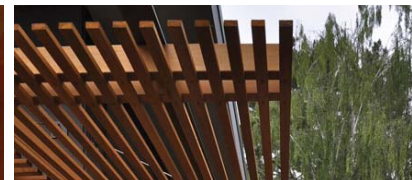
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LOS GATOS, CA



192-072

03.18.16



See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity

KEEPING THE NEXT GENERATION IN LOS GATOS GARDEN CLUSTER RESIDENTIAL

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/ or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Homes with media spaces and rooms, open floor plans, loft living, large screen walls for gaming or viewing
- Access to terraces and creative outdoor space (on select plans) that provide room for Fido and Spot
- Large windows to maximize interior light and elevations, and variety of roof pitches for exterior diversity

NORTH FORTY

LOS GATOS, CA

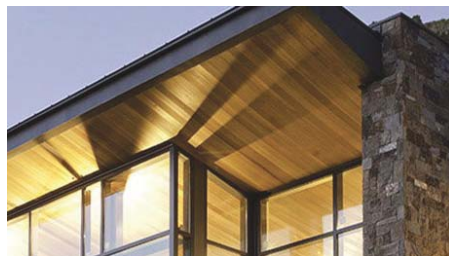
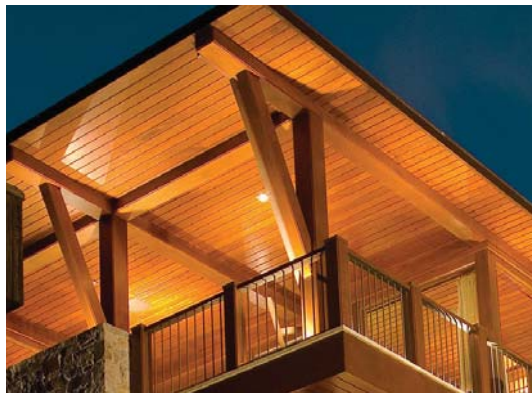


SUMMERHILL HOMESSM
COMMUNITIES OF DISTINCTION



192-072

03.18.16



See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity

KEEPING THE NEXT GENERATION IN LOS GATOS ROWHOME RESIDENTIAL

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/ or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Satisfying the unmet needs buyer: Work from Home, Play from Home with home offices and gaming/ media rooms.
- Floor plans that bring the fantastic Los Gatos weather inside with gracious level terraces

NORTH FORTY

LOS GATOS, CA



192-072

03.18.16



KEEPING THE NEXT GENERATION IN LOS GATOS CONDOMINIUM CLUSTER RESIDENTIAL

TOWN COUNCIL VISION GUIDING PRINCIPLES

The North 40 will

- Look and feel like Los Gatos
- Embrace hillside views, trees and open space
- Address the Town's residential and/ or commercial unmet needs
- Minimize or mitigate impacts on the Town's infrastructure, schools and other community services

REALIZING THE VISION

- Exterior design and finishes that complement the project's agrarian open spaces
- Inspired interior floor plans including open plan flats and bright and fun spaces
- First floor porches and second level terraces to relax and grill with friends



See landscape drawings for additional information on trees and planting; some proposed landscaping may not be shown in this rendering for clarity



NORTH FORTY

LOS GATOS, CA



LOS GATOS, CA

**BAR**architects

1.0

	Perspectives	Plans	Elevations
Buildings A1 & A2	3.1 through 3.4	3.5	3.11(a) through 3.16 (a)
Buildings B1 & B2		3.6 & 3.7	
Buildings C1		3.8	
Garden Clusters	5.GC.16 - 18	5.GC.1 - 15	5.GC.19 (a)-32 (a)
Rowhomes	5.RH.13 - 17	5.RH.1 - 12	5.RH.18 (a)-31 (a)
Condominium Cluster	5.CC.5 - 7	5.CC.1 - 4	5.CC.8 (a)-13 (a)

Phase I Building Key Plan

Notes:

For detailed Lark District & Transition District Area 'D' tabulations, see sheet 5.ST.14

For detailed Transition District tabulations, see sheet 3.24 and 3.25

n/a = not applicable

n/c = not calculated per Specific Plan requirements

1, 5 "Net unit area" per definition in Specific Plan Glossary = floor area of conditioned space measured to inside face of the exterior walls or party walls, including interior partitions, excluding shafts

2, 6 "Gross unit area" per definition in Specific Plan Glossary; garages are excluded

3 Number of dwelling units

4 Item 3 divided by total number of dwelling units

7 Residential corridors, stairs, elevators and lobbies

8 Residential common amenities including pool restrooms/showers, club room, possible concierge, management and maintenance staff space

9 Total Gross Residential Area from detailed Transition District tabulations; for info only, not required by Specific Plan

11, 12, 13 Leasable, circulation and support areas from detailed Transition District tabulations; SF breakdown among the various commercial uses is approximate and may be refined in future submittals

14 Sum of items 10 through 13

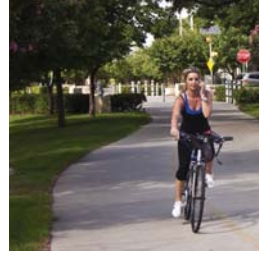
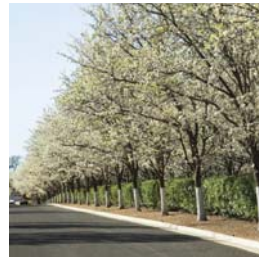
15, 16 Gross area of garage including lobbies, vertical circulation, ramps and service/mechanical, for info only, not required by Specific Plan

17, 18, 19 See Lark and Transition District tabulations for detailed information on parking

20 Sum of items 17 through 19

FOR FURTHER DETAILS:
TRANSITION DISTRICT AREA A, B AND C - SEE SHEETS 3.22 AND 3.23
TRANSITION DISTRICT AREA D AND LARK DISTRICT - SEE SHEET 5.ST.14

1.0a



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LOS GATOS, CA

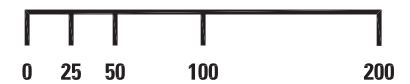
Phase I
Illustrative Site Plan



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1.1

Neighborhood Serving Retail



Outdoor Food Culture



Agricultural Heritage



Winter Color in Vineyards



Pedestrian Environment



NORTH FORTY

LOS GATOS, CA

Transition District
Illustrative Site Plan

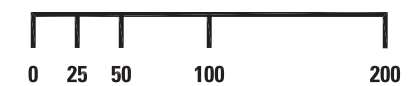


swa San Francisco



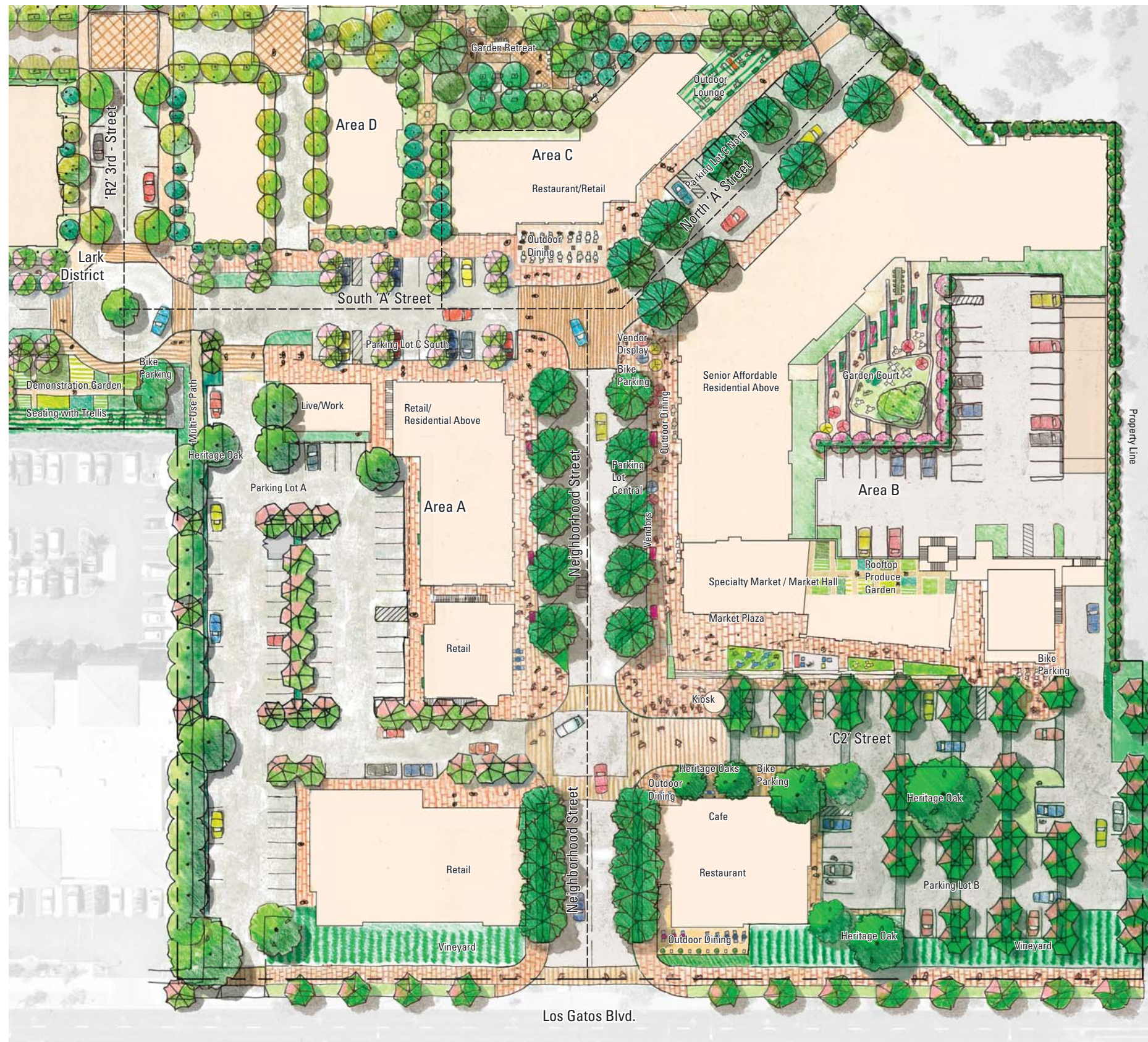
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03.18.16



2.1

An aerial view of a large, modern outdoor courtyard. A large, mature tree stands in the center, surrounded by a low wooden deck. The deck is made of light-colored wood and is surrounded by a low wooden wall. The courtyard is paved with light-colored tiles. In the foreground, there are several round tables covered with white cloths, each with a small floral centerpiece. People are gathered around the tables and walking on the deck. In the background, there is a large building with a red facade and a glass entrance. The overall atmosphere is bright and sunny.



Outdoor Lounge



Garden Retreat



Note: Refer to sheets 5.RH.1 – 5.ST.14 for Transition District Area D building architectural information

Outdoor Dining



Harvest Garden



Garden Amenities



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LOS GATOS, CA

Transition District
Area C+D Landscape Plan

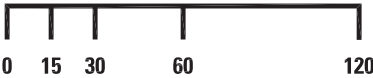


swa San Francisco



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03.18.16



2.3

OUTDOOR LOUNGES EXTENSION OF PRIVATE LIVING SPACE



RESERVE OUTDOOR ROOMS



GARDEN PARTY SPACES



LOUNGE SEATING



RESERVE "PRIVATE" DINING AREAS



OUTDOOR
MOVIE NIGHT



MOVIE WALL



LOW SCREEN FENCES &
LOUNGE WALLS



COURTYARD PLAZAS MULTI-PURPOSE OPEN AIR SPACES



POP-UP VENDORS



OPEN AIR CAFE SEATING



FLEXIBLE PUBLIC GATHERING SPACES



SCREEN TREES & ON-GRADE DECKING



SEATWALLS & DOWN LIGHTS



SCREEN TREES & ON-GRADE DECKING



SEATWALLS & DOWN LIGHTS

NORTH FORTY

LOS GATOS, CA

Transition District
Courtyard Plaza Enlargement Plan

PERIMETER TREES



Pinus radiata
Monterey pine

Initial size: 48” box

Mature size:
80’-100’ high x 25’-35’ wide

Evergreen



Populus nigra
Lombardy Poplar

Initial size: 48” box

Mature size:
40’-100’ high x 15’-30’ wide

Deciduous



Sequoia sempervirens
Coast Redwood

Initial size: 60” box

Mature size:
70’-90’ high x 15’-30’ wide

Evergreen

ORCHARD TREES



Citrus x limon ‘Meyer’
Meyer lemon

Initial size: 36” box

Mature size:
6’-10’ high x 5’-8’ wide

Evergreen



Juglans Californica
Hindsii
California Black Walnut

Initial size: 36” box

Mature size:
30’-60’ high x 30’-40’ wide

Deciduous



Malus floribunda “Paris”
Pink Crabapple

Initial size: 36” box

Mature size:
12’-20’ high x 12’-20’ wide

Deciduous

ORCHARD TREES



Prunus armeniaca
‘Moorpark’
Moorpark Apricot

Initial size: 36” box

Mature size:
15’-30’ high x 10’-20’ wide

Deciduous



Prunus avium ‘Bing’
Bing cherry

Initial size: 36” box

Mature size:
20’-30’ high x 16’-18’ wide

Deciduous



Prunus avium ‘Rainier’
Rainier cherry

Initial size: 36” box

Mature size:
20’-30’ high x 16’-18’ wide

Deciduous



Prunus blireana
Purple leaf plum

Initial size: 36” box

Mature size:
40’ high x 25’ wide

Deciduous



Prunus cerasifera
Cherry plum

Initial size: 36” box

Mature size:
10’-18’ high x 10’-18’ wide

Deciduous



Prunus domestica
‘French Prune’
European plum

Initial size: 36” box

Mature size:
20’-30’ high x 20’ wide

Deciduous



Prunus kwansan or
akebono
Japanese cherry

Initial size: 36” box

Mature size:
40’ high x 25’ wide

Deciduous



Prunus persica
Peach

Initial size: 36” box

Mature size:
10’-18’ high x 10’-18’ wide

Deciduous



Prunus persica
nucipersica
Nectarine

Initial size: 36” box

Mature size:
40’ high x 25’ wide

Deciduous



Prunus salicina
Japanese plum

Initial size: 36” box

Mature size:
10’-18’ high x 10’-18’ wide

Deciduous



Pyrus calleryana
Callery pear

Initial size: 36” box

Mature size:
40’ high x 25’ wide

Deciduous

COMMON OPEN SPACE TREES



Acer palmatum
Japanese maple

Initial size: 24” box

Mature size:
20’ high x 20’ wide

Deciduous



Aesculus Californica
California buckeye

Initial size: 48” box

Mature size:
10’-20’+ high x 30’+ wide

Deciduous



Arbutus menziesii
Pacific madrone

Initial size: 48” box

Mature size:
20’-100’ high x 20’-100’wide

Evergreen



Cedrus deodara
Deodar cedar

Initial size: 48” box

Mature size:
80’ high x 40’ wide

Evergreen



koelreuteria paniculata
Goldenrain tree

Initial size: 48 ” box

Mature size:
20’-35’ high x 25’-40’ wide

Deciduous



Lagerstroemia species
Crape myrtles

Initial size: 48” box

Mature size:
15’-25’ high x 20’-25’ wide

Deciduous



Liquidambar styraciflua
Sweet gum

Initial size: 48” box

Mature size:
60’ high x 20’-25’ wide

Deciduous



Liriodendron tulipifera
Tulip tree

Initial size: 48” box

Mature size:
60’-80’ high x 40’ wide

Deciduous



Magnolia grandiflora
Southern magnolia

Initial size: 48” box

Mature size:
80’ high x 60’ wide

Evergreen



Magnolia grandiflora
“Little gem”
Dwarf southern
magnolia

Initial size: 48” box

Mature size:
8’ high x 12’-15’ wide

Evergreen



Magnolia soulangiana
“Stellata”
Saucer Magnolia

Initial size: 48” box

Mature size:
12’-18’ high x 6’-12’ wide

Deciduous



Malus floribunda
“Parrsi”
Pink crabapple

Initial size: 36” box

Mature size:
12’-20’ high x 12’-20’ wide

Deciduous

COMMON OPEN SPACE TREES



Pinus canariensis
Canary island pine

Initial size: 48" box

Mature size:
50'-80' high x 20'-35' wide

Evergreen



Pinus pinea
Italian stone pine

Initial size: 48" box

Mature size:
40'-80' high x 40'-60' wide

Evergreen



Platanus racemosa
Sycamore

Initial size: 48" box

Mature size:
30'-80' high x 20'-50' wide

Deciduous



Pyrus kwansan or
akebono
Japanese cherry

Initial size: 48" box

Mature size:
20'-25' high x 20'-25' wide

Deciduous



Quercus agrifolia
Coast live oak

Initial size: 60" box

Mature size:
20'-70' high x 20'-70' wide

Evergreen



Quercus douglasii
Blue oak

Initial size: 48" box

Mature size:
30'-50' high x 40'-70' wide

Deciduous



Quercus ilex
Holly oak

Initial size: 48" box

Mature size:
30'-60' high x 30'-60' wide

Evergreen



Quercus lobata
Valley oak

Initial size: 48" box

Mature size:
50'-70'+ high x 50'-70'+ wide

Deciduous



Quercus suber
Cork oak

Initial size: 48" box

Mature size:
30'-60' high x 30'-60' wide

Evergreen



Zelkova serrata
Sawleaf zelkova

Initial size: 48" box

Mature size:
60' high x 60' wide

Deciduous

SPECIMEN TREES



Acer palmatum
Japanese maple

Initial size: 24" box

Mature size:
20' high x 20' wide

Deciduous



Betula utilis
Whitebarked
Himalayan Birch

Initial size: 36" box

Mature size:
40' high x 20' wide

Deciduous



Cercidiphyllum japonicum
Katsura tree

Initial size: 48" box

Mature size:
40' high x 25' wide

Deciduous



Cercis occidentalis
Western redbud

Initial size: 24" box

Mature size:
10'-18' high x 10'-18' wide

Deciduous

STREET TREES



Cinnamomum camphora
Camphor tree

Initial size: 60" box

Mature size:
50'+ high x 60' wide

Evergreen



Ginkgo biloba
Maiden hair tree

Initial size: 48" box

Mature size:
30'-50' high x 15'-25' wide

Deciduous



Laurus nobilis
Sweet bay

Initial size: 48" box

Mature size:
12'-40' high x 12'-40' wide

Evergreen



Liquidambar styraciflua
Sweet gum

Initial size: 48" box

Mature size:
60' high x 20'-25' wide

Deciduous



Magnolia grandiflora
Southern magnolia

Initial size: 48" box

Mature size:
80' high x 60' wide

Evergreen



Melaleuca linariifolia
Melaleuca

Initial size: 48" box

Mature size:
20'-30' high x 20'-30' wide

Evergreen



Olea europaea
Olive tree

Initial size: 24" box

Mature size:
20' -30' high x 20'-30' wide

Evergreen



Tilia cordata
Little leaf linden

Initial size: 48" box

Mature size:
30'-50' high x 15'-30' wide

Deciduous

FOUNDATION SHRUBS



Arctostaphylos densiflora 'McMinn'
Manzanita 'McMinn'

Initial size: 5 gallon

Mature size
7'-10' high x 7'-10' wide

Drought tolerant
California Native
Evergreen



Azalea indica 'Formosa'
Formosa azalea

Initial size: 5 gallon

Mature size:
6'-10 high x 6'-10' wide

Drought tolerant

Evergreen



Buddleia spp.
Butterfly bush

Initial size: 5 gallon

Mature size:
6'-12' high x 6'-12' wide

Drought tolerant

Evergreen



Calycanthus occidentalis
Spicebush

Initial size: 5 gallon

Mature size:
3'-10' high x 3'-20' wide

Drought tolerant
California Native

Deciduous



Camellia japonica
Camellia

Initial size: 5 gallon

Mature size:
6'-12' high x 6'-12' wide

Evergreen



Cotoneaster microphyllus
Rockspray cotoneaster

Initial size: 5 gallon

Mature size:
2-3' high x 5' wide

Drought tolerant
Evergreen



Escallonia x exoniensis
'Fradesii'
Pink princess
escallonia

Initial size: 5 gallon

Mature size
4-6' high x 4-6' wide

Drought tolerant

Evergreen



Heteromeles arbutifolia
Toyon bush

Initial size: 5 gallon

Mature size:
12' high x 8' wide

Drought tolerant
California Native

Evergreen



Myrica californica
Pacific wax myrtle

Initial size: 5 gallon

Mature size
15' high x 8' wide

Drought tolerant
California Native

Evergreen



Pittosporum tenuifolium
Kohuhu

Initial size: 5 gallon

Mature size:
20-30' high x 10' wide

Drought tolerant

Evergreen



Pittosporum tobira
Mock orange

Initial size: 5 gallon

Mature size:
3' high x 5' wide

Drought tolerant

Evergreen



Rosmarinus officinalis
'Tuscan blue'
Tuscan blue rosemary

Initial size: 5 gallons

Mature size
6-7' high x 2' wide

Drought tolerant

Evergreen



Viburnum tinus
Laurestinus

Initial size: 5 gallons

Mature size
7-20' high x 10' wide

Will grow under Walnut

Evergreen

FOREGROUND SHRUBS



Cistus x hybridus
White rockrose

Initial size: 1 gallon

Mature size:
2-3' high

Drought tolerant

Evergreen



Dryopteris
Wood fern

Initial size: 1 gallon

Mature size:
18"-36" high

Evergreen



Erigeron glaucus
Beach aster

Initial size: 1 gallon

Mature size
1' high

Drought tolerant

Evergreen



Lavandula spp.
Lavender

Initial size: 1 gallon

Mature size
1'-5' high

Drought tolerant

Evergreen



Rhamnus californica
Coffeeberry

Initial size: 5 gallon

Mature size:
10"-30" high

Drought tolerant
California Native

Evergreen



Salvia clevelandii
Cleveland sage

Initial size: 1 gallon

Mature size
3'-5' high

Drought tolerant
California Native

Evergreen

PROSTRATE SHRUBS and GROUNDCOVERS



Arctostaphylos uva-ursi 'Emerald Carpet'
Manzanita 'Emerald Carpet'

Initial size: 1 gallon

Mature size
1' high

Drought tolerant
California Native
Evergreen



Ceanothus
'hearthstium'
Ceanothus

Initial size: 1 gallon

Mature size
6" high

Drought tolerant
California Native

Evergreen



Fragaria chiloensis
Strawberry

Initial size: 1 gallon

Mature size
6" high

Drought tolerant

Deciduous



Rosmarinus officinalis
'Prostratus'
Prostrate Rosemary

Initial size: 1 gallon

Mature size
1-3' high

Drought tolerant

Evergreen



Sinapis alba
White mustard

Initial size: 1 gallon

Mature size
1'-1.5' high

Deciduous

NORTH FORTY

LOS GATOS, CA

Transition District
Planting Palette



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03.18.16

BIOSWALE

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Carex pansa
California meadow sedge

Initial size: 1 gallon

Mature size: 8" high

Drought tolerant

Evergreen



Festuca rubra
Creeping red fescue

Initial size: 1 gallon

Mature size: 8" high

Drought tolerant

Summer dormant



Iris douglasiana
Pacific coast iris

Initial size: 1 gallon

Mature size: 10"-30" high

Drought tolerant

California Native

Evergreen



Juncus effusus
Rush

Initial size: 1 gallon

Mature size: 2-4' high

Evergreen

GRASSES



Festuca ovina glauca
Blue fescue

Initial size: 1 gallon

Mature size: 10" high

Evergreen



Miscanthus sinensis
Silver grass

Initial size: 1 gallon

Mature size: 3-7' high

Evergreen



Muhlenbergia rigens
Deergrass

Initial size: 1 gallon

Mature size up to 5' high

Drought tolerant

California Native

Evergreen



Nassella tenuissima
Mexican feather grass

Initial size: 1 gallon

Mature size: 1'-3' high

Drought tolerant

Evergreen



Sod

Mature size: 4" high

Evergreen

VINEYARD



Vitis vinifera
Common grape vine

Initial size: 5 gallon

Mature size: up to 8'

Deciduous

VINES



Parthenocissus tricuspidata
Boston ivy

Initial size: 1 gallon

Deciduous



Rosa genus
Climbing roses

Initial size: 1 gallon

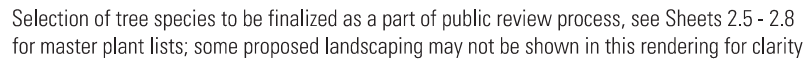
Evergreen



Wisteria species
Wisteria

Initial size: 1 gallon

Deciduous



NORTH FORTY

LOS GATOS, CA

Transition District A Low Profile at Los Gatos Boulevard

**BAR**architects

03.18.16



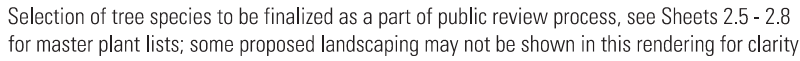
Selection of tree species to be finalized as a part of public review process, see Sheets 2.5 - 2.8 for master plant lists; some proposed landscaping may not be shown in this rendering for clarity

A mix of residential and commercial uses is fundamental to sustainable living, reducing the number of daily trips in the car. A mix of resident profiles also activates the community.

NORTH FORTY

LOS GATOS, CA

Transition District Fostering a Pedestrian-Friendly Environment



LOS GATOS, CA


Transition District A Unique Approach









Building A1



Tavern
2534 GSF
FF= + 284.0'

For Unit Plans
see 

-  Residential
Circulation & Support
-  Commercial
Leasable
-  Commercial
Circulation & Support
-  Residential
Units
-  Residential
Amenity
-  Garage

Transition District Floor Plans Area A



- ## Transition District Floor Plans Area B



Legend

	Residential Circulation & Support
	Commercial Leasable
	Commercial Circulation & Support
	Residential Units
	Residential Amenity
	Garage

LOS GATOS, CA






A horizontal number line with tick marks at 0, 15, 30, 60, and 120. The numbers are written below the line.



3.7

Transition District Floor Plans Area B



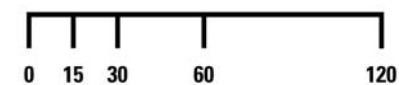
-  Residential
Circulation & Support
-  Commercial
Leasable
-  Commercial
Circulation & Support
-  Residential
Units
-  Residential
Amenity
-  Garage

LOS GATOS, CA

Transition District Floor Plans Area C



03.18.16



3.8



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Transition District Illustrative Streetscape and Context Site Elevations



3.9



Elevation 'A' - Neighborhood Street looking North



Elevation 'B' - 'R2' Street looking North

Selection of tree species to be finalized as a part of public review process, see Sheets 2.5 - 2.8 for master plant lists.

NORTH FORTY

LOS GATOS, CA

Transition District
Illustrative Streetscape and Context Site Elevations



09039

03.18.16



Materials Legend

Materials are denoted on the primary elevation of each building; additional materials are denoted if necessary on subsequent elevations; similarly rendered materials are the same as those previously denoted on the primary elevation

- 1 Plaster: light and dark sand finish
- 2 Plaster: texture A, B or C
- 3 Plaster: basalt-toned finish
- 4w Siding: wood-grained sustainable composite, walnut-toned
- 4r Siding: wood-grained sustainable composite, redwood-toned
- 5 Siding: reclaimed wood
- 6h Siding: horizontal lap, painted
- 6v Siding: vertical, painted
- 7 Heavy Timber
- 8 Stone: sandstone-toned, rustic finish
- 9 Brick: basalt-toned
- 10 Brick: light-toned
- 11 Sunshades and canopies: metal
- 12 Sunshades, vertical panel: metal and wood-grained sustainable composite
- 13 Sunshades, horizontal: wood-grained sustainable composite
- 14 Railing: wood-grained sustainable composite
- 15 Railing: clear glass
- 16 Railing: metal
- 17 Windows: toned vinyl
- 18 Windows: aluminum, medium or dark bronze
- 19 Storefront: aluminum, medium or dark bronze
- 20 Storefront: custom by tenant
- 21 Garage/Loading Dock door: coiling with decorative pattern
- 22 Roofing: standing seam, non-reflective metal, light-toned
- 23 Roofing: standing seam, non-reflective metal, dark-toned
- 24 Green screen panels: metal support for planting, to be removed when garage is expanded in Phase II
- 25 Sound wall: 14' high precast textured concrete
- 26 Concrete: cast-in-place
- 27 Board-formed stained concrete

Materials Evoke the Look and Feel of Los Gatos

This summary of the Transition District's materials palette complements the Narrative (which provides a detailed description of the aesthetic approach for each building) and the Materials & Color boards (which provide physical samples of the proposed materials and colors).

Material and color selections for the Transition District take inspiration from the Town's historic and new buildings, its agricultural history and its natural environment. A combination of stone, brick, plaster, siding and tile are composed to create variety and richness in a range of material palettes drawn from diverse elements of Los Gatos.

These building palettes, in combination with the landscape palette, are designed to evoke elements from around Los Gatos while presenting a unified and harmonious plan.

Stone Veneer with Rustic Finish

Evokes the texture, color and character of historic Forbes Mill
Locations: Retail buildings A1 and B2, various retail storefronts.

Plaster

Basalt-toned plaster references a stone native to the Santa Cruz Mountains that makes an attractive counterpoint to the two lighter materials in the palette.
Locations: Building C1

Lighter-toned plaster references the smooth and simple finish of the 1920's Los Gatos High School and the Jesuit Retreat Center
Locations: Retail building A1 and C1

Heavy Timber

Timber elements reflect proximity to local forests.
Locations: Building C1

Brick

Pays homage to several older structures in downtown Los Gatos including the Beckwith and La Cañada Buildings
Locations: Retail building A1, various retail storefronts and accents

Reclaimed Wood Siding

Recalls the area's traditional farm buildings and offers the opportunity to give new life to reclaimed products
Locations: Retail building A2, Specialty Market/Senior Affordable Residential

Walnut- and Redwood-Toned Siding

Made of a composite, sustainable and weather-resistant material, echoes Los Gatos' agricultural past while preserving resources and promoting environmentally responsible fabrication processes
Locations: Retail buildings A1, B2 and C1

Heritage Oaks and Other Trees

Will be preserved at selected locations by carefully siting new buildings and streets
Locations: Various locations throughout the plan

Flowering and Fruiting Trees

Arranged in rows recall the region's orchards
Locations: Throughout the plan

Street Trees and Landscaping

A broad palette of drought tolerant species provide shade, reduce heat island effect, and complement each area of the plan with location-appropriate design
Locations: Throughout the plan



Selection of tree species to be finalized as a part of public review process, see Sheets 2.5 - 2.8 for master plant lists.

Elevation 'A' - Los Gatos Boulevard looking West

For building heights, see A 3.11a

Materials Legend

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- 14 Railing: wood-grained sustainable composite
- 15 Railing: clear glass
- 16 Railing: metal
- 17 Windows: toned vinyl
- 18 Windows: aluminum, medium or dark bronze
- 19 Storefront: aluminum, medium or dark bronze
- 20 Storefront: custom by tenant
- 21 Garage/Loading Dock door: coiling with decorative pattern
- 22 Roofing: standing seam, non-reflective metal, light-toned
- 23 Roofing: standing seam, non-reflective metal, dark-toned
- 24 Green screen panels: metal support for planting, to be removed when garage is expanded in Phase II
- 25 Sound wall: 14' high precast textured concrete
- 26 Concrete: cast-in-place
- 27 Board-formed stained concrete



Elevation 'A' - Neighborhood Street looking South

For building heights, see 



Elevation 'B' - Neighborhood Street looking North

For building heights, see 

Transition District

Illustrative Exterior Elevations - Neighborhood Steet

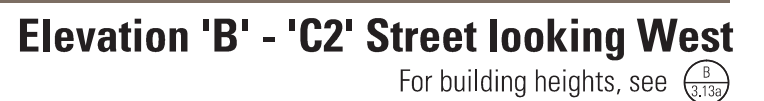
NORTH FORTY | LOS GATOS, CA



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LOS GATOS, CA



3.14

Materials Legend

Materials are denoted on the primary elevation of each building; additional materials are denoted if necessary on subsequent elevations; similarly rendered materials are the same as those previously denoted on the primary elevation

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- 2** Plaster: texture A, B or C
- 3** Plaster: basalt-toned finish
- 4w** Siding: wood-grained sustainable composite, walnut-toned
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- 23** Roofing: standing seam, non-reflective metal, dark-toned
- 24** Green screen panels: metal support for planting, to be removed when garage is expanded in Phase II
- 25** Sound wall: 14' high precast textured concrete
- 26** Concrete: cast-in-place
- 27** Board-formed stained concrete



Elevation 'A' - North 'A' Street Looking Northeast

For building heights, see 



Elevation 'B' - Phase I Property Line looking South

For building heights, see $\frac{B}{315a}$

Transition District

NORTH FORTY

LOS GATOS, CA

Illustrative Exterior Elevations - Additional Market and Senior Affordable Residential Facades

**BAR**architects

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3.15



Elevation 'A' - South 'A' Street looking West
For building heights, see A
3.16a



Selection of tree species to be finalized as a part of public review process, see Sheets 2.5 - 2.8 for master plant lists.

Elevation 'C' - 'R2' Paseo looking North
For building heights, see C
3.16a



Elevation 'B' - 'North A' Street looking West
For building heights, see B
3.16a

Transition District
Illustrative Exterior Elevations -Residential and Restaurant Facades

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Transition District Technical Streetscape and Context Site Elevations



3.9a



Elevation 'A' - Neighborhood Street looking North

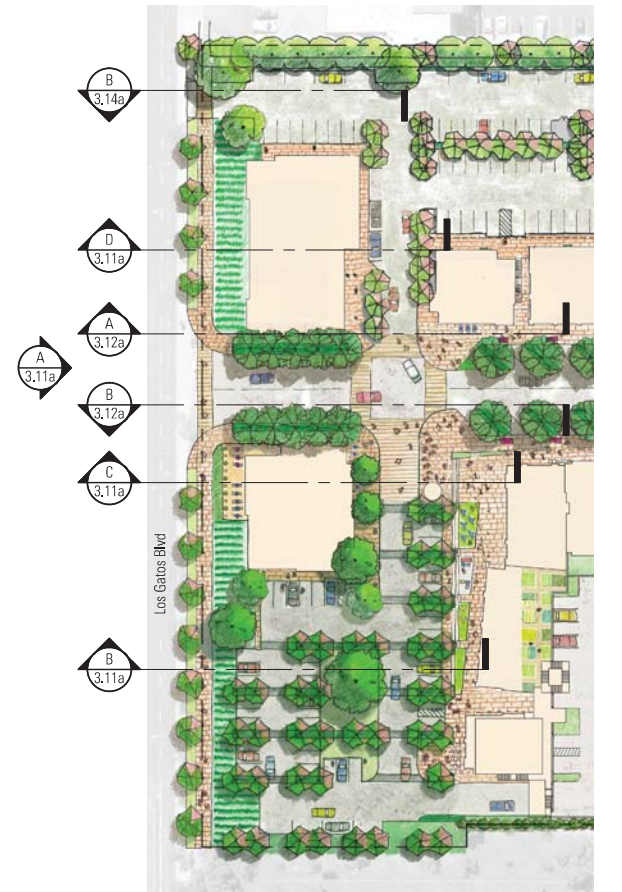
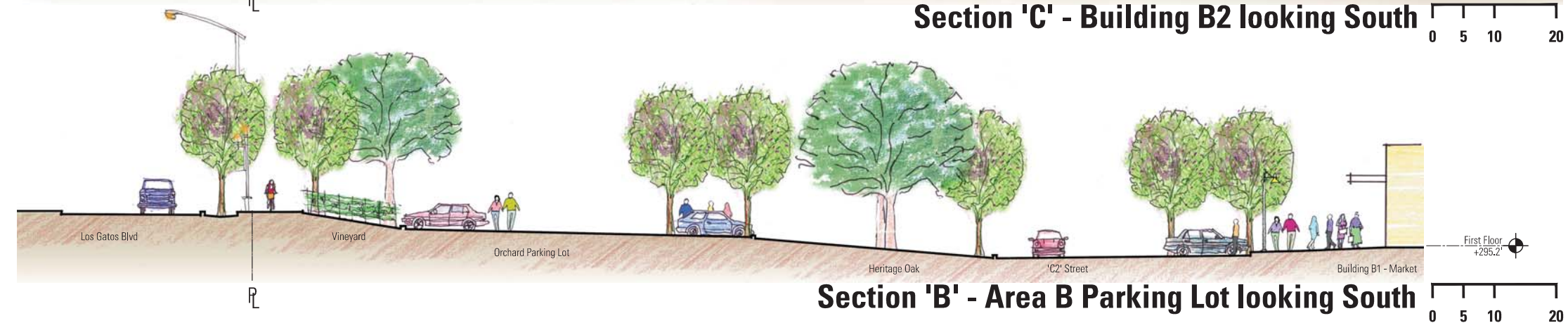
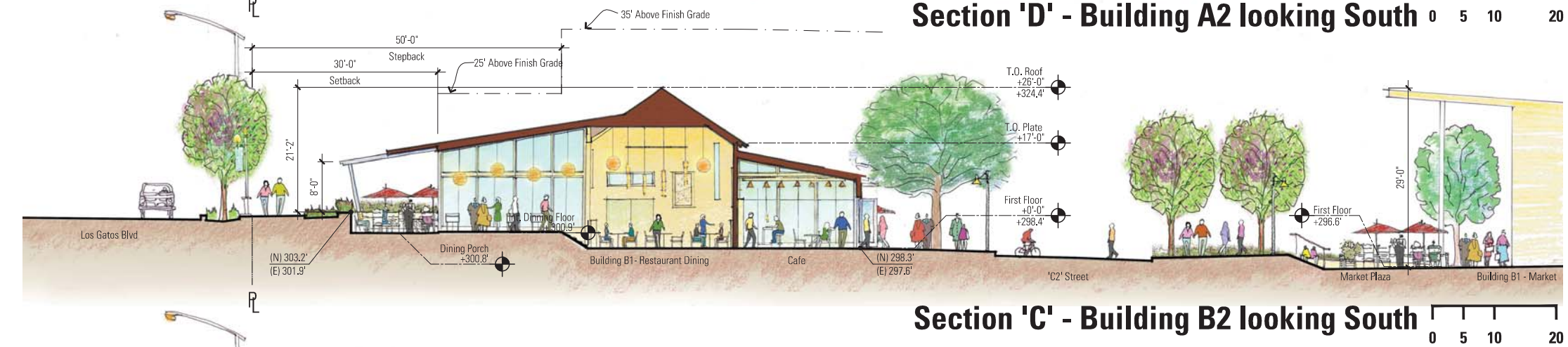
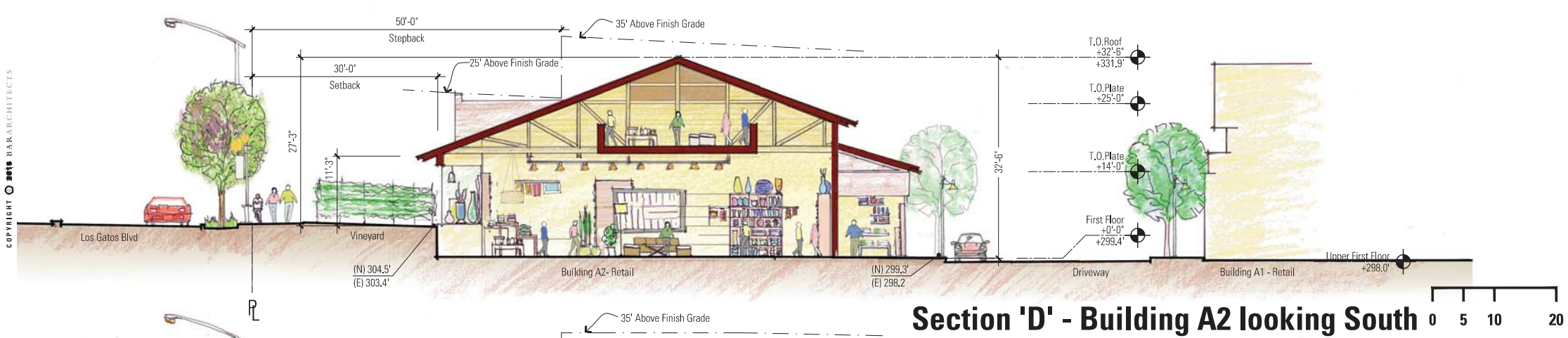


Elevation 'B' - 'R2' Street looking North

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Transition District
Technical Streetscape and Context Site Elevations



Plan at Los Gatos Boulevard
Not to Scale



Rooftop mechanical equipment and enclosures, which are permitted above the maximum height indicated, are not depicted

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Transition District

Technical Exterior Elevations - Los Gatos Boulevard



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Transition District Technical Exterior Elevations - Neighborhood Street



Transition District Technical Exterior Elevations - 'C2' Street



Elevation 'A' - South 'A' Street looking East



Elevation 'B' - Retail Parking Lot looking North

Rooftop mechanical equipment and enclosures, which are permitted above the maximum height indicated, are not depicted

NORTH FORTY

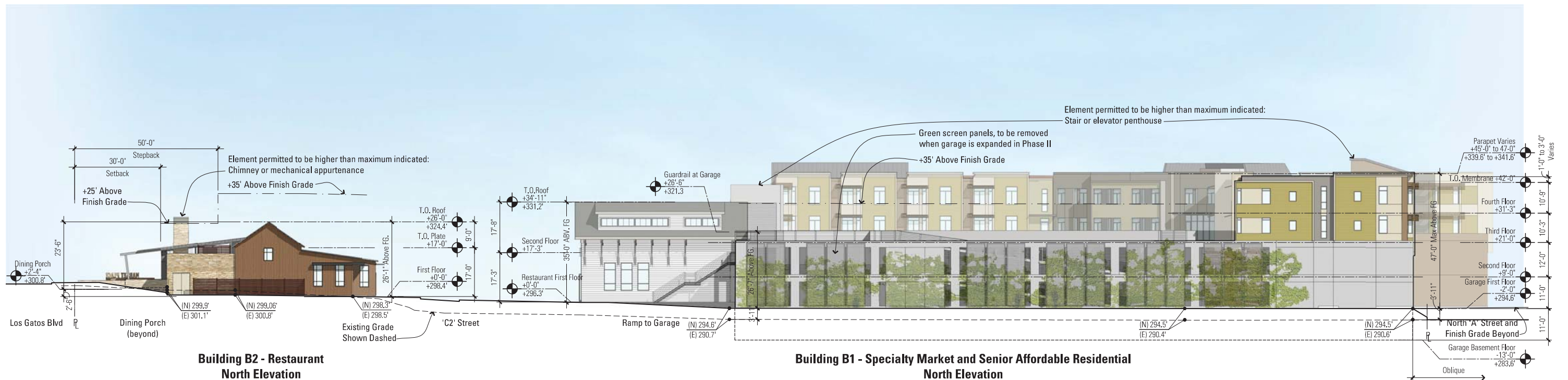
LOS GATOS, CA

Transition District

Technical Exterior Elevations - Additional Retail Facades



Elevation 'A' - North 'A' Street Looking Northeast



Elevation 'B' - Phase I Property Line looking South

Rooftop mechanical equipment and enclosures, which are permitted above the maximum height indicated, are not depicted

NORTH FORTY

LOS GATOS, CA

Technical Exterior Elevations - Additional Market and Senior Affordable Residential Facades



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3.15a









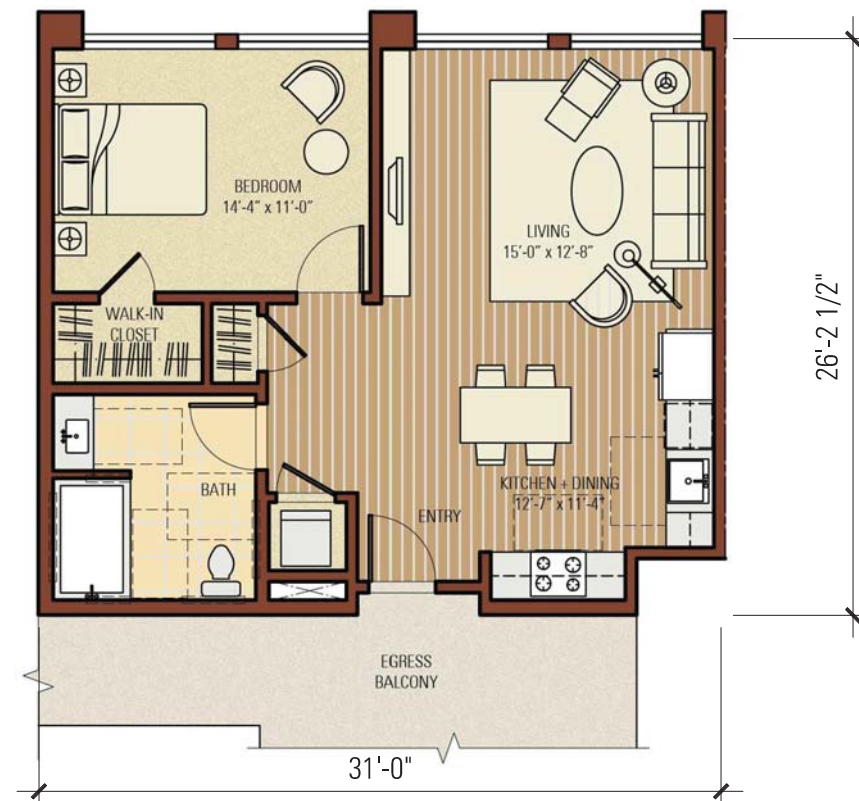
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Transition District Technical Exterior Elevations - Building C1 Restaurant



Landscaping shown is conceptual only; see landscape drawings for additional information on trees and planting.

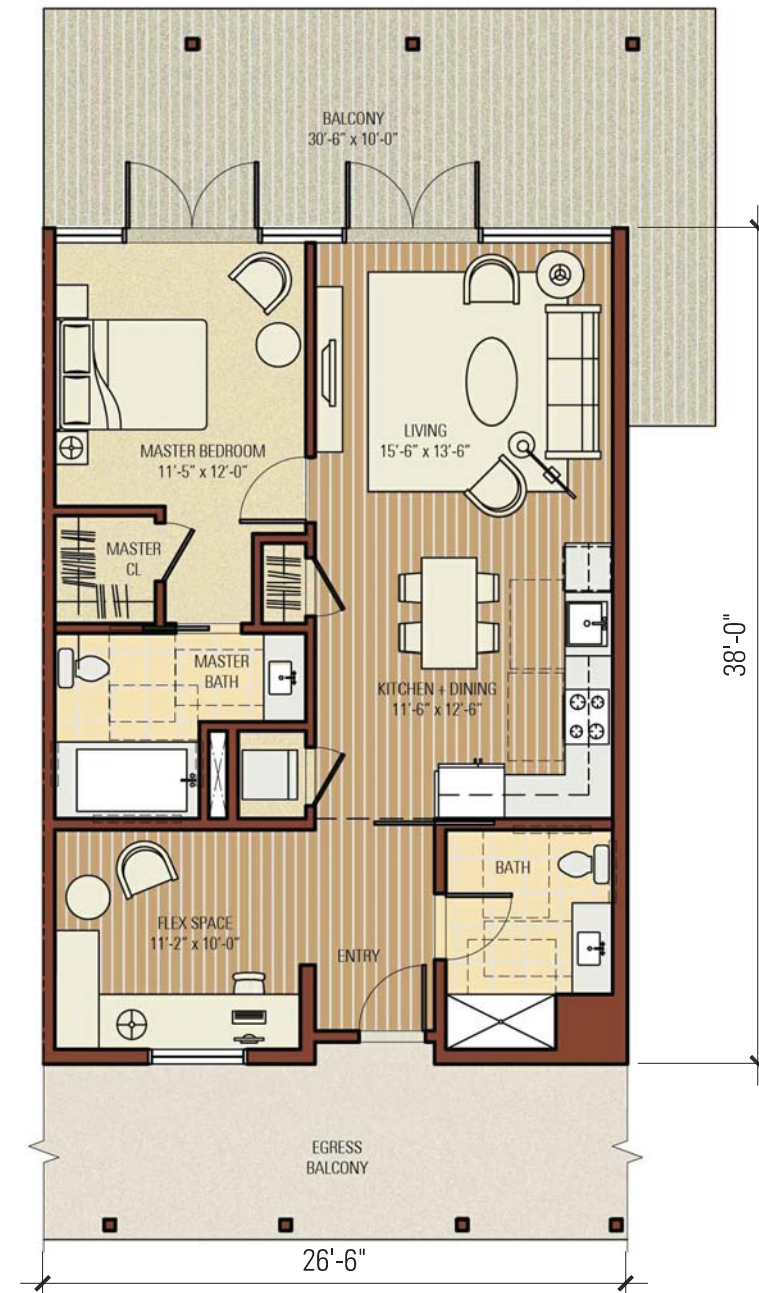
	Residential Circulation & Support
	Commercial Leasable
	Commercial Circulation & Support
	Residential Units
	Residential Amenity
	Garage



Unit Plan E - 1 Bedroom
727 NSF



Unit Plan D - 1 Bedroom
730 NSF



Unit Plan C - 1 Bedroom + Flex Space
910 NSF

NORTH FORTY

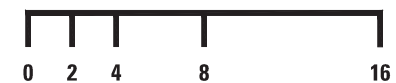
LOS GATOS, CA

Transition District
Unit Plan Area A - 1-Bedroom



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3.18



Unit Plan G - 2 Bedroom
970 NSF



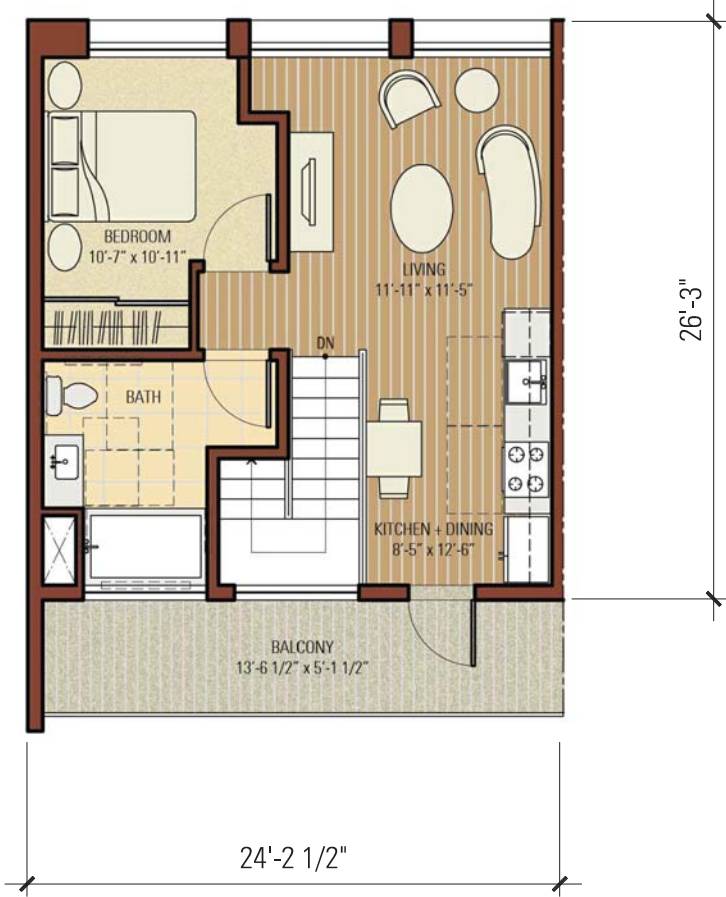
Unit Plan F - 2 Bedroom
1,100 NSF

NORTH FORTY

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Transition District
Unit Plan Area A - 2-Bedroom

[FILE NAME: Z:\2020\LOS GATOS NORTH FORTY\6 DRAWINGS\6.40 CAD\CURRENT\PILOT FILES\UG-432- UNIT PLANS.DWG] [TAG: 3/8/24 PR] [March 16 - Wednesday 2016 - 10:35am] [Plotted by: A.JONES] [Pen Setting: Full 085]
[XREF FILE NAME: UG-BLDG-A-UP-HIL, UG-BLDG-A-UP-HIU, W08A01R, W08A02R]



Unit Plan H - Upper Level
1,075 NSF (551 NSF This Level)



Unit Plan H - Lower Level
1,075 NSF (524 NSF This Level)

NORTH FORTY

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Transition District
Unit Area A - Loft

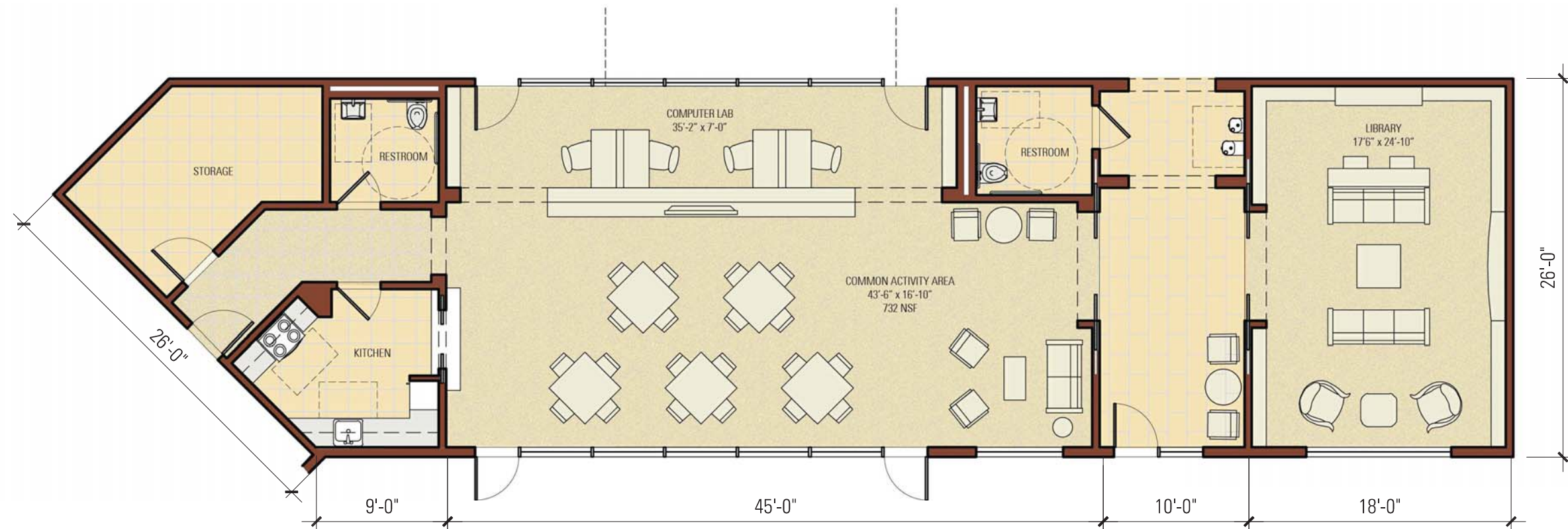


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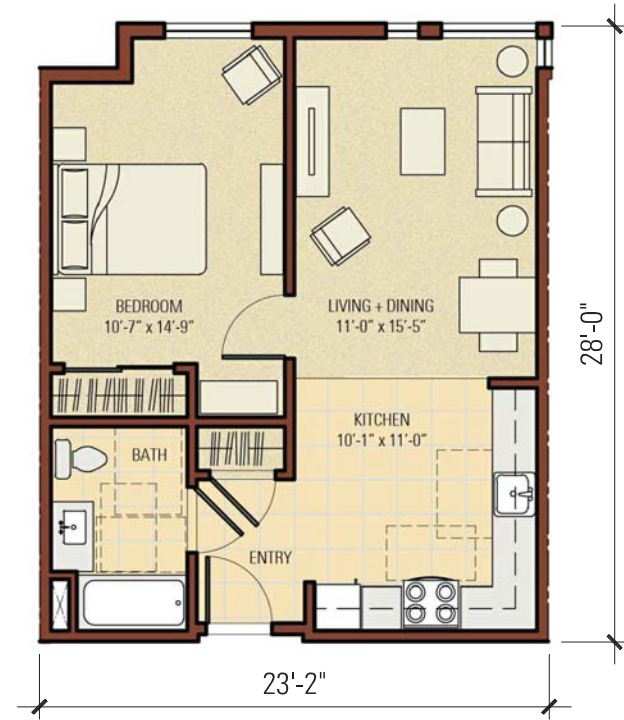
3.20



Common Activity Area - 2,015 NSF



Manager's Unit - 875 NSF



**Unit Plan A1 - 580 NSF
(Unit Plan A2 Sim.)**

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**Transition District
Unit Plan Area B - Senior Affordable Residential**

- Notes:
- 1 Number of dwelling units
- 2 "Net unit area" per definition in Specific Plan Glossary = floor area of conditioned space measured to inside face of the exterior walls or party walls, including interior partitions, excluding shafts
- 3 Factor used to estimate net unit area (a gross-to-net average for large and small units)
- 4 "Gross unit area" per definition in Specific Plan Glossary
- 5 Residential corridors, stairs, elevators, lobbies, trash, utility (MEP) areas
- 6 Residential common amenities including pool restrooms/showers, club room, possible concierge, management & maintenance staff space
- 7 Sum of items 4 through 6
- 8, 10, 12, 14, 16 Gross retail area, excluding common exit / service corridors, loading, trash, utility (MEP) areas; SF breakdown among the various commercial uses is approximate and may be refined in future submittals; includes restaurant terrace located at upper level
- 9, 11, 13, 15, 17 Retail exit / service corridors, loading, trash, utility (MEP) areas, restroom and janitor closet, storage, corridors
- 18 Sum of items 8 through 15
- 19,20 Gross area of garage including lobbies, vertical circulation, ramps, utility (MEP) areas for info only, not required by Specific Plan

BUILDING AREA AND PARKING TABULATIONS - TRANSITION DISTRICT (AREA A, B, C)																							3/14/2016
		RESIDENTIAL AREA TABULATIONS							COMMERCIAL AREA TABULATIONS										GARAGE AREA TABULATIONS				
Notes: see below or to side		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20		
	Floor Level	Unit Count	Residential Net Unit Area (SF)	Approximate Residential Gross to Net Factor	Residential Gross Unit Area (SF)	Residential Circulation and Support Area (SF)	Residential Amenity Area (SF)	Total Gross Residential Area (SF)	Specialty Market Leasable Area (SF)	Specialty Market Circulation and Support Area (SF)	Retail and Personal Service Leasable Area (SF)	Retail and Personal Service Circulation and Support Area (SF)	Restaurant/ Café Leasable Area (SF)	Restaurant/ Café Circulation and Support Area (SF)	Bar/Tavern Leasable Area (SF)	Bar/Tavern Circulation and Support Area (SF)	Community Room Leasable Area (SF)	Community Room Circulation and Support Area (SF)	Total Gross Commercial Area (SF)	Residential Garage Area (SF)	Commercial Garage Area (SF)		
AREA A: Mixed-Use																							
Building A1	basement	n/a	n/a	n/a	n/a				0	0	0	0	0	0	2534	382	0	0	2916				
Building A1	ground	n/a	n/a	n/a	n/a	538	0	538	0	0	8,231	291	0	0	0	0	0	0	8,522	0	0		
Building A1	2nd	10	8,950	1.15	10,432	1,225	0	11,657	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Building A1 Total		10	8,950		10,432	1,763	0	12,195	0	0	8,231	291	0	0	2,534	382	0	0	11,438	0	0		
Building A2	ground	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	7,912	300	0	0			0	0	8,212				
Building A2 -mezzanine *	mezz.*	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	2,500	486	0	0			0	0	2,986				
Building A2 Total		n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	10,412	786	0	0	0	0	0	0	11,198				
AREA B: Mixed-Use & Senior Affordable																							
Building B1	below grade	0	0	n/a	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	55,989	
Building B1	ground	0	0	n/a	0	2,574	0	2,574	15,850	4,540	0	0	2,040	0	0	0	0	0	22,430	0	32,743		
Building B1	2nd	0	0	n/a	0	1,066	0	1,066	530	0	2,110	781	0	0	0	0	2,170	945	6,536	0	31,670		
Building B1	3rd	23	13,440	1.09	14,756	4,728	2,537	22,021	0	0	0	0	0	0	0	0	0	0	0	18,029	0		
Building B1	4th	27	15,955	1.09	17,547	4,367	236	22,150	0	0	0	0	0	0	0	0	0	0	0	0	0		
Building B1 Total		50	29,395		32,303	12,735	2,773	47,811	16,380	4,540	2,110	781	2,040	0	0	0	2,170	945	28,966	18,029	120,402		
Building B2 Total	ground	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	0	0	5,483	262	0	0	0	0	5,745				
AREA C: Restaurant/Retail																							
Building C1	ground	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	2,000	0	4,862	296	0	0	0	0	7,158				
Building C2 -mezzanine	mezz.	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	0	0	1,300	388	0	0	0	0	3,486				
Building C1 Total		n/a	n/a	n/a	n/a	n/a	n/a	n/a	0	0	2,000	0	6,162	684	0	0	0	0	10,644				
TRANSITION DISTRICT (AREA A, B, C) TOTAL																							
		60	38,345		42,735	14,498	2,773	60,006	16,380	4,540	22,753	1,858	13,685	946	2,534	382	2,170	945	67,991	18,029	120,402		
		RESIDENTIAL REQUIRED PARKING TABULATIONS							COMMERCIAL REQUIRED PARKING TABULATIONS** (excl. mezzanine)										TOTAL PROVIDED PARKING TABULATIONS				
Notes: see below or to side		21	22	23	24	25			26	27	28	29	30	31	32	33	34	35	36	37	38	39	40
		Resident		Guest		Total			Specialty Market		Retail		Restaurant/Café		Bar/Tavern		Community Room		Total				
						REQUIRED Number of Residential Stalls			1 stall per leasable SF noted	Number of Stalls	1 stall per leasable SF noted	Number of Stalls	1 stall per leasable SF noted	Number of Stalls	1 stall per leasable SF noted	Number of Stalls	1 stall per leasable SF noted	Number of Stalls	REQUIRED Number of Commercial Stalls	PROVIDED Residential Stalls	PROVIDED Residential Guest Stalls	PROVIDED Commercial Stalls	PROVIDED Total Parking Stalls
Senior Affordable																							
Residential Parking Required (stalls per unit)		0.50	25																	25			
Guest Parking Required (stalls per unit)				0.50	25																25		
Resident and Guest Parking Proposed (stalls per unit)*						50																	
Senior Affordable Parking Subtotal						50														25	25		50
Residential Parking		Unit #																					
Residential 1-Bedroom Parking Required (stalls per unit)		6	1.00	6																			
Residential 2-Bedroom Parking Required (stalls per unit)		4	2.00	8																			
Guest Parking Required (stalls per unit)					0.50	5																	
Residential Parking Subtotal				14		19														14	5		19
Retail																							
Retail Parking Required (1 stall per leasable SF noted)									300		300		100		75		590						
Retail Parking Subtotal										55		68		124		34		4	285			389	389
TRANSITION DISTRICT (AREA A, B, C) TOTAL						69													285	39	30	389	458
TRANSITION DISTRICT AREA D - SEE SHEET 6.5																				complies with min. required			104 extra stalls

NORTH FORTY

LOS GATOS, CA

Transition District Area A, B & C
Building Area and Parking Tabulations



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3.22

[FILE NAME: 7/18/2016 03:54:00 LOS GATOS NORTH FORTY 15 DRAWINGS 40 CAD CURRENT DWT FILES G-323-TU-MT-AS-DWG] [TAG: 3/20/16 PR] [March 16, Wednesday 2016 - 12:30pm] [Plotted by: AJONES] [Plot Setting: Full (80%)]
[XREF FILE NAME: \\MS2\PEP\XREF\PEP\]

NORTH FORTY

LOS GATOS, CA



DETAILED RESIDENTIAL TABULATIONS - TRANSITION DISTRICT (AREA A, B, C)								
	RESIDENTIAL UNIT AND PRIVATE OPEN SPACE AREA TABULATIONS							
Residential ** (Building A1)		Net Unit Area (SF)	1st Floor	2nd Floor	3rd Floor	4th Floor	Subtotal Number of Units	Subtotal Net Unit Area (SF)
Unit Type C - 2BR, 2.5 Bath+Flex Space								
Private Open Space	Area (SF)			255				
	No. of Occurances			2				
Net Unit Area (SF) & No. of Occurances		910		2			2	1,820
Unit Type D - 1BR, 1 Bath								
Private Open Space	Area (SF)			0				
	No. of Occurances			0				
Net Unit Area (SF) & No. of Occurances		730		3			3	2,190
Unit Type E - 1BR, 1 Bath								
Private Open Space	Area (SF)			0				
	No. of Occurances			0				
Net Unit Area (SF) & No. of Occurances		720		1			1	720
Unit Type F - 2 BR, 1.5 Bath, Den								
Private Open Space	Area (SF)			0				
	No. of Occurances			0				
Net Unit Area (SF) & No. of Occurances		1,100		1			1	1,100
Unit Type G - 2 BR, 2 Bath								
Private Open Space	Area (SF)			185				
	No. of Occurances			1				
Net Unit Area (SF) & No. of Occurances		970		1			1	970
Unit Type H - LIVE/WORK LOFT		2 BR, 2 Bath, Flex Space						
Private Open Space	Area (SF)		78	109				
	No. of Occurances		2	2				
Net Unit Area (SF) & No. of Occurances		1,075		2			2	2,150
Residential Total			0	10	0	0	10	
Private Open Space Total	Area (SF)		***	913	0	0		913
Total Net Unit Area (SF)			***	8,950	0	0		8,950

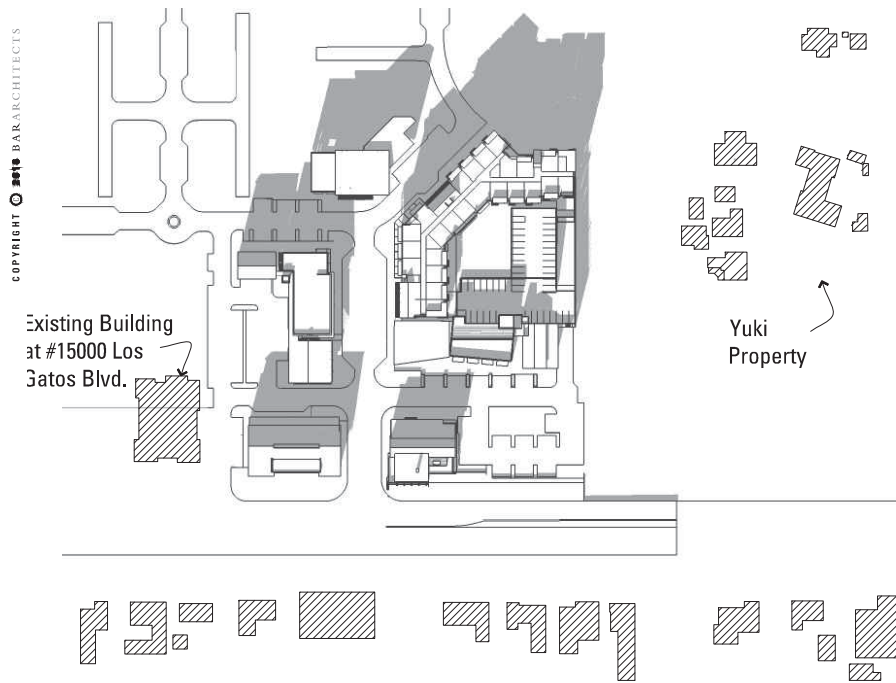
**** Notes:**
For additional information on patio and deck sizes at Residential, see Floor Plans on Sheet 3.5 and 3.7, and Unit Plans on Sheets 3.18 to 3.21;
for additional Open Space tabulations see Sheets 6.4 and 6.5

***** Notes:**
Unit H1 are loft units that have 2 levels, the 2nd Floor is the total unit area, Open Space Area and Quantities.
For partial 1st Floor tabulation - 524 NSF per unit on lower level x 2 units = 1048 NSF
For partial 1st Floor Open Space- 78 SF per unit on lower level x 2 units = 156 SF

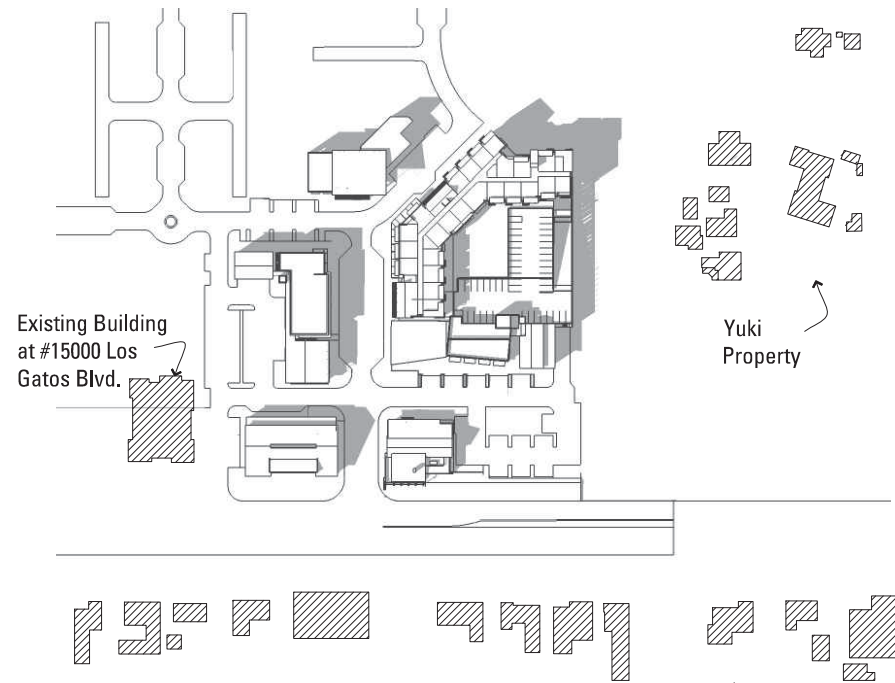
2/8/2016							
	RESIDENTIAL UNIT AREA TABULATIONS						
Senior Affordable * (Building B1)	Net Unit Area (SF)	1st Floor	2nd Floor	3rd Floor	4th Floor	Subtotal Number of Units	Subtotal Net Unit Area (SF)
Unit Type A1 - 1BR, 1 Bath	580			22	26	48	27,840
Unit Type A2 - 1BR, 1 Bath	680			1		1	680
Unit Type B1 - 2BR, 1 Bath (Manager)	875				1	1	875
Senior Affordable Total		0	0	23	27	50	
Total Net Unit Area (SF)		0	0	13,440	15,955		29,395

* Note:
Private Open Space is not typically provided at Senior Affordable by Eden Housing; Common and Public Open Space will be provided instead; for

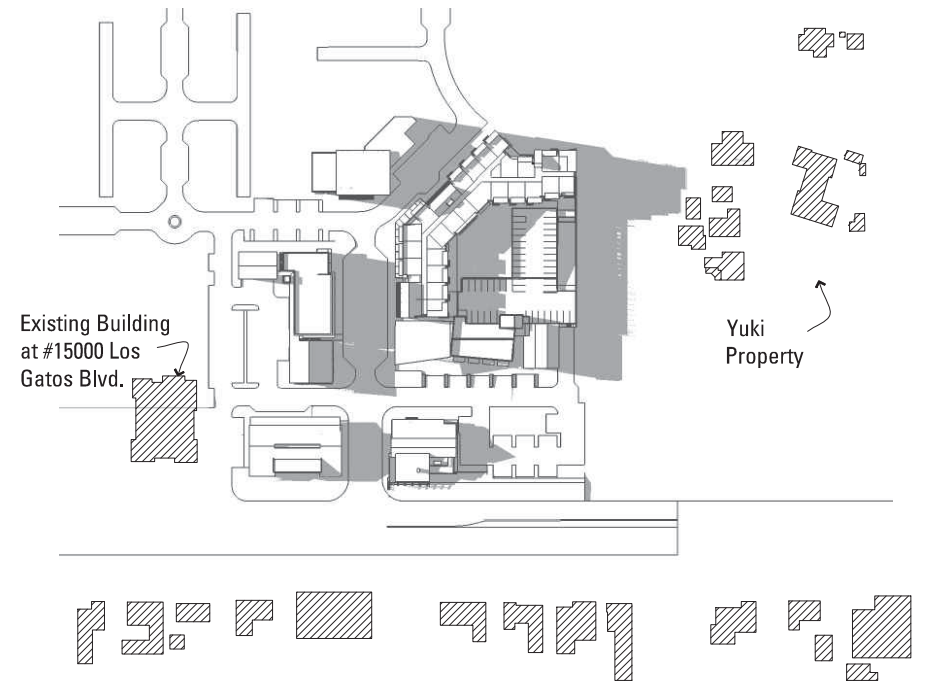
	1 Bedroom Unit	2 Bedroom Unit	Total Units	Total Area
Residential (Building A1)	6	4	10	
Senior Affordable (Building B1)	49	1	50	
TRANSITION DISTRICT- Area A,B,C TOTAL	55	5	60	38,345
(2) of the 2 Bedroom Units in Building A1 are Live/Work Lofts.				



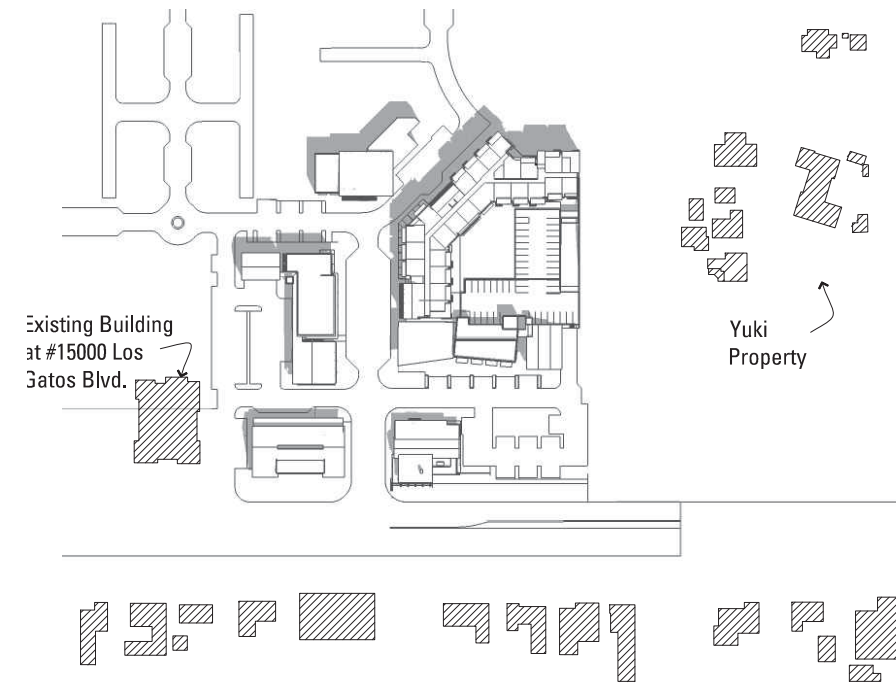
Winter Solstice
December 21, 9am



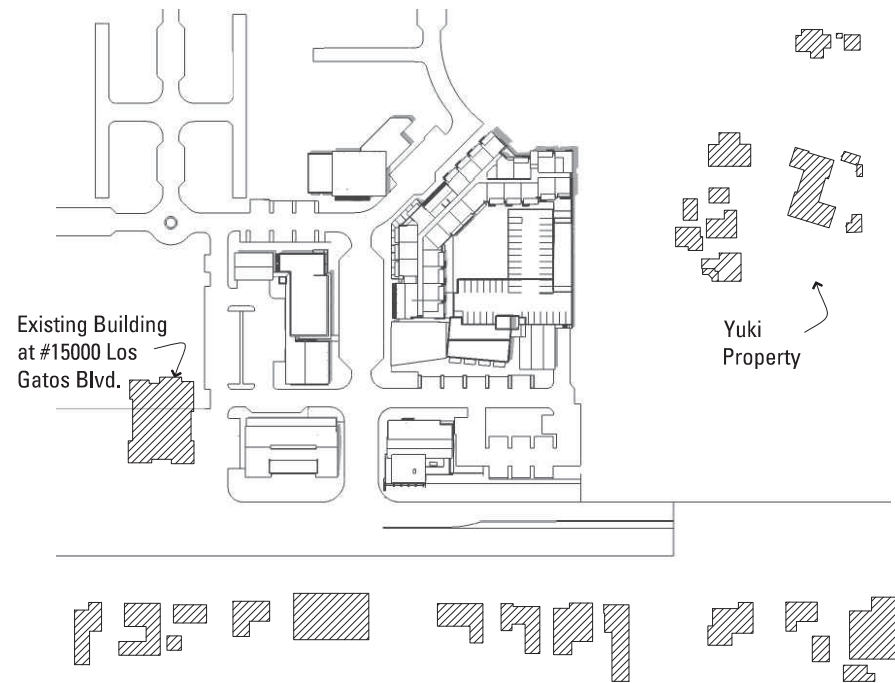
Winter Solstice
December 21, noon



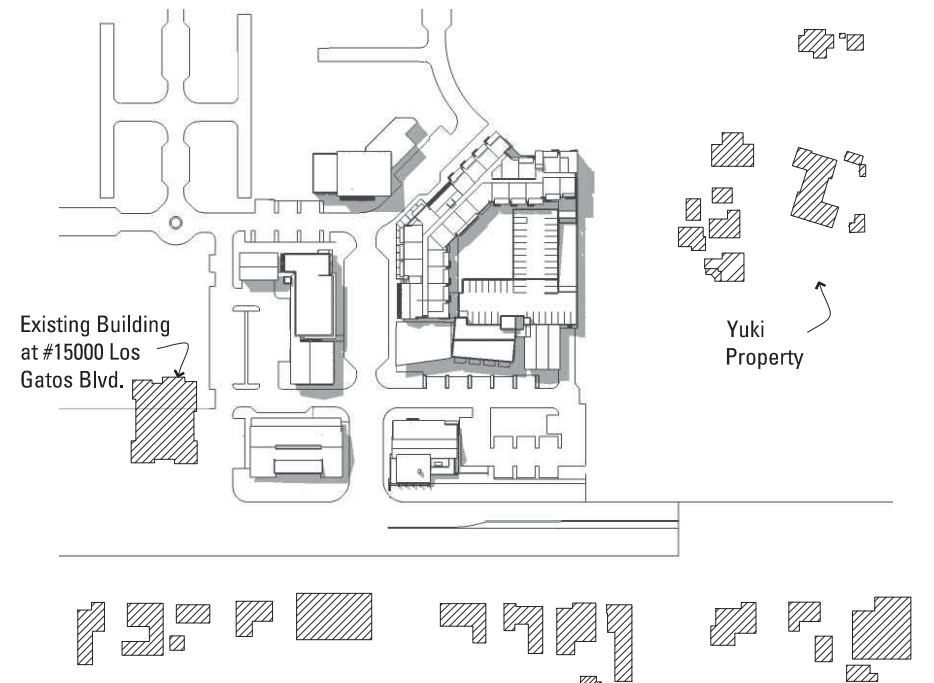
Winter Solstice
December 21, 3pm



Summer Solstice
June 21, 9am



Summer Solstice
June 21, noon



Summer Solstice
June 21, 3pm

NORTH FORTY

LOS GATOS, CA

**Transition District
Solar Access Shadow Study**

Garden Lanes



Walkable Neighborhood



Orchard Street



Community Gardens



Pedestrian Environment



NORTH FORTY

LOS GATOS, CA

Lark District
Illustrative Site Plan



A-Street Landscape Plan



Walkable Community



Los Gatos Blvd. Landscape Plan



Orchard Frontage



Turf Block



NORTH FORTY

LOS GATOS, CA

Lark District

A-Street and Los Gatos Blvd. Landscape Plan



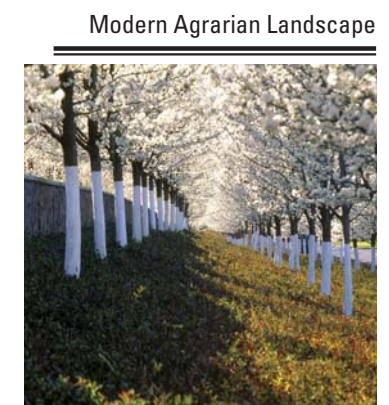
Orchard Buffer

Multi-Use Trail



Rustic Materials

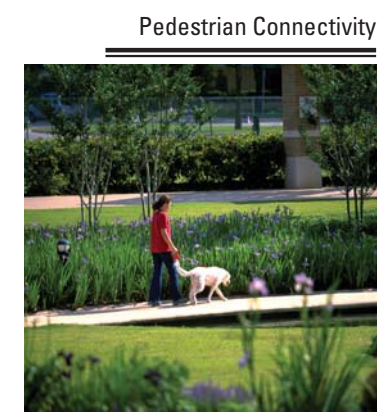
Garden Planting



Modern Agrarian Landscape



Country Landscape



Pedestrian Connectivity

PLAY / LOUNGE / UNPLUG



BOCCE COURT w/ SHADE ARBORS & TRELLISES



HAMMOCKS AND BENCHES UNDER ORCHARD TREES



SUNKEN FIREPIT LOUNGE



CAFE SEATING



GROW / GATHER / DINE



COMMUNITY GARDENS



OUTDOOR GRILL



COMMUNAL DINING



WiFi LOUNGE w/ BAR & GRILL



WiFi LOUNGE w/ OUTDOOR FIREPLACE



ORCHARD TREES



FRUITING ESPALIER



NORTH FORTY

LOS GATOS, CA

Lark District
Community Park Enlargement Plan

**INTEGRATING NATURAL ELEMENTS
EARTH / FIRE / WATER**



SHADE SAILS



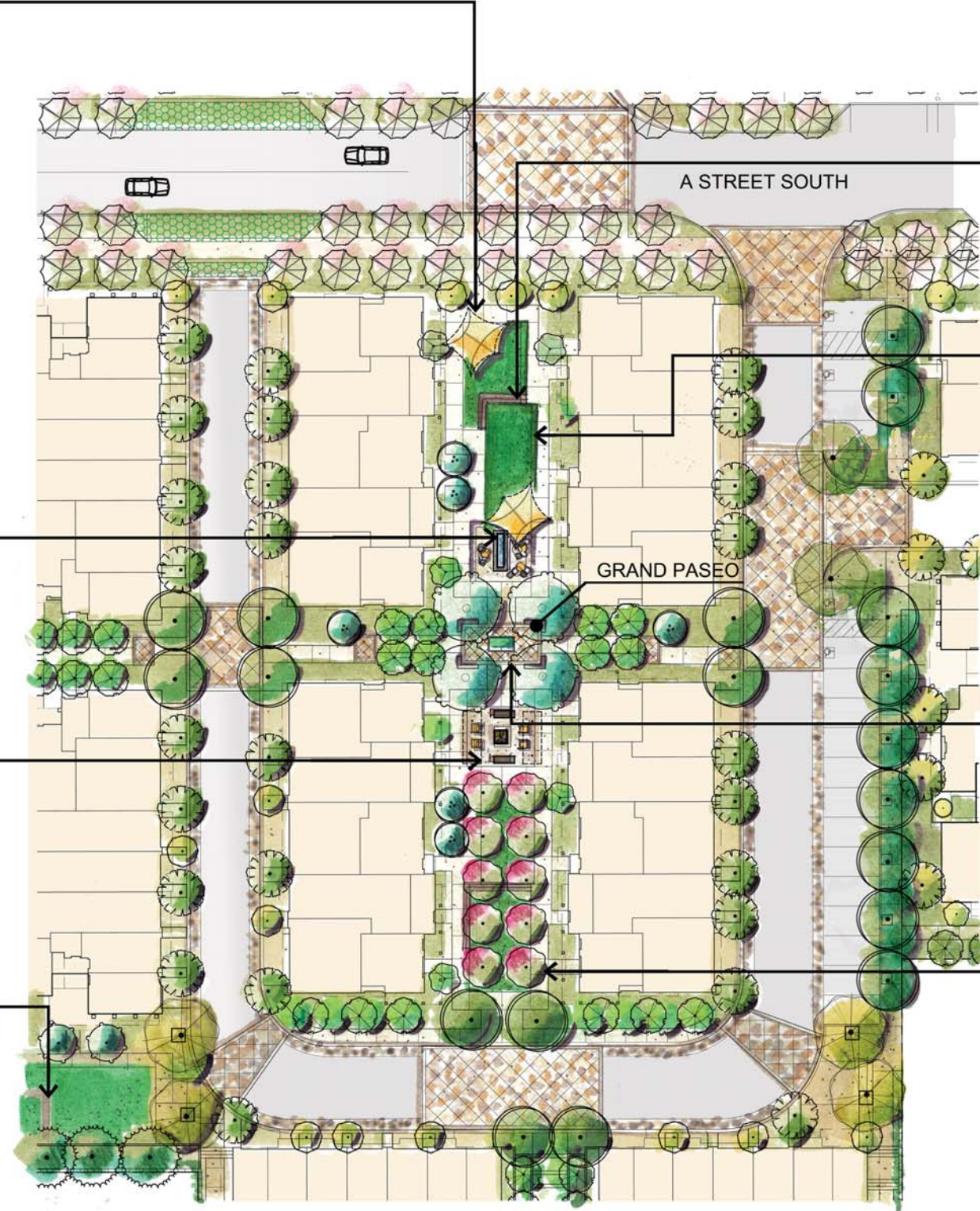
LINEAR WATER FEATURE



FIRE PIT LOUNGE



TERRACED PLANTING & STEPPED LAWN
AREA



STROLL / PAUSE / MEET



LAWN w/ WIDE SEAT STEPS



OPEN LAWN AREA



GARDEN COURTS ALONG PATHWAYS



ORCHARD TREES ON DECOMPOSED GRANITE w/
BENCHES AND WIDE SEAT STEPS

NORTH FORTY

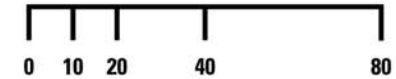
LOS GATOS, CA

**Lark District
Grand Paseo Enlargement Plan**



V1301

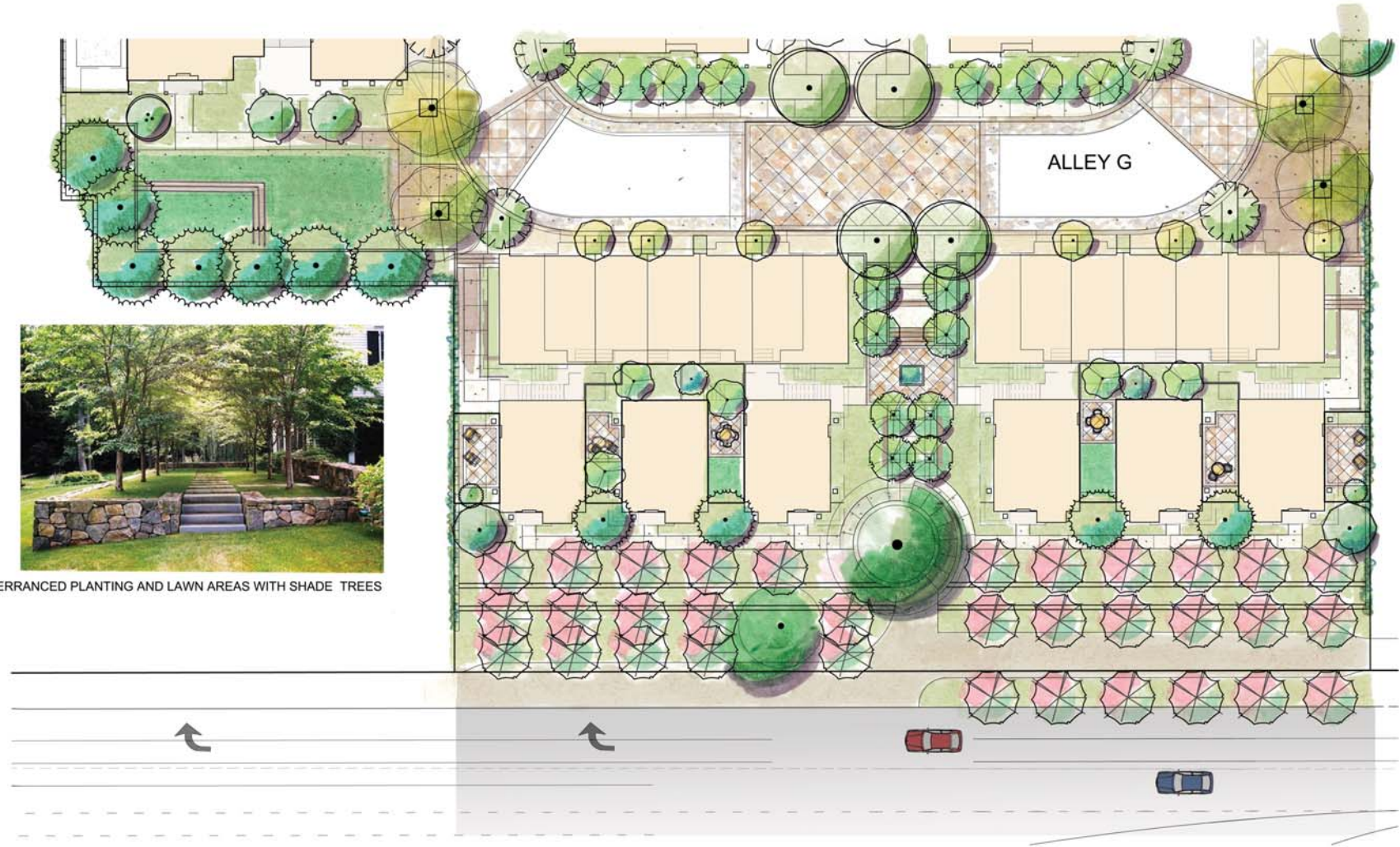
03.18.16



4.5



TERRANCED PLANTING AND LAWN AREAS WITH SHADE TREES



SEATWALLS AND STAIR CONNECTION TO GRAND PASEO



COURTYARDS AND SIDEYARDS



NORTH FORTY

LOS GATOS, CA

Lark District
Garden Cluster Enlargement Plan

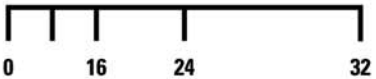


VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.



V1301

03.18.16





MULTI-TEXTURED PAVING WITH COLOR AND SCORING VARIATION
CONCRETE PAVERS & LARGE CANOPY TREES AT ALL PEDESTRIAN
CROSSINGS

NORTH FORTY

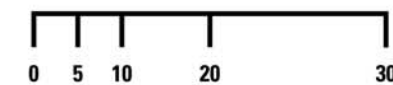
LOS GATOS, CA

Lark District
Typical Alley Enlargement Plan



V1301

03.18.16



4.7



WALKING PATHS



DOG WALKING AMENITIES



DOG WALKING INFORMATION KIOSK



DIRECTIONAL SIGNAGE



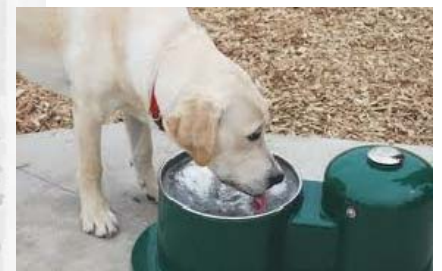
WALKING PATHS



BENCHES



BAG AND TRASH STATIONS



WATERING STATIONS

NORTH FORTY

LOS GATOS, CA

Lark District
Dog Walking & Pedestrian Paths



SHARED PATHWAY SIGNAGE



NORTH-SOUTH MULTI-MODAL PATH



PRIMARY BIKE ROUTE SHARROWS



ROUTE MARKERS & WAY FINDING SIGNAGE



BICYCLE AMENITIES



BICYCLE REPAIR VENDING MACHINE & REPAIR STATIONS



TUNE-UP STATIONS



SHORT-TERM/GUEST BIKE PARKING

NORTH FORTY

LOS GATOS, CA

Lark District
Alternative Bike Path & Bicycle Amenities Plan

COMMON OPEN SPACE TREES:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)	BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
Acer palmatum 'Sango Kaku'	Coral Bark Maple	15 gal	18' x 14'	Prunus x yedoensis 'Akebono'	Flowering Cherry	15 gal	22' x 22'
Arbutus x 'Marina'	Arbutus Standard	15 gal	22' x 22'	Pyrus calleryana	Ornamental Pear	15 gal	30' x 15'
Cercidiphyllum japonicum	Katsura Tree	24" box	35' x 25'	Tilia cordata	Littleleaf Linden	15 gal	30' x 15'
Cercis occidentalis	Western Redbud Multi-trunk	15 gal	15' x 15'	Sequoia sempervirens	Coast Redwood	24" box	70' x 25'-30'
Ginkgo biloba	Maldenhalr Tree	24" box	35' x 25'	Zelkova serrata	Sawleaf Zelkova	24" box	42' x 32'
Lagerstroemia spp.	Crape Myrtle	24" box	15'- 25' x 15'-25'	Zelkova serrata 'Musashino'	Columnar Zelkova	15 gal	30' x 15'
Magnolia grandiflora 'Little Gem'	Dwarf Southern Magnolia	15 gal	20' x 10'				
Magnolia stellata 'Royal Star'	Royal Star Magnolia	15 gal	10' x 12'				
Pinus canariensis	Canary Island Pine	24" box	50' x 25'				
Pistacia chinensis	Chinese Pistache	24" box	35' x 30'				
Platanus x acerifolia 'Yarwood'	London Plane Tree	24" box	40' x 30'				
Prunus s. 'Amanogawa'	Columnar Flowering Cherry	15 gal	25' x 12'				



Cercidiphyllum japonicum



Pistacia chinensis



Lagerstroemia spp.



Platanus x acerifolia



Prunus x yedoensis

ORCHARD TREES:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
Malus x 'Fuji'	Fuji Apple	15 gal	22' x 20'
Malus x 'Granny Smith'	Granny Smith Apple	15 gal	22' x 22'
Prunus armeniaca 'Moorpark'	Moorpark Apricot	15 gal	20' x 22'
Prunus avium 'Bing'	Bing Cherry	15 gal	20' x 20'
Prunus avium 'Rainier'	Rainier Cherry	15 gal	20' x 20'
Prunus domestica 'French Prune'	European Plum	15 gal	22' x 24'
Prunus dulcis 'All In One'	Almond	15 gal	20' x 18'
Prunus persica 'Red Baron'	Red Baron Peach	15 gal	20' x 22'
Pyrus communis 'Bartlett'	Bartlett Pear	15 gal	20' x 18'



Almond



Apricot



Fuji Apple



Granny Smith Apple



Peach

ACCENT FRUITING TREES:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
Citrus x aurantiifolia 'Bearss Lime'	Bearss Lime	15 gal	7' x 10'
Citrus x limon 'Meyer'	Meyer Lemon	15 gal	6' x 8'
Citrus x paradisi 'Oroblanco'	Oroblanco Grapefruit	15 gal	12' x 15'
Citrus x tangelo 'Minneola'	Honeybell Tangelo	15 gal	12' x 12'
Diospyros kaki 'Fuyu'	Persimmon	15 gal	26' x 28'
Ficus carica 'Mission'	Mission Fig	15 gal	24' x 24'
Ficus carica 'Mission' espallier	Espallier Mission Fig	15 gal	6' x 12'
Punica granatum 'California Sunset'	Pomegranate	15 gal	10' x 10'



Bearss Lime



Meyer Lemon



Persimmon



Tangelo



Pomegranate

FLOWERING ACCENT & FOUNDATION SHRUBS:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)	BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
arctostaphylos mazanita	mazanita	5 gal	8' x 8'	ribes viburnifolium	evergreen currant		
arbutus 'Elfin King'	arbutus	5 gal	5' x 5'	rosa californica	california rose	5 gal	4' x 5'
cerdis occidentalis	western redbud multi-trunk	5 gal	15' x 15'	rhampus californica	coffeeberry	5 gal	8' x 8'
coleonema pulchrum	pink breath of heaven	5 gal	5' x 5'	solanum rantonnetii (standard)	paraguay nightshade	5 gal	4' x 3'
dodonaea viscosa 'purpurea'	purple leaved hopsed bush	5 gal	12' x 10'	soliva heterophylla	australian bluebell	5 gal	3' x 4'
grevillea hybrid 'noelle'	grevillea	5 gal	4' x 5'	ibouchina unguisana	princess flower	5 gal	10' x12'
hebe speciosa	hebe	5 gal	5' x 4'	visburnum linus 'spring bouquet'	spring bouquet laurestinus	5 gal	8' x 4'
juniperus scopulorum 'skyrocket'	skyrocket juniper	5 gal	15' x 3'	westringia fruticosa	coast rosemary	5 gal	5' x 8'
lavatera assurgentiflora	mallow	5 gal	8' x 8'	westringia fruticosa 'morning light'	morning light coast rosemary	5 gal	3' x 3'
lavatera thuringiaca 'barnsley'	tree mallow	5 gal	8' x 8'				
ligustrum texanum	wideleaf privet	5 gal	8' x 4'				
myrica californica	pacific was myrtle	5 gal	8' x 8'				
pittosporum tenuifolium 'variegatum'	tawhihihi	5 gal	12' x 10'				
prunus caroliniana 'bright n'ight'	carolina laurel cherry	5 gal	12' x 4'				



Arctostaphylos spp.



Arbutus 'Elfin King'



Magnolia stellata



Cercis Occidentalis



Hebe speciosa



Rhamnus californica



Rosa californica

FOREGROUND SHRUBS:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)	BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
berberis thunbergii 'crimson pygmy'	crimson pygmy barberry	1 gal	1.5' x 2'	loropetalum chinese	green fringe flower	1 gal	4' x5'
cistus ladanifer	crimson-spot rockrose	5 gal	4' x 4'	mahonia aquilegifolium 'compacta'	compact oregon grape	1 gal	3' x 4'
cistus x hybridus	white rockrose	5 gal	3' x 6'	minulus aurantiacus	sticky monkey flower	1 gal	3' x 3'
cistus x purpureus 'dorls hbberson'	orchid rockrose	1 gal	4' x 3'	phormium tenax 'gold sword'	new zealand flax	1 gal	2.5' x 3.5'
correa hybrid 'dusky bells'	australian fuchsia	1 gal	2' x 8'	phormium 'maori queen'	new zealand flax	1 gal	3' x 3'
cotoneaster microphyllus	rockspray cotoneaster	1 gal	2' x 5'	pittosporum tenuifolium 'marjorie channon'	tawhihihi	5 gal	8' x 4'
dielles bicolor	fortnight lily	1 gal	2' x 3'	pittosporum tobira 'cream de mint' tm	cream de mint dwarf mock orange	1 gal	2' x 2'
erysimum liriifolium 'bowles mauve 'apricot'	wallflower	1 gal	3' x 3'	pittosporum tobira 'wheelers dwarf'	wheeler's dwarf mock orange	1 gal	3' x 3'
fuchsia hybrida 'gartenmeister bonstedt'	fuchsia	1 gal	3' x 2'	rosa floribunda 'iceberg'	iceberg rose (lt)	5 gal	3' x 4'
hebe x 'autumn glory'	autumn glory hebe	1 gal	2' x 2'	rosa x flower carpet 'red'	flower carpet rose	2 gal	2' x 4'
hebe 'coed'	hebe	1 gal	3' x 3'	rosa x flower carpet 'white'	rose	2 gal	2' x 4'
hemerocallis hybrid	yellow flowering daylily	1 gal	3' x 3'	rosa x flower carpet 'apple blossom'	rose	2 gal	2' x 4'
hemerocallis hybrid	red flowering daylily	1 gal	3' x 3'	rosmarinus officinalis 'tuscan blue'	tuscan blue rosemary	1 gal	4' x 2'
heuchera x 'santa ana cardinal'	coral bells	1 gal	1.5' x 1'	tagetes lemmonii	copper canyon daisy	1 gal	3' x 3'
loropetalum chinese 'razdebert'	razdebert fringe flower	5 gal	4' x 5'	viburnum trilobum 'compactum'	cranberry bush	1 gal	4' x 4'



Cistus spp.



Hemerocallis hybs.



Dietes



Mimulus



Loropetalum



Pittosporum spp.



Pittosporum spp.

GRASSES & GROUNDCOVER:

BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)	BOTANICAL NAME	COMMON NAME	SIZE (container)	MATURE SIZE (height x width)
arctostaphylos spp.	mazanita	1 gal	1.5' x 5'	mullenbergia rigens	deer grass	1 gal	3' x 2'
baccharis pilularis	dwarf coyote brush	1 gal	2' x 6'	nassella tenuissima	mexican feather grass	1 gal	2' x 3'
carex elata 'bowles golden'	bowles golden sedge	1 gal	2.5' x 1.5'	phormium tenax 'jack spratt'	new zealand flax	1 gal	1.5' x 1.5'
carex pansa	sedge	1 gal	1.5' x 1'	phormium tenax 'tom thumb'	dwarf green flax	1 gal	2.5' x2.5'
ceanothus spp.	wild lilac	1 gal	2.5' x 8'				
cotoneaster microphyllus	rockspray cotoneaster	1 gal	2' x 5'				
erigeron glaucus 'wayne roderick'	seaside daisy	1 gal	8' x 8'				
festuca ovina glauca 'elijah blue'	blue fescue	1 gal	8' x 12"				
fragaria chiloensis	beach strawberry	1 gal	6" x 24"				
hebe pinguifolia 'Page'	groundcover hebe	1 gal	3' x 3'				
hellanthemum nummularium 'wiskley pink'	wiskley pink rock rose	1 gal	8' x 36"				
juncus effusus 'gold striped'	gold-striped rush	1 gal	2.5' x 2.5'				
liriope glauca	glant liriope	1 gal	2' x 1'				
miscanthus sinensis 'purpurescens'	flame grass	1 gal	3' x 4'				



Nassella tenuissima



Mullenbergia



Erigeron glaucus



Ceanothus spp.



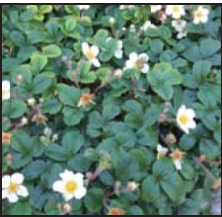
Baccharis



Arctostaphylos spp.



Phormium hybs.



Fragaria



Carex pansa



Festuca idahoensis



Festuca glauca



Phorimum hybs.



Liriope spp.



Hebe pinguifolia 'Page'



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District
Perspective Rendering - South A Street
from Lark District toward Transition District



192-072

03.18.16

Scale: NTS

5.1



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District

Perspective Rendering - Park



192-072

03.18.16

Scale: NTS

5.2



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District
Perspective Rendering - Alley 'A'
view from South A Street



192-072

03.18.16

Scale: NTS

5.3



PLAN 1

1ST FLOOR:	0 sq.ft.
2ND FLOOR:	719 sq.ft.
3RD FLOOR:	495 sq.ft.
TOTAL:	1,214 sq.ft.
GARAGE:	269 sq.ft.

PLAN 2

1ST FLOOR:	713 sq.ft.
2ND FLOOR:	703 sq.ft.
TOTAL:	1,416 sq.ft.
GARAGE:	452 sq.ft.
YARD:	301 sq.ft.

PLAN 3

1ST FLOOR:	886 sq.ft.
2ND FLOOR:	836 sq.ft.
TOTAL:	1,722 sq.ft.
GARAGE:	452 sq.ft.
YARD:	250 sq.ft.

PLAN 4

1ST FLOOR:	108 sq.ft.
2ND FLOOR:	749 sq.ft.
3RD FLOOR:	585 sq.ft.
TOTAL:	1,442 sq.ft.
GARAGE:	273 sq.ft.

PLAN 5

1ST FLOOR:	0 sq.ft.
2ND FLOOR:	857 sq.ft.
3RD FLOOR:	561 sq.ft.
TOTAL:	1,418 sq.ft.
GARAGE:	268 sq.ft.

PLAN 6

1ST FLOOR:	853 sq.ft.
2ND FLOOR:	597 sq.ft.
3RD FLOOR:	495 sq.ft.
TOTAL:	1,945 sq.ft.
GARAGE:	462 sq.ft.
YARD:	518 sq.ft.

PLAN 7

1ST FLOOR:	908 sq.ft.
2ND FLOOR:	589 sq.ft.
3RD FLOOR:	501 sq.ft.
TOTAL:	1,998 sq.ft.
GARAGE:	459 sq.ft.
YARD:	338 sq.ft.

**SITE TOTAL
UNIT COUNT**

PLAN 1 :	10 UNITS
PLAN 2 :	10 UNITS
PLAN 3 :	8 UNITS
PLAN 4 :	10 UNITS
PLAN 5 :	10 UNITS
PLAN 6 :	10 UNITS
PLAN 7 :	10 UNITS

AVERAGE BEDROOM COUNT FOR GARDEN CLUSTER = 1.75
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93
 * REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.10

NORTH FORTY

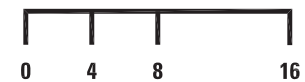
LOS GATOS, CA

**Lark District
 Clusters 1 & 2- Garden Cluster - 7-Plex A - 1st Floor Illustrative
 see Landscape Plans for more information**



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.1



Lark District

NORTH FORTY

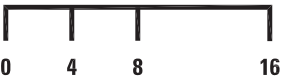
LOS GATOS, CA

Clusters 1 & 2 - Garden Cluster - 7-Plex A - 2nd Floor



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.2



PLAN 4

PLAN 1

PLAN 5

PLAN 7

PLAN 6

Lark District

NORTH FORTY

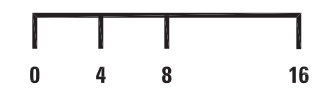
LOS GATOS, CA

Clusters 1 & 2 - Garden Cluster - 7-Plex A -3rd Floor

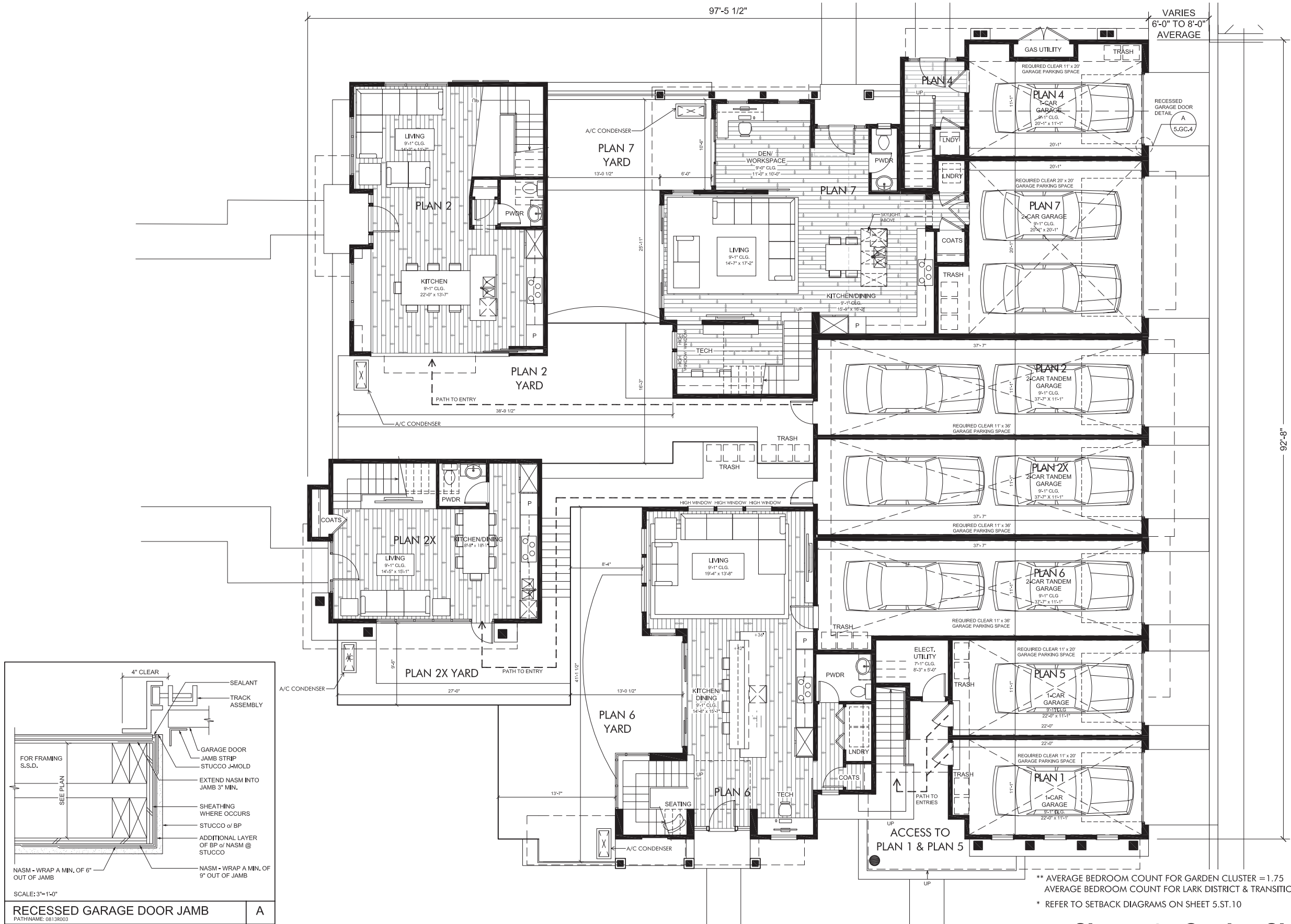


192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.3



PLAN 1	
1ST FLOOR:	0 sq.ft.
2ND FLOOR:	719 sq.ft.
3RD FLOOR:	495 sq.ft.
TOTAL:	1,214 sq.ft.
GARAGE:	269 sq.ft.

PLAN 2	
1ST FLOOR:	713 sq.ft.
2ND FLOOR:	703 sq.ft.
TOTAL:	1,416 sq.ft.
GARAGE:	452 sq.ft.
YARD:	527 sq.ft.

PLAN 2X	
1ST FLOOR:	485 sq.ft.
2ND FLOOR:	433 sq.ft.
TOTAL:	918 sq.ft.
GARAGE:	452 sq.ft.
YARD:	250 sq.ft.

PLAN 4	
1ST FLOOR:	108 sq.ft.
2ND FLOOR:	749 sq.ft.
3RD FLOOR:	585 sq.ft.
TOTAL:	1,442 sq.ft.
GARAGE:	273 sq.ft.

PLAN 5	
1ST FLOOR:	0 sq.ft.
2ND FLOOR:	857 sq.ft.
3RD FLOOR:	561 sq.ft.
TOTAL:	1,418 sq.ft.
GARAGE:	268 sq.ft.

PLAN 6	
1ST FLOOR:	853 sq.ft.
2ND FLOOR:	597 sq.ft.
3RD FLOOR:	495 sq.ft.
TOTAL:	1,945 sq.ft.
GARAGE:	462sq.ft.
YARD:	518 sq.ft.

PLAN 7	
1ST FLOOR:	908 sq.ft.
2ND FLOOR:	589 sq.ft.
3RD FLOOR:	501 sq.ft.
TOTAL:	1,998 sq.ft.
GARAGE:	459 sq.ft.
YARD:	338 sq.ft.

SITE TOTAL UNIT COUNT	
PLAN 1 :	10 UNITS
PLAN 2 :	10 UNITS
PLAN 2X:11 UNITS	
PLAN 4 :	10 UNITS
PLAN 5 :	10 UNITS
PLAN 6 :	10 UNITS
PLAN 7 :	10 UNITS

** AVERAGE BEDROOM COUNT FOR GARDEN CLUSTER =1.75
AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D =1.93
* REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.10

NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 3 - Garden Cluster - 7-Plex B- 1st Floor
see Landscape Plans for more information



PLAN 2

PLAN 2X

PLAN 7

PLAN 4

PLAN 1

PLAN 5

PLAN 6

Lark District

NORTH FORTY

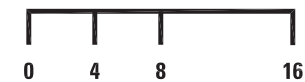
LOS GATOS, CA

Cluster 3 - Garden Cluster - 7-Plex B - 2nd Floor



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.5



PLAN 4

PLAN 1

PLAN 5

PLAN 7

PLAN 6

Lark District

NORTH FORTY

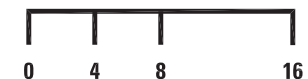
LOS GATOS, CA

Cluster 3 - Garden Cluster - 7-Plex B -3rd Floor

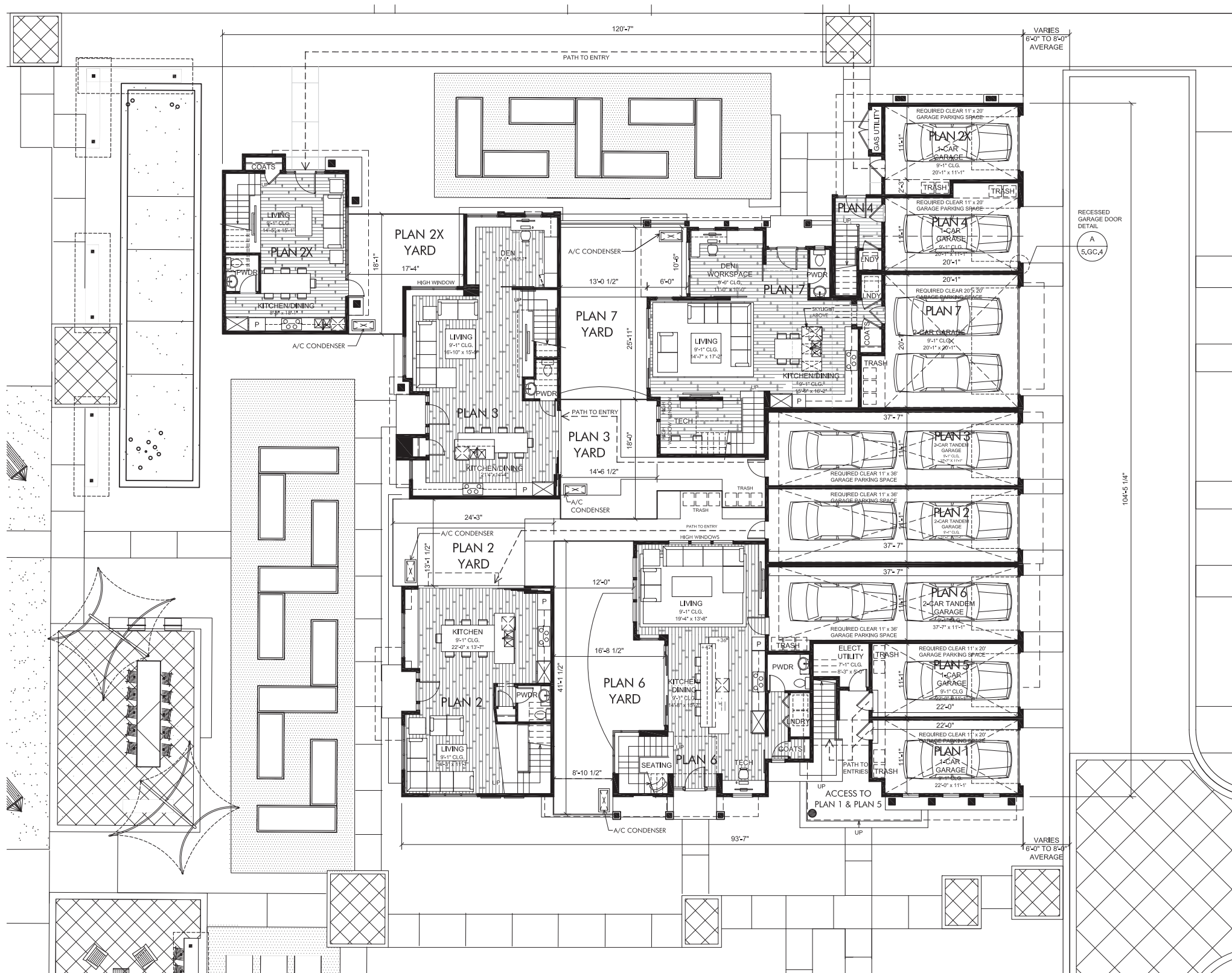


192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.6



PLAN 1	
1ST FLOOR:	0 sq.ft.
2ND FLOOR:	719 sq.ft.
3RD FLOOR:	495 sq.ft.
TOTAL:	1,214 sq.ft.
GARAGE:	269 sq.ft.

PLAN 2	
1ST FLOOR:	713 sq.ft.
2ND FLOOR:	703 sq.ft.
TOTAL:	1,416 sq.ft.
GARAGE:	452 sq.ft.
YARD:	301 sq.ft.

PLAN 2X	
1ST FLOOR:	485 sq.ft.
2ND FLOOR:	433 sq.ft.
TOTAL:	918 sq.ft.
GARAGE:	281 sq.ft.
YARD:	240 sq.ft.

PLAN 3	
1ST FLOOR:	886 sq.ft.
2ND FLOOR:	836 sq.ft.
TOTAL:	1,722 sq.ft.
GARAGE:	452 sq.ft.
YARD:	250 sq.ft.

PLAN 4	
1ST FLOOR:	108 sq.ft.
2ND FLOOR:	749 sq.ft.
3RD FLOOR:	585 sq.ft.
TOTAL:	1,442 sq.ft.
GARAGE:	273 sq.ft.

PLAN 5	
1ST FLOOR:	0 sq.ft.
2ND FLOOR:	857 sq.ft.
3RD FLOOR:	561 sq.ft.
TOTAL:	1,418 sq.ft.
GARAGE:	268 sq.ft.

PLAN 6	
1ST FLOOR:	853 sq.ft.
2ND FLOOR:	597 sq.ft.
3RD FLOOR:	495 sq.ft.
TOTAL:	1,945 sq.ft.
GARAGE:	462sq.ft.
YARD:	518 sq.ft.

PLAN 7	
1ST FLOOR:	908 sq.ft.
2ND FLOOR:	589 sq.ft.
3RD FLOOR:	501 sq.ft.
TOTAL:	1,998 sq.ft.
GARAGE:	459 sq.ft.
YARD:	338 sq.ft.

SITE TOTAL UNIT COUNT

PLAN 1 : 10 UNITS
 PLAN 2 : 10 UNITS
 PLAN 2X:11 UNITS
 PLAN 3 : 8 UNITS
 PLAN 4 : 10 UNITS
 PLAN 5 : 10 UNITS
 PLAN 6 : 10 UNITS
 PLAN 7 : 10 UNITS

** AVERAGE BEDROOM COUNT FOR GARDEN CLUSTER = 1.75
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93
 * REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.10

NORTH FORTY

LOS GATOS, CA

Lark District Clusters 4 & 5 - Garden Cluster - 8-Plex A - 1st Floor see Landscape Plans for more information



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03.18.16



Scale: 1/8" = 1'-0"
5.GC.7

PLAN 2X

PLAN 7

PLAN 4

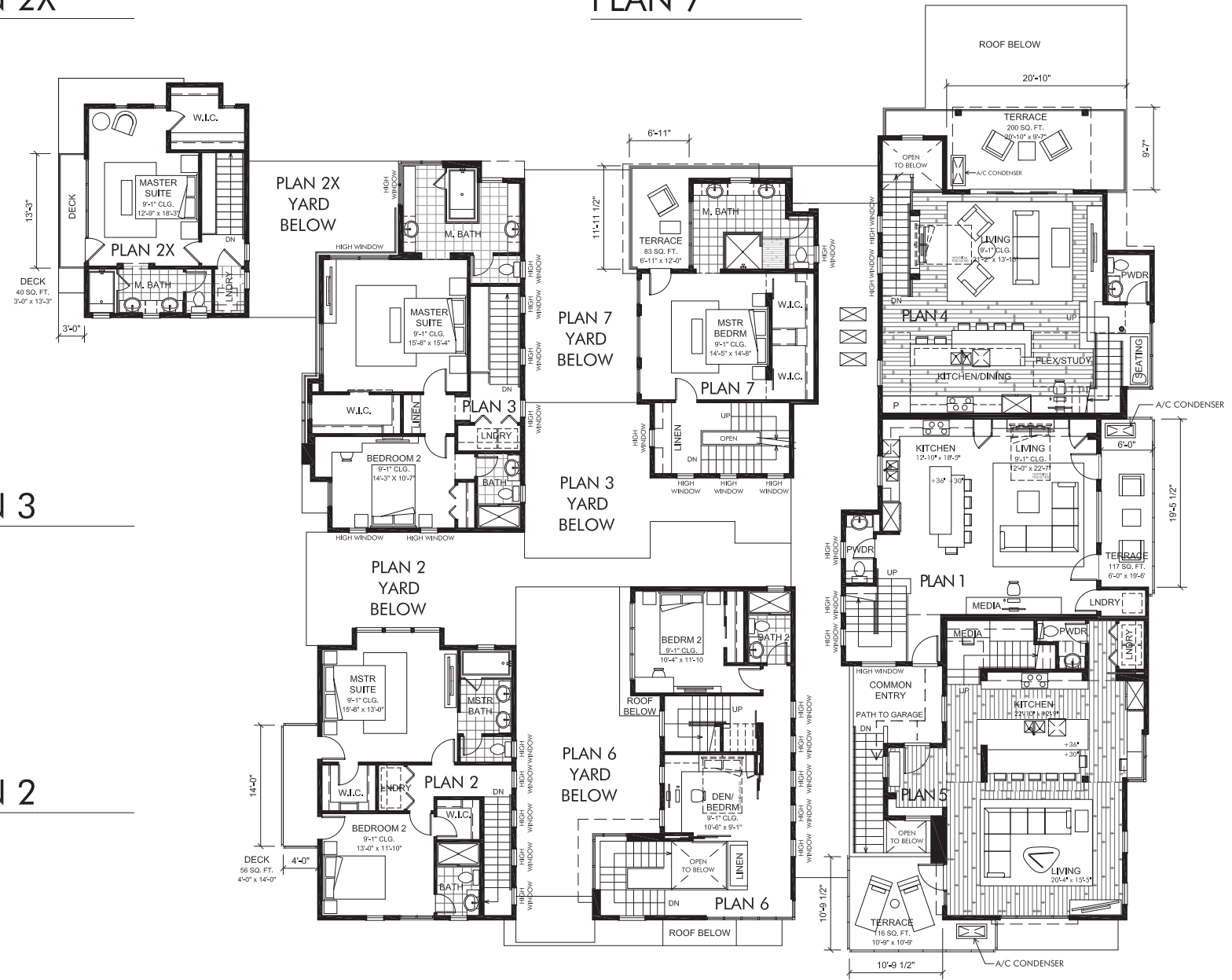
PLAN 3

PLAN 1

PLAN 2

PLAN 5

PLAN 6



NORTH FORTY

LOS GATOS, CA

Lark District

Clusters 4 & 5 -Garden Cluster - 8-Plex A - 2nd Floor



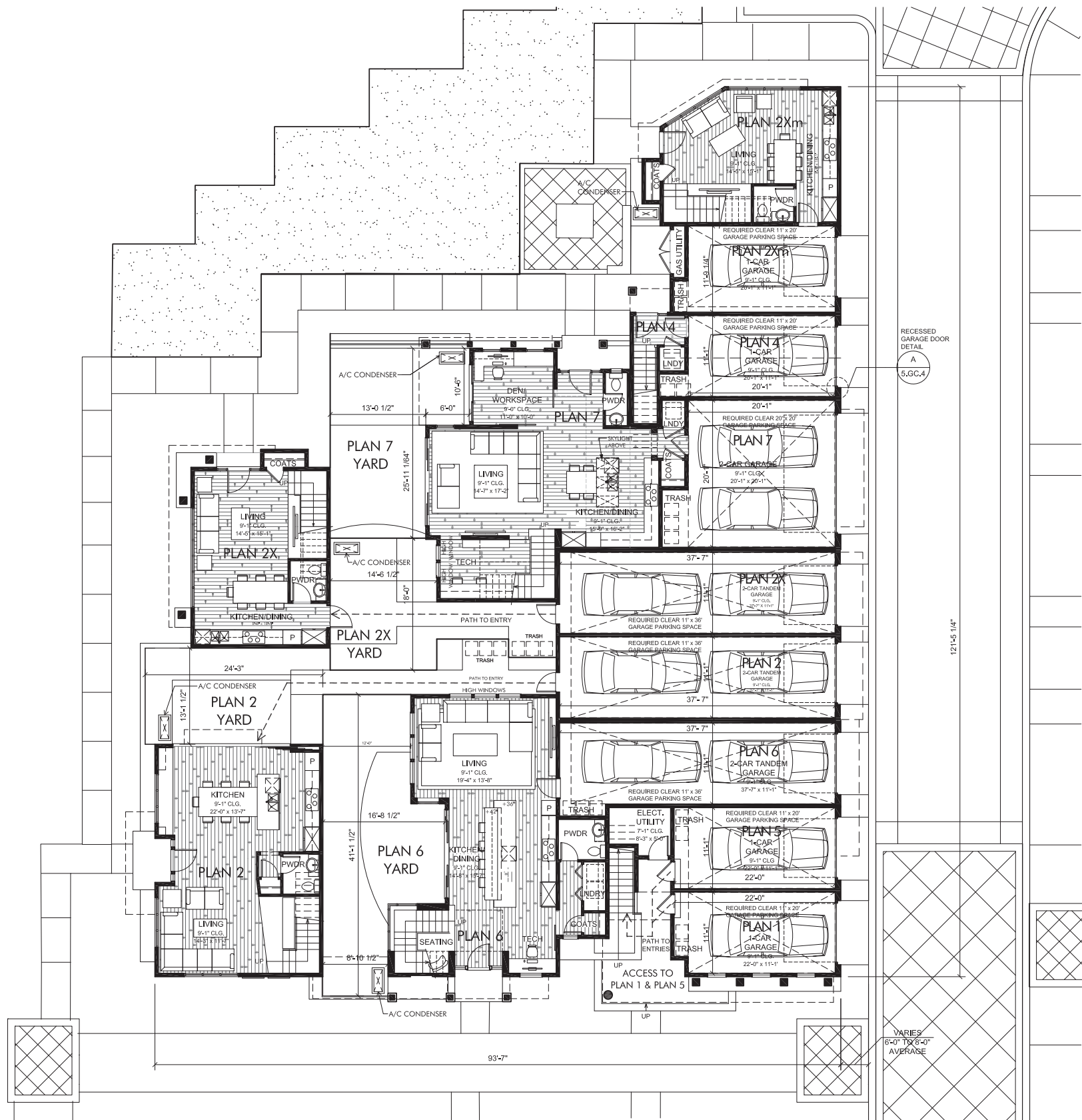
192-072

03.18.16



Scale: 1/8" = 1'-0"

5.GC.8



PLAN 1

1ST FLOOR:	0 sq.ft.
2ND FLOOR:	719 sq.ft.
3RD FLOOR:	495 sq.ft.
TOTAL:	1,214 sq.ft.
GARAGE:	269 sq.ft.

PLAN 2

1ST FLOOR:	713 sq.ft.
2ND FLOOR:	703 sq.ft.
TOTAL:	1,416 sq.ft.
GARAGE:	452 sq.ft.
YARD:	301 sq.ft.

PLAN 2X

1ST FLOOR:	485 sq.ft.
2ND FLOOR:	433 sq.ft.
TOTAL:	918 sq.ft.
GARAGE:	281 sq.ft.
YARD:	240 sq.ft.

PLAN 2Xm

1ST FLOOR:	460 sq.ft.
2ND FLOOR:	408 sq.ft.
TOTAL:	868 sq.ft.
GARAGE:	281 sq.ft.
YARD:	240 sq.ft.

PLAN 4

1ST FLOOR:	108 sq.ft.
2ND FLOOR:	749 sq.ft.
3RD FLOOR:	585 sq.ft.
TOTAL:	1,442 sq.ft.
GARAGE:	273 sq.ft.

PLAN 5

1ST FLOOR:	0 sq.ft.
2ND FLOOR:	857 sq.ft.
3RD FLOOR:	561 sq.ft.
TOTAL:	1,418 sq.ft.
GARAGE:	268 sq.ft.

PLAN 6

1ST FLOOR:	853 sq.ft.
2ND FLOOR:	597 sq.ft.
3RD FLOOR:	495 sq.ft.
TOTAL:	1,945 sq.ft.
GARAGE:	462sq.ft.
YARD:	518 sq.ft.

PLAN 7

1ST FLOOR:	908 sq.ft.
2ND FLOOR:	589 sq.ft.
3RD FLOOR:	501 sq.ft.
TOTAL:	1,998 sq.ft.
GARAGE:	459 sq.ft.
YARD:	338 sq.ft.

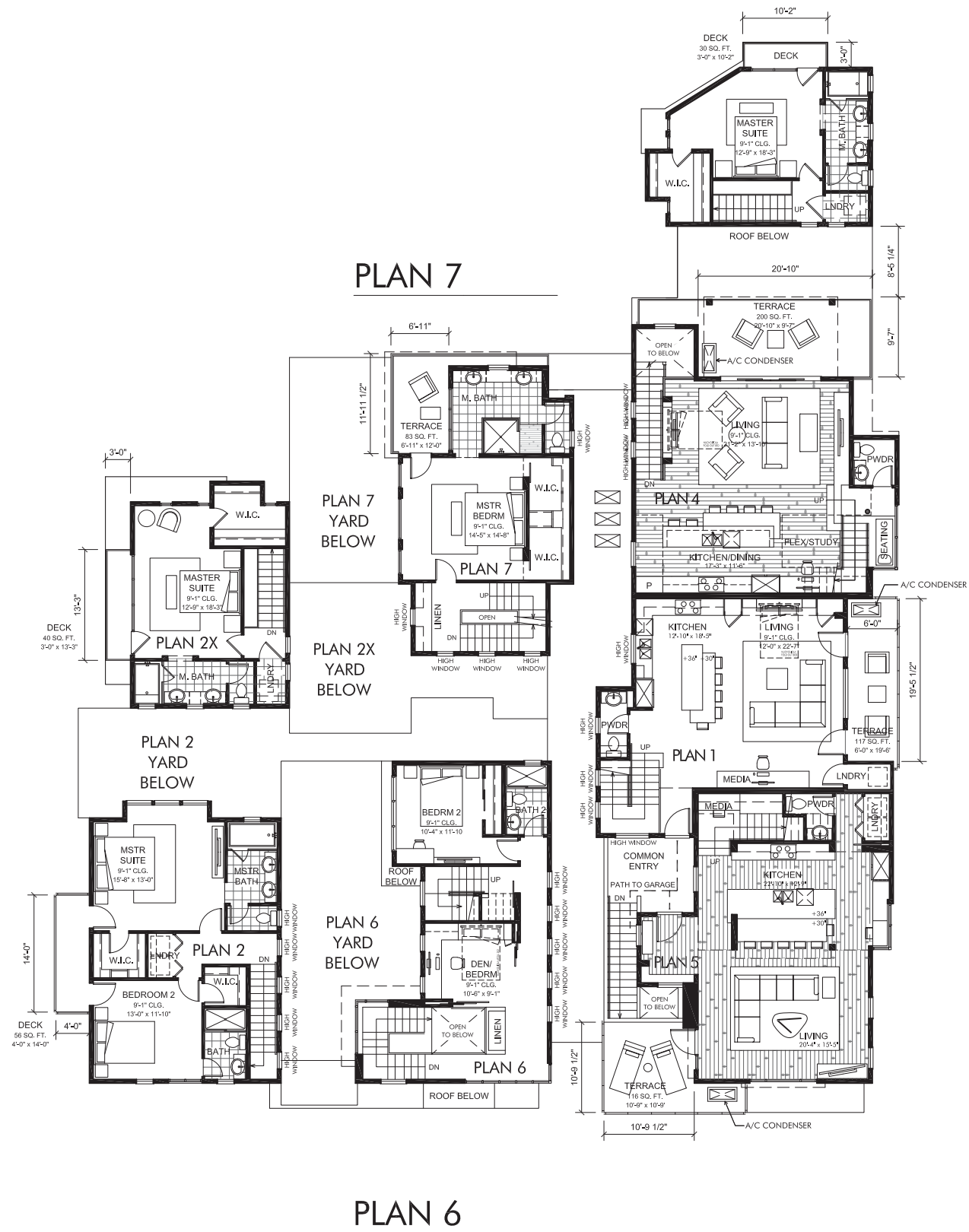
**SITE TOTAL
UNIT COUNT**

PLAN 1 : 10 UNITS
PLAN 2 : 10 UNITS
PLAN 2X:11 UNITS
PLAN 4 : 10 UNITS
PLAN 5 : 10 UNITS
PLAN 6 : 10 UNITS
PLAN 7 : 10 UNITS

* REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.10
** AVERAGE BEDROOM COUNT FOR GARDEN CLUSTER = 1.75
AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93

NORTH FORTY | LOS GATOS, CA

**Lark District
Cluster 6 -Garden Cluster - 8-Plex B - 1st Floor
see Landscape Plans for more information**



PLAN 2Xm

PLAN 4

PLAN 1

PLAN 5

PLAN 2X

PLAN 2

PLAN 7

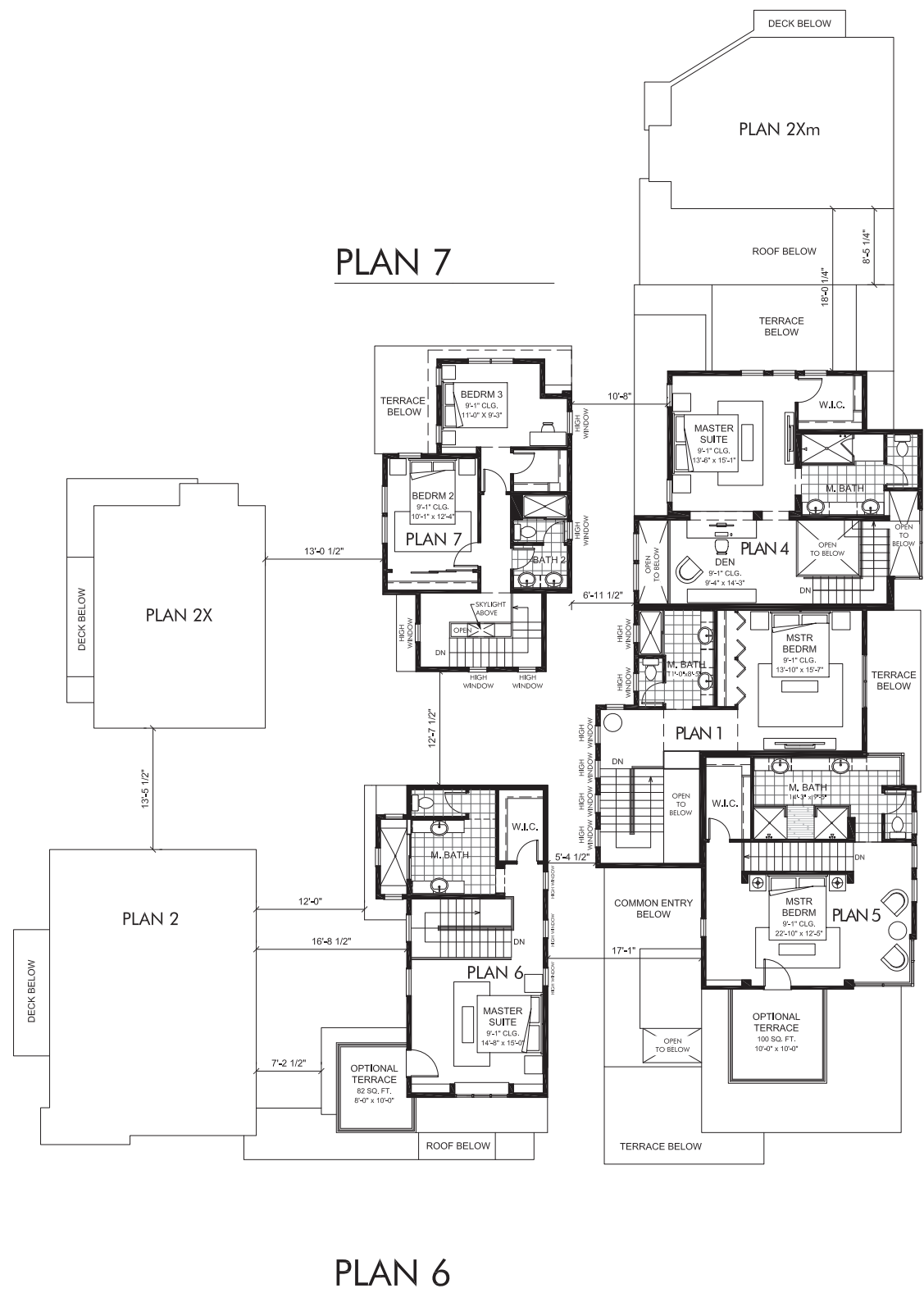
PLAN 6

Lark District

NORTH FORTY | LOS GATOS, CA

Cluster 6 - Garden Cluster - 8-Plex B - 2nd Floor





PLAN 7

PLAN 4

PLAN 1

PLAN 5

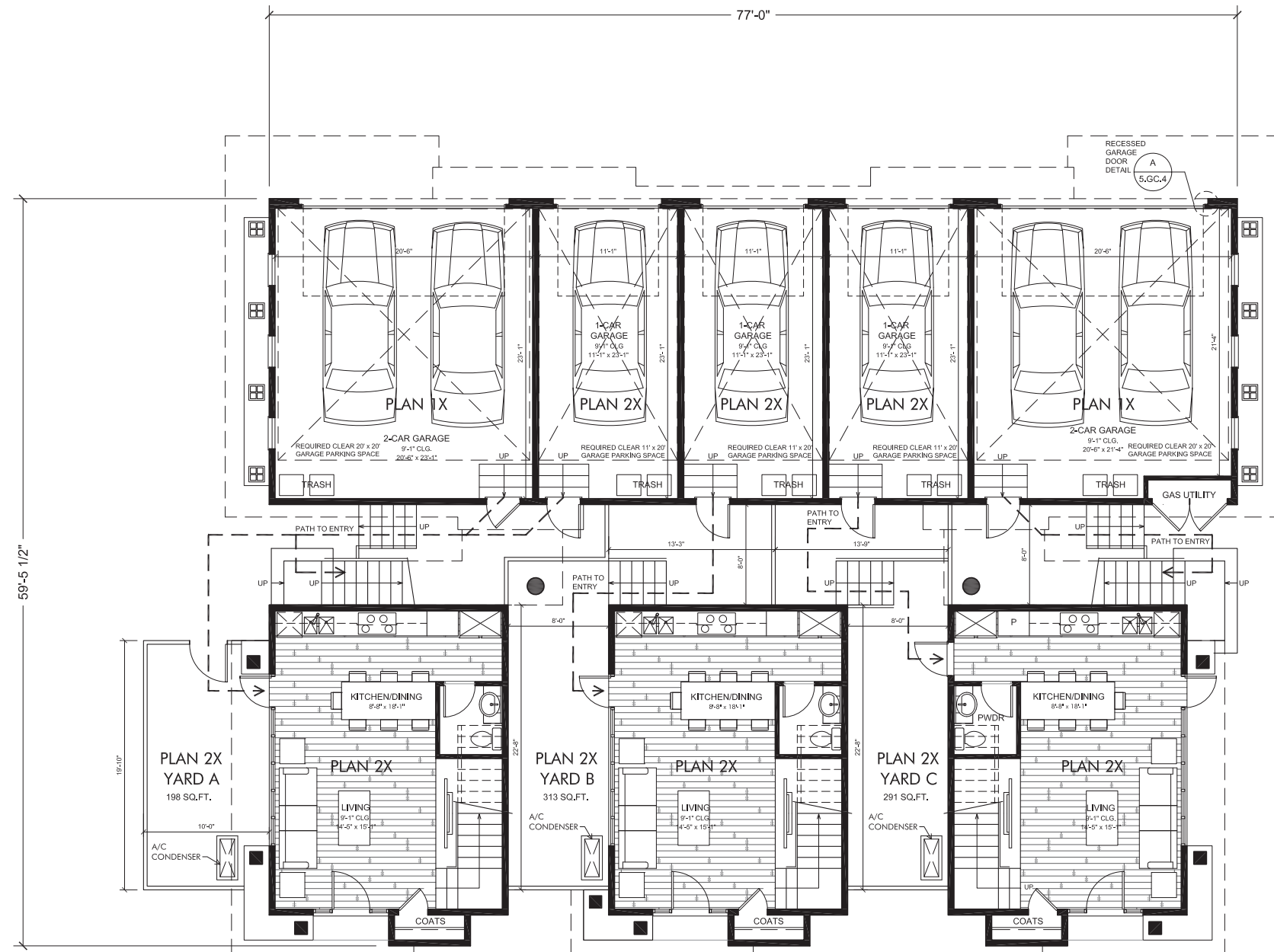
PLAN 6

NORTH FORTY

LOS GATOS, CA

Lark District

Cluster 6 - Garden Cluster - 8-Plex B -3rd Floor



PLAN 1X

1ST FLOOR: 0 sq.ft.
 2ND FLOOR: 1,001 sq.ft.
 3RD FLOOR: 686 sq.ft.
 TOTAL: 1,687 sq.ft.
 GARAGE: 516 sq.ft.

PLAN 2X

1ST FLOOR: 485 sq.ft.
 2ND FLOOR: 433 sq.ft.
 TOTAL: 918 sq.ft.
 GARAGE: 281 sq.ft.

SITE TOTAL UNIT COUNT

PLAN 1X : 4 UNITS
 PLAN 2X : 11 UNITS

** AVERAGE BEDROOM COUNT FOR GARDEN CLUSTER = 1.75
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93

NORTH FORTY

LOS GATOS, CA

Lark District

Cluster 7 - Garden Cluster - 5-Plex - 1st Floor

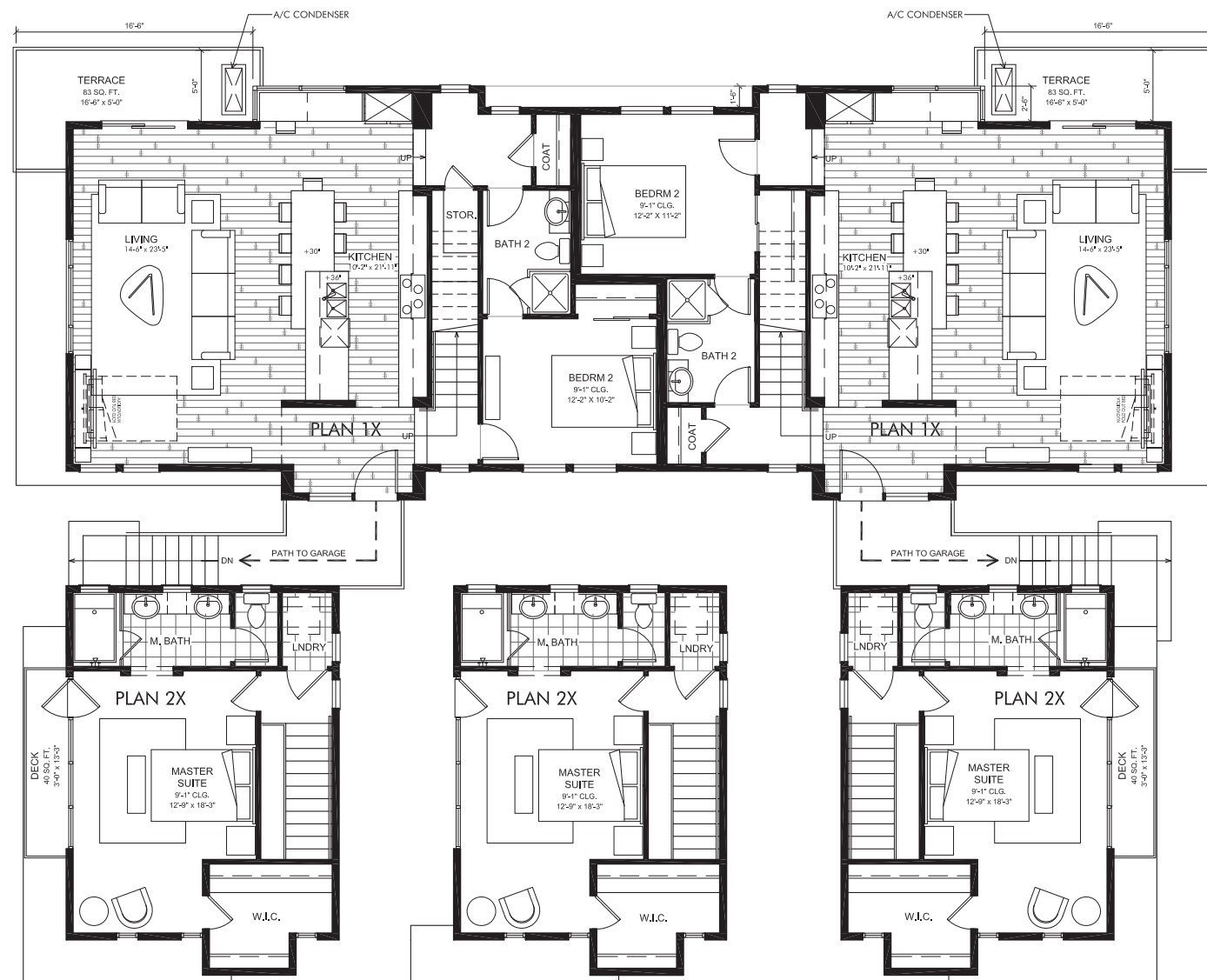


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Scale: 3/16" = 1'-0"
5.GC.13



NORTH FORTY

LOS GATOS, CA

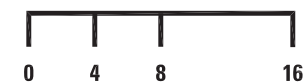
Lark District

Cluster 7 - Garden Cluster - 5-Plex - 2nd Floor

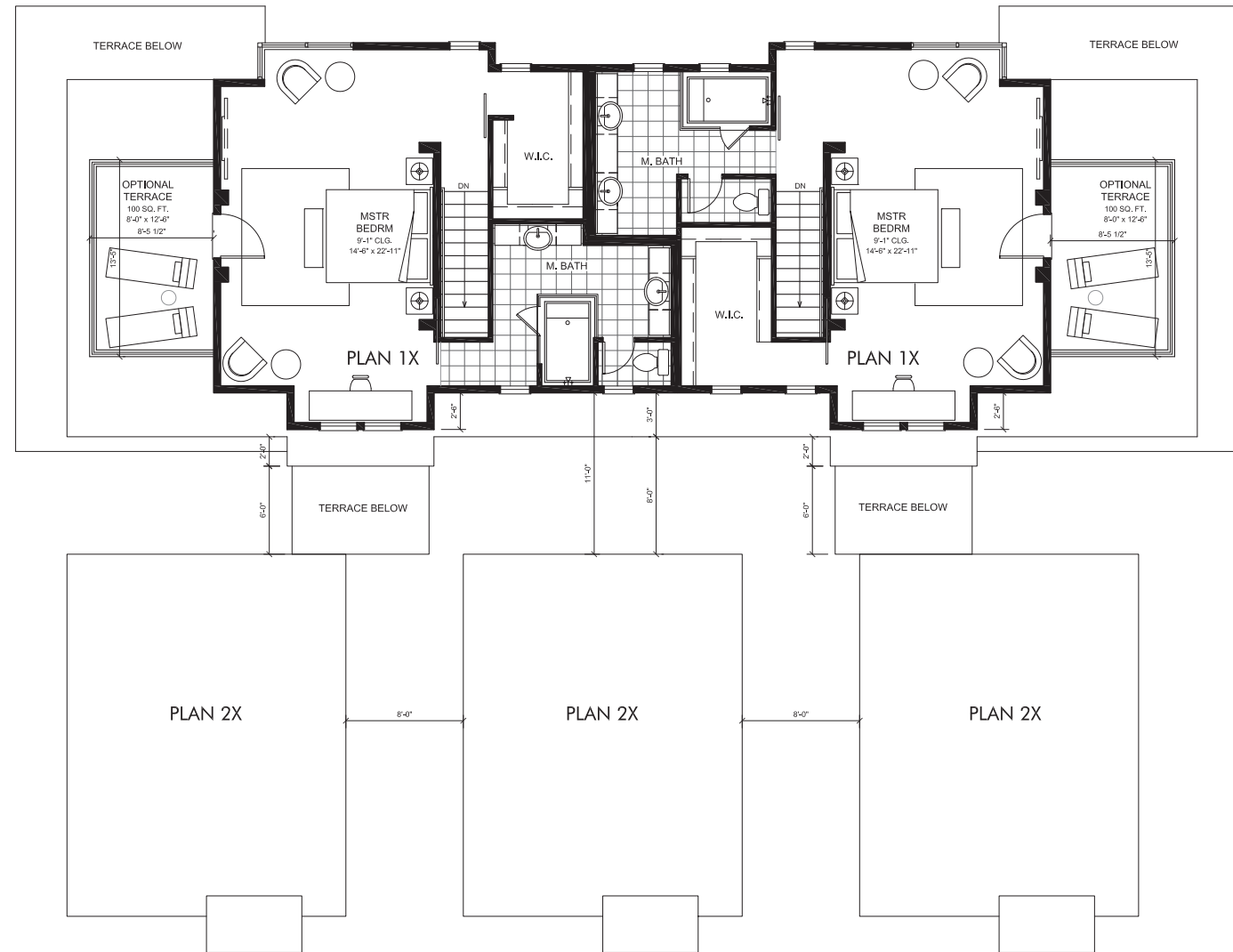


192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.14



Lark District

NORTH FORTY

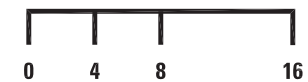
LOS GATOS, CA

Cluster 7 - Garden Cluster - 5-Plex - 3rd Floor



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Scale: 3/16" = 1'-0"
5.GC.15



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District
Perspective Rendering - Garden Cluster - 7-Plex A
Cluster 1**



192-072

03.18.16

5.GC.16



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District
Perspective Rendering - Garden Cluster - 7-Plex A
Cluster 2



192-072

03.18.16

5.GC.17



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District
Perspective Rendering - Garden Cluster - 5-Plex
Cluster 7**



192-072

03.18.16

5.GC.18



RIGHT SIDE ELEVATION

MATERIAL LEGEND

1. PLASTER
2. LAP SIDING
3. WOOD SLAT RAILING
4. 8X8 WOOD POST w/ PLASTER BASE
5. WOOD SLAT SHUTTERS
6. WOOD SOFFIT
7. WOOD TRIM
8. WOOD TRELLIS
9. VINYL WINDOW w/ COLOR FRAME
10. CORRUGATED METAL SIDING
11. COMPOSITION SHINGLE ROOF
12. WOOD SLAT RAILING w/ METAL FRAME
13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
14. METAL GUARDRAIL
15. WOOD PILASTER
16. STANDING SEAM METAL ROOF
17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



FRONT ELEVATION

GARDEN CLUSTER 1 7-PLEX	COLOR SCHEMES				
	1	2	3	5	9
PLAN 1				•	
PLAN 2		•			
PLAN 3			•		
PLAN 4				•	
PLAN 5				•	
PLAN 6	•				
PLAN 7					•

NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 1 - Garden Cluster - 7-Plex A
Illustrative Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.GC.19



NORTH FORTY

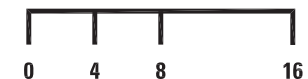
LOS GATOS, CA

Lark District
Cluster 1 - Garden Cluster - 7-Plex A
Illustrative Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.20



RIGHT SIDE ELEVATION

MATERIAL LEGEND #

1. PLASTER
2. LAP SIDING
3. WOOD SLAT RAILING
4. 8X8 WOOD POST w/ PLASTER BASE
5. WOOD SLAT SHUTTERS
6. WOOD SOFFIT
7. WOOD TRIM
8. WOOD TRELLIS
9. VINYL WINDOW w/ COLOR FRAME
10. CORRUGATED METAL SIDING
11. COMPOSITION SHINGLE ROOF
12. WOOD SLAT RAILING w/ METAL FRAME
13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
14. METAL GUARDRAIL
15. WOOD PILASTER
16. STANDING SEAM METAL ROOF
17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



FRONT ELEVATION

GARDEN CLUSTER 2 7-PLEX	COLOR SCHEMES				
	1	4	5	6	10
PLAN 1		•			
PLAN 2	•				
PLAN 3			•		
PLAN 4		•			
PLAN 5		•			
PLAN 6				•	
PLAN 7					•

NORTH FORTY

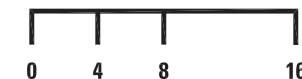
LOS GATOS, CA

Lark District
Cluster 2 - Garden Cluster - 7-Plex A
Illustrative Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.GC.21



LEFT SIDE ELEVATION

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



REAR ELEVATION

GARDEN CLUSTER 2 7-PLEX	COLOR SCHEMES				
	1	4	5	6	10
PLAN 1		●			
PLAN 2	●				
PLAN 3			●		
PLAN 4		●			
PLAN 5		●			
PLAN 6				●	
PLAN 7					●

NORTH FORTY

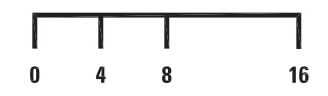
LOS GATOS, CA

**Lark District
Cluster 2 - Garden Cluster - 7-Plex A
Illustrative Elevation**



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.22



RIGHT SIDE ELEVATION



FRONT ELEVATION

GARDEN CLUSTER 3 7-PLEX	COLOR SCHEMES				
	1	4	5	6	10
PLAN 1		●			
PLAN 2	●				
PLAN 2X			●		
PLAN 4		●			
PLAN 5		●			
PLAN 6				●	
PLAN 7					●

NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 3 - Garden Cluster - 7-Plex B
Illustrative Elevation

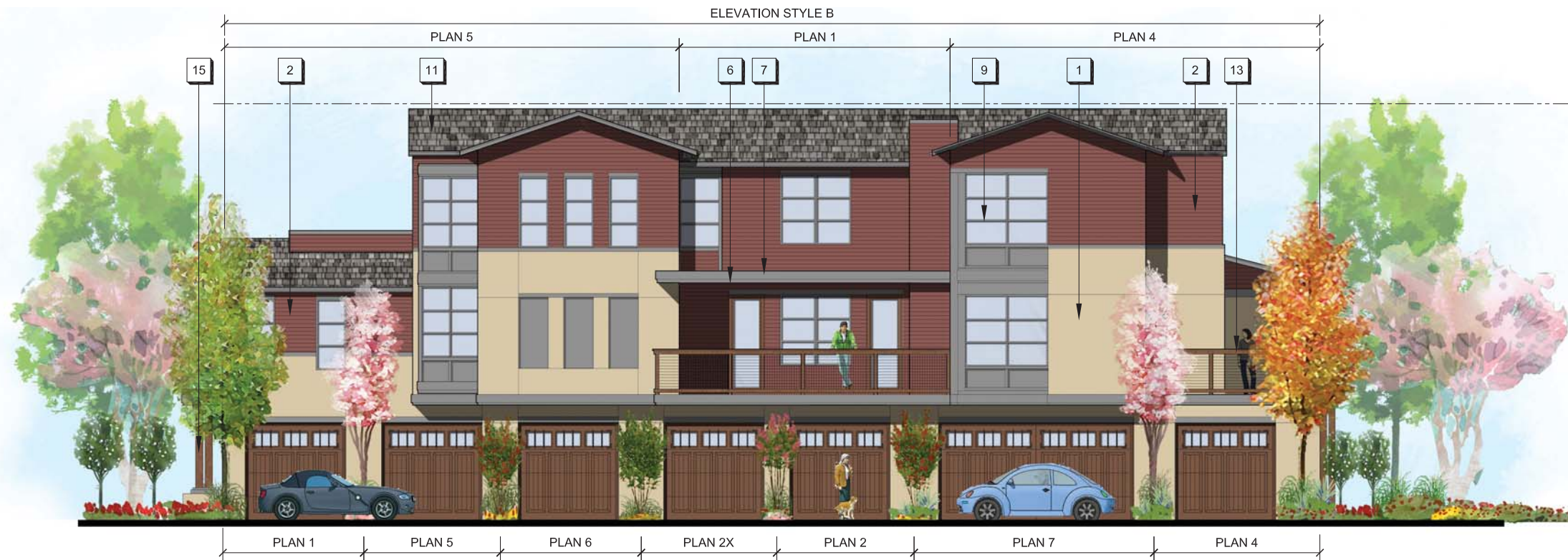


LEFT SIDE ELEVATION

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



REAR ELEVATION

GARDEN CLUSTER 3 7-PLEX	COLOR SCHEMES				
	1	4	5	6	10
PLAN 1		●			
PLAN 2	●				
PLAN 2X			●		
PLAN 4		●			
PLAN 5		●			
PLAN 6				●	
PLAN 7					●

NORTH FORTY

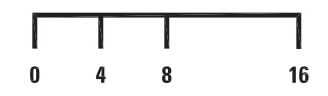
LOS GATOS, CA

**Lark District
Cluster 3 - Garden Cluster - 7-Plex B
Illustrative Elevation**



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.24



NORTH FORTY

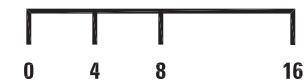
LOS GATOS, CA

Lark District
Cluster 4 - Garden Cluster - 8-Plex A
Illustrative Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.25



NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 4 - Garden Cluster - 8-Plex A
Illustrative Elevation



NORTH FORTY

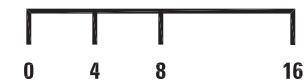
LOS GATOS, CA

**Lark District
Cluster 5 - Garden Cluster -8-Plex A
Illustrative Elevation**



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.27



LEFT SIDE ELEVATION

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



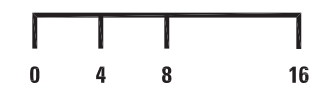
REAR ELEVATION

GARDEN CLUSTER 5 8-PLEX	COLOR SCHEMES					
	1	4	6	7	9	10
PLAN 1		•				
PLAN 2					•	
PLAN 2X	•					
PLAN 3				•		
PLAN 4		•				
PLAN 5		•				
PLAN 6			•			
PLAN 7						•

NORTH FORTY

LOS GATOS, CA

**Lark District
Cluster 5 - Garden Cluster - 8-Plex A
Illustrative Elevation**





RIGHT SIDE ELEVATION

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. CORRUGATED METAL SIDING
- 11. COMPOSITION SHINGLE ROOF
- 12. WOOD SLAT RAILING w/ METAL FRAME
- 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
- 14. METAL GUARDRAIL
- 15. WOOD PILASTER
- 16. STANDING SEAM METAL ROOF
- 17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



FRONT ELEVATION

GARDEN CLUSTER 6 8-PLEX	COLOR SCHEMES				
	1	5	6	7	10
PLAN 1				•	
PLAN 2	•				
PLAN 2X	•	•			
PLAN 4				•	
PLAN 5				•	
PLAN 6			•		
PLAN 7					•

NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 6 - Garden Cluster -8-Plex B
Illustrative Elevation



LEFT SIDE ELEVATION

MATERIAL LEGEND #

1. PLASTER
2. LAP SIDING
3. WOOD SLAT RAILING
4. 8X8 WOOD POST w/ PLASTER BASE
5. WOOD SLAT SHUTTERS
6. WOOD SOFFIT
7. WOOD TRIM
8. WOOD TRELLIS
9. VINYL WINDOW w/ COLOR FRAME
10. CORRUGATED METAL SIDING
11. COMPOSITION SHINGLE ROOF
12. WOOD SLAT RAILING w/ METAL FRAME
13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
14. METAL GUARDRAIL
15. WOOD PILASTER
16. STANDING SEAM METAL ROOF
17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



REAR ELEVATION

GARDEN CLUSTER 6 8-PLEX	COLOR SCHEMES				
	1	5	6	7	10
PLAN 1				●	
PLAN 2	●				
PLAN 2X	●	●			
PLAN 4				●	
PLAN 5				●	
PLAN 6			●		
PLAN 7					●

NORTH FORTY

LOS GATOS, CA

**Lark District
Cluster 6 - Garden Cluster - 8-Plex B
Illustrative Elevation**



MATERIAL LEGEND

1. PLASTER
2. LAP SIDING
3. WOOD SLAT RAILING
4. 8X8 WOOD POST w/ PLASTER BASE
5. WOOD SLAT SHUTTERS
6. WOOD SOFFIT
7. WOOD TRIM
8. WOOD TRELLIS
9. VINYL WINDOW w/ COLOR FRAME
10. CORRUGATED METAL SIDING
11. COMPOSITION SHINGLE ROOF
12. WOOD SLAT RAILING w/ METAL FRAME
13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
14. METAL GUARDRAIL
15. WOOD PILASTER
16. STANDING SEAM METAL ROOF
17. SMOOTH PANEL SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



GARDEN CLUSTER 7 5-PLEX	COLOR SCHEMES			
	1	3	5	7
PLAN 1X				●
PLAN 2X	●	●	●	

NORTH FORTY

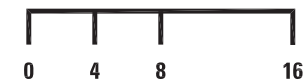
LOS GATOS, CA

Lark District
Cluster 7 - Garden Cluster - 5-Plex
Illustrative Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.31



- MATERIAL LEGEND** #
1. PLASTER
 2. LAP SIDING
 3. WOOD SLAT RAILING
 4. 8X8 WOOD POST w/ PLASTER BASE
 5. WOOD SLAT SHUTTERS
 6. WOOD SOFFIT
 7. WOOD TRIM
 8. WOOD TRELLIS
 9. VINYL WINDOW w/ COLOR FRAME
 10. CORRUGATED METAL SIDING
 11. COMPOSITION SHINGLE ROOF
 12. WOOD SLAT RAILING w/ METAL FRAME
 13. WOOD FRAMED GUARDRAIL w/ TUBE STEEL INLAY
 14. METAL GUARDRAIL
 15. WOOD PILASTER
 16. STANDING SEAM METAL ROOF
 17. SMOOTH PANEL SIDING
- NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



GARDEN CLUSTER 7	COLOR SCHEMES			
	1	3	5	7
5-PLEX				
PLAN 1X				●
PLAN 2X	●	●	●	

NORTH FORTY | LOS GATOS, CA

Lark District
Cluster 7 - Garden Cluster - 5-Plex
Illustrative Elevation



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR THIS BUILDING TYPE OCCURS AT BUILDING 12.
- LARGEST GRADING FILL FOR THIS BUILDING TYPE OCCURS AT BUILDING 27.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



NORTH FORTY | LOS GATOS, CA

**Lark District
Cluster 1 - Garden Cluster - 7-Plex A
Technical Elevation**



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR THIS BUILDING TYPE OCCURS AT BUILDING 12.
- LARGEST GRADING FILL FOR THIS BUILDING TYPE OCCURS AT BUILDING 27.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE CLUSTER 1 FOR LARGEST CUT & FILL INFORMATION



NORTH FORTY

LOS GATOS, CA

Lark District

Cluster 2 - Garden Cluster - 7-Plex A

Technical Elevation



LEFT SIDE ELEVATION



REAR ELEVATION

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE CLUSTER 1 FOR LARGEST CUT & FILL INFORMATION

NORTH FORTY

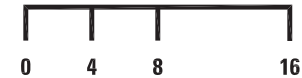
LOS GATOS, CA

Lark District
Cluster 2 - Garden Cluster - 7-Plex A
Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.22a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

RIGHT SIDE ELEVATION



FRONT ELEVATION

NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 3 - Garden Cluster - 7-Plex B
Technical Elevation



LEFT SIDE ELEVATION



REAR ELEVATION

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NORTH FORTY

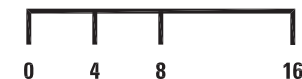
LOS GATOS, CA

Lark District
Cluster 3 - Garden Cluster - 7-Plex B
Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.GC.24a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- GC-8 PLEX A (CLUSTER 4 & 5) ONLY OCCURS AT EXISTING GRADE FILL. THERE ARE NO EXISTING GRADE CUT AT THIS CLUSTER TYPE.
- LARGEST GRADING FILL FOR THIS BUILDING TYPE OCCURS AT BUILDING 9.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



NORTH FORTY

LOS GATOS, CA

Lark District Cluster 4 - Garden Cluster - 8-Plex A Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.GC.25a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- GC-8 PLEX A (CLUSTER 4 & 5) ONLY OCCURS AT EXISTING GRADE FILL. THERE ARE NO EXISTING GRADE CUT AT THIS CLUSTER TYPE.
- LARGEST GRADING FILL FOR THIS BUILDING TYPE OCCURS AT BUILDING 9.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



NORTH FORTY

LOS GATOS, CA

Lark District

Cluster 4 - Garden Cluster - 8-Plex A

Technical Elevation



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE: SEE CLUSTER 4 FOR LARGEST CUT & FILL INFORMATION



NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 5 - Garden Cluster - 8-Plex A
Technical Elevation



LEFT SIDE ELEVATION



REAR ELEVATION

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE CLUSTER 4 FOR LARGEST CUT & FILL INFORMATION

NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 5 - Garden Cluster - 8-Plex A
Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.GC.28a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE



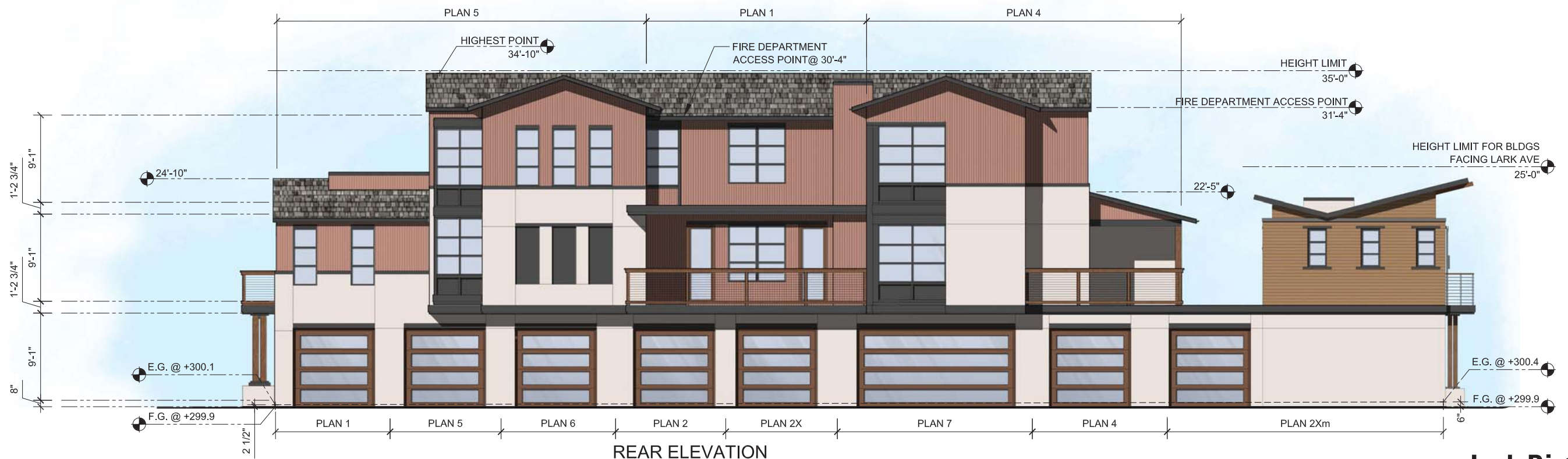
NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 6 - Garden Cluster - 8-Plex B
Technical Elevation



LEFT SIDE ELEVATION



REAR ELEVATION

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 6 - Garden Cluster - 8-Plex B
Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.GC.30a



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- GC-5-PLEX ONLY OCCURS AT EXISTING GRADE CUT. THERE ARE NO EXISTING GRADE FILL AT THIS CLUSTER TYPE.
- LARGEST GRADING CUT FOR GC-5 PLEX BUILDING TYPE OCCURS AT BUILDING 24.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.

NORTH FORTY

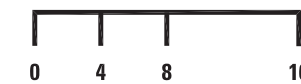
LOS GATOS, CA

Lark District
Cluster 7 - Garden Cluster - 5-Plex
Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.GC.31a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- GC-5-PLEX ONLY OCCURS AT EXISTING GRADE CUT. THERE ARE NO EXISTING GRADE FILL AT THIS CLUSTER TYPE.
- LARGEST GRADING CUT FOR GC-5 PLEX BUILDING TYPE OCCURS AT BUILDING 24.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



NORTH FORTY

LOS GATOS, CA

Lark District
Cluster 7 - Garden Cluster - 5-Plex
Technical Elevation



PLAN 1-R

1ST FLOOR: 295 sq.ft.
 2ND FLOOR: 680 sq.ft.
 3RD FLOOR: 653 sq.ft.
 TOTAL: 1,628 sq.ft.
 GARAGE: 454 sq.ft.

PLAN 2-R

1ST FLOOR: 115 sq.ft.
 2ND FLOOR: 693 sq.ft.
 3RD FLOOR: 719 sq.ft.
 TOTAL: 1,527 sq.ft.
 GARAGE: 495 sq.ft.

PLAN 3

1ST FLOOR: 372 sq.ft.
 2ND FLOOR: 826 sq.ft.
 3RD FLOOR: 746 sq.ft.
 TOTAL: 1,944 sq.ft.
 GARAGE: 438 sq.ft.

PLAN 2

1ST FLOOR: 115 sq.ft.
 2ND FLOOR: 693 sq.ft.
 3RD FLOOR: 719 sq.ft.
 TOTAL: 1,527 sq.ft.
 GARAGE: 495 sq.ft.

PLAN 1

1ST FLOOR: 295 sq.ft.
 2ND FLOOR: 680 sq.ft.
 3RD FLOOR: 653 sq.ft.
 TOTAL: 1,628 sq.ft.
 GARAGE: 454 sq.ft.

SITE TOTAL UNIT COUNT

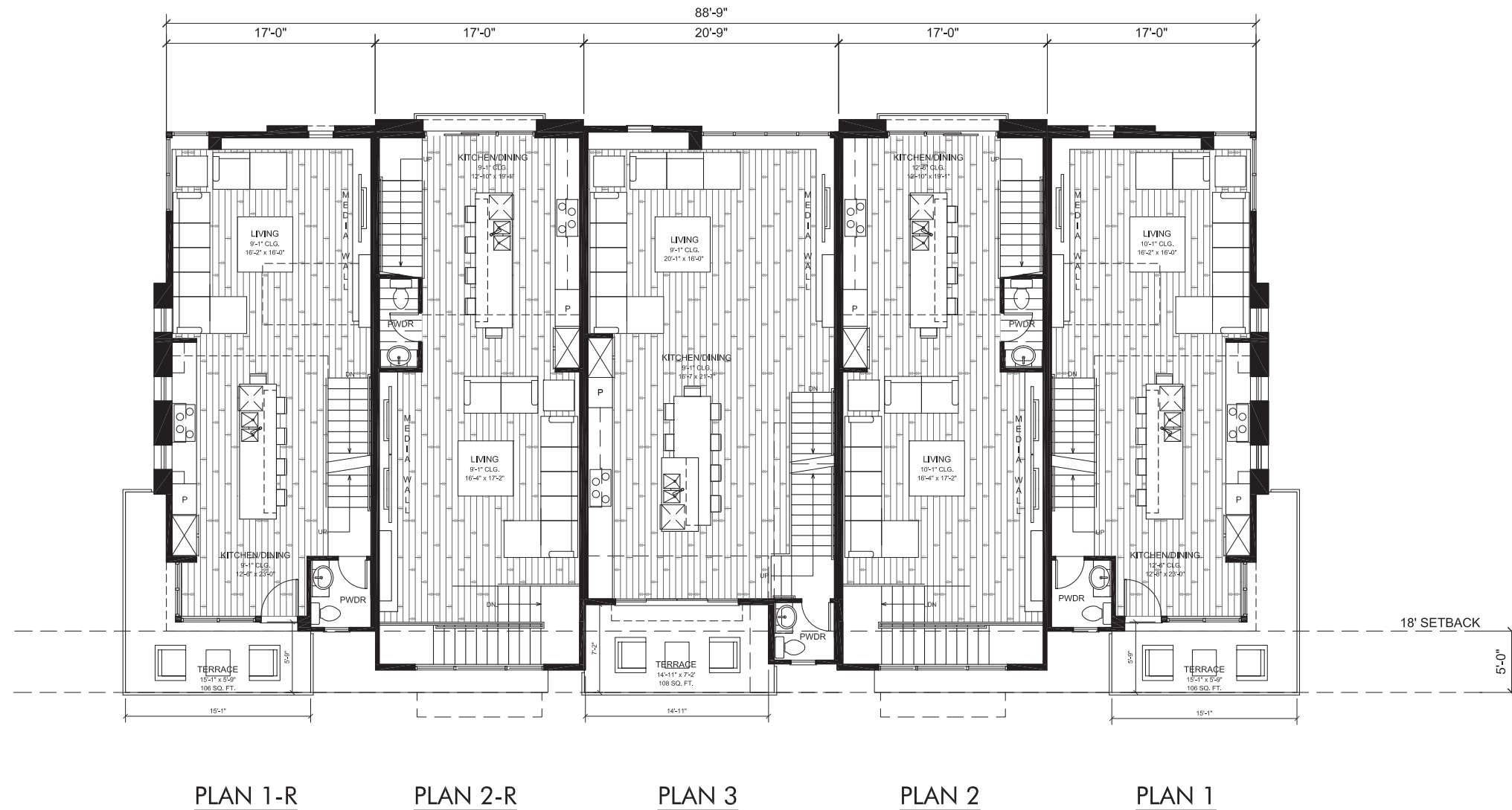
PLAN 1 : 36 UNITS
 PLAN 2 : 37 UNITS
 PLAN 3 : 24 UNITS

** AVERAGE BEDROOM COUNT FOR ROWHOME = 2.25
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93
 * REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.11

NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Floor Plans Rowhome - 5-Plex - 1st Floor Illustrative
 see Landscape Plans for more information



NORTH FORTY

LOS GATOS, CA

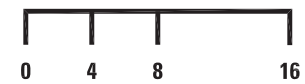
Lark District & Transition District Area D

Floor Plans Rowhome - 5-Plex - 2nd Floor

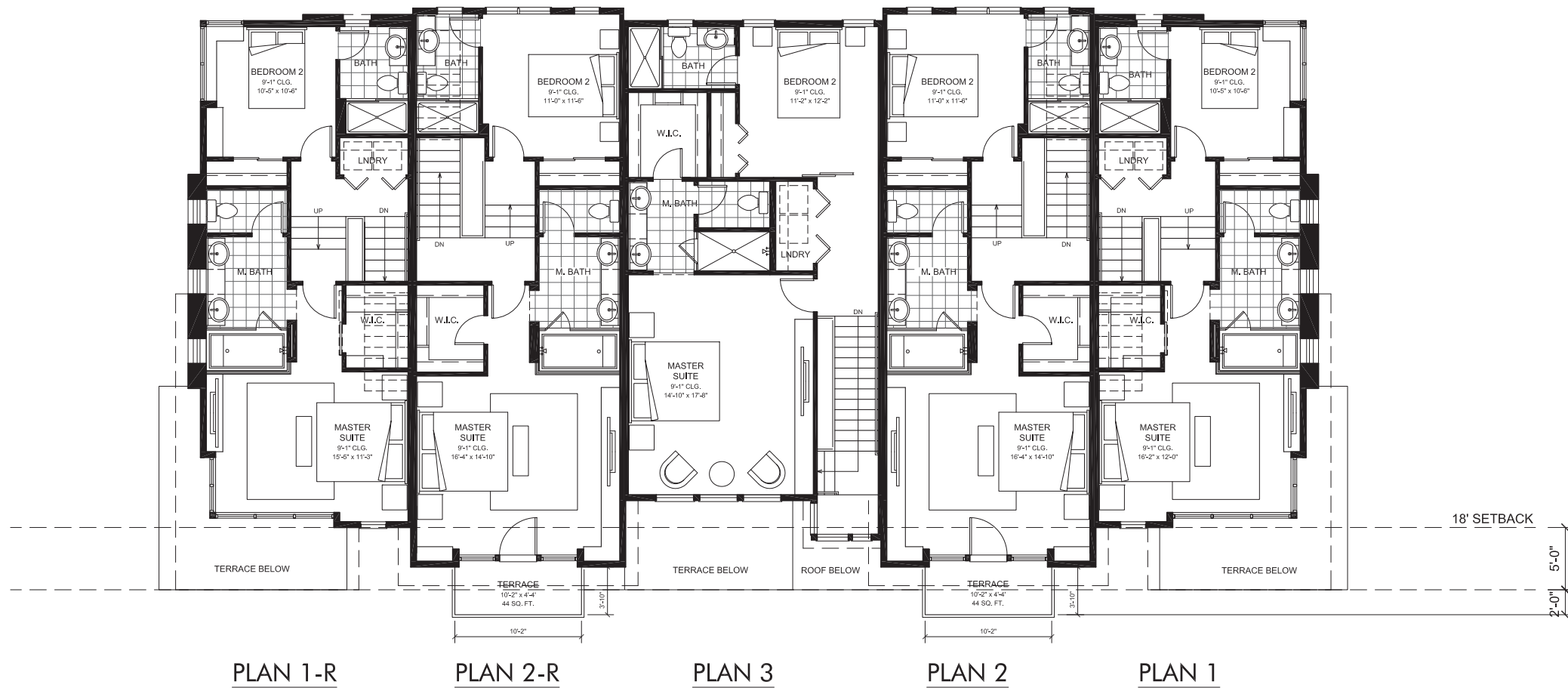


192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.2



NORTH FORTY

LOS GATOS, CA

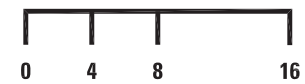
Lark District & Transition District Area D

Floor Plans Rowhome - 5-Plex - 3rd Floor

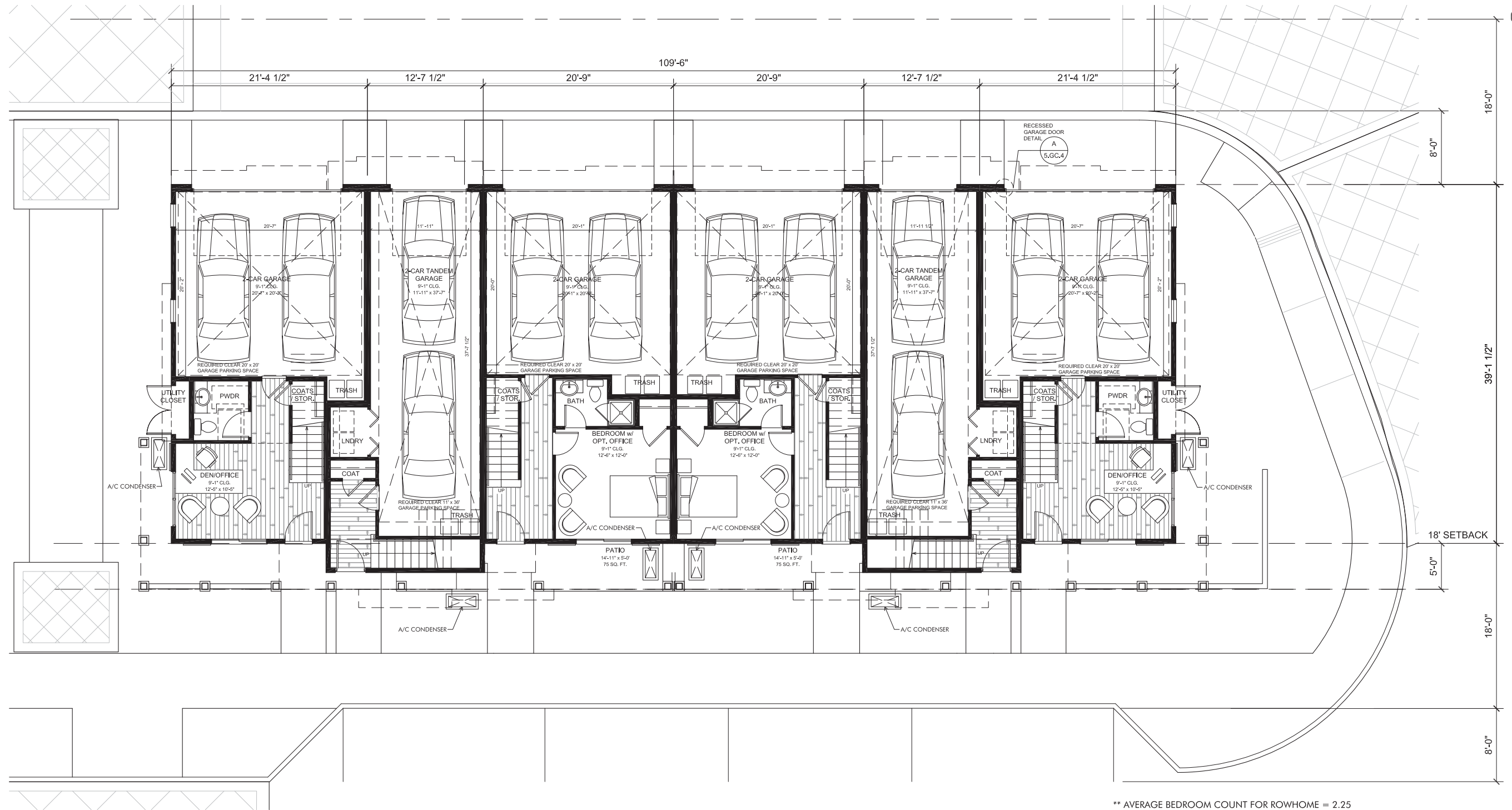


192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.3



** AVERAGE BEDROOM COUNT FOR ROWHOME = 2.25
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93

PLAN 1-R

1ST FLOOR:	295 sq.ft.
2ND FLOOR:	680 sq.ft.
3RD FLOOR:	653 sq.ft.
TOTAL:	1,628 sq.ft.
GARAGE:	454 sq.ft.

PLAN 2-R

1ST FLOOR:	115 sq.ft.
2ND FLOOR:	693 sq.ft.
3RD FLOOR:	719 sq.ft.
TOTAL:	1,527 sq.ft.
GARAGE:	495 sq.ft.

PLAN 3

1ST FLOOR:	372 sq.ft.
2ND FLOOR:	826 sq.ft.
3RD FLOOR:	746 sq.ft.
TOTAL:	1,944 sq.ft.
GARAGE:	438 sq.ft.

PLAN 3

1ST FLOOR:	372 sq.ft.
2ND FLOOR:	826 sq.ft.
3RD FLOOR:	746 sq.ft.
TOTAL:	1,944 sq.ft.
GARAGE:	438 sq.ft.

PLAN 2

1ST FLOOR:	115 sq.ft.
2ND FLOOR:	693 sq.ft.
3RD FLOOR:	719 sq.ft.
TOTAL:	1,527 sq.ft.
GARAGE:	495 sq.ft.

PLAN 1

1ST FLOOR:	295 sq.ft.
2ND FLOOR:	680 sq.ft.
3RD FLOOR:	653 sq.ft.
TOTAL:	1,628 sq.ft.
GARAGE:	454 sq.ft.

SITE TOTAL UNIT COUNT

PLAN 1 : 36 UNITS
 PLAN 2 : 37 UNITS
 PLAN 3 : 24 UNITS

Lark District & Transition District Area D

NORTH FORTY

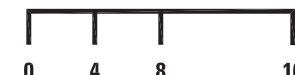
LOS GATOS, CA

Floor Plans Rowhome - 6-Plex - 1st Floor



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.RH.4



NORTH FORTY

LOS GATOS, CA

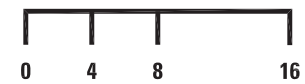
Lark District & Transition District Area D

Floor Plans Rowhome - 6-Plex - 2nd Floor

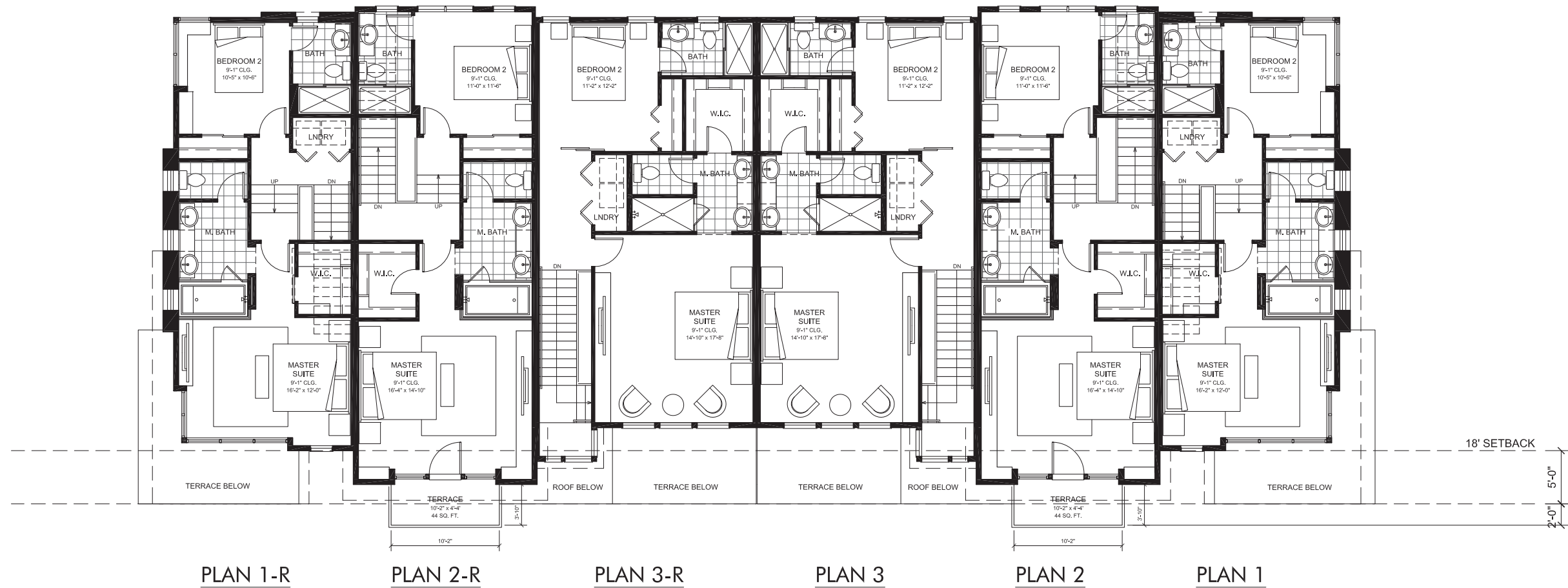


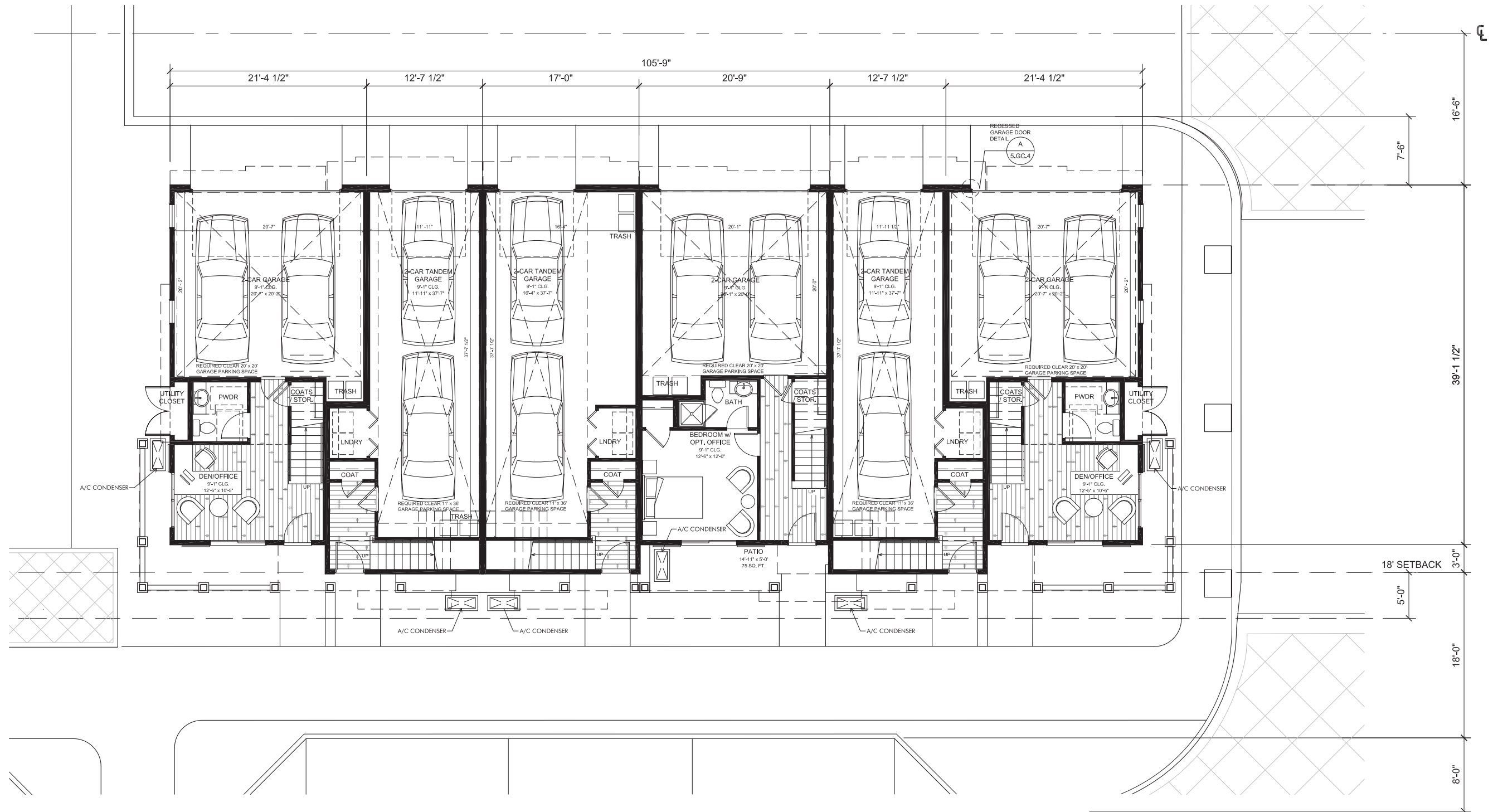
192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.5





PLAN 1-R

1ST FLOOR:	295 sq.ft.
2ND FLOOR:	680 sq.ft.
3RD FLOOR:	653 sq.ft.
TOTAL:	1,628 sq.ft.
GARAGE:	454 sq.ft.

PLAN 2-R

1ST FLOOR:	115 sq.ft.
2ND FLOOR:	693 sq.ft.
3RD FLOOR:	719 sq.ft.
TOTAL:	1,527 sq.ft.
GARAGE:	495 sq.ft.

PLAN 2

1ST FLOOR:	115 sq.ft.
2ND FLOOR:	693 sq.ft.
3RD FLOOR:	719 sq.ft.
TOTAL:	1,527 sq.ft.
GARAGE:	600 sq.ft.

PLAN 3

1ST FLOOR:	372 sq.ft.
2ND FLOOR:	826 sq.ft.
3RD FLOOR:	746 sq.ft.
TOTAL:	1,944 sq.ft.
GARAGE:	438 sq.ft.

PLAN 2

1ST FLOOR:	115 sq.ft.
2ND FLOOR:	693 sq.ft.
3RD FLOOR:	719 sq.ft.
TOTAL:	1,527 sq.ft.
GARAGE:	495 sq.ft.

PLAN 1

1ST FLOOR:	295 sq.ft.
2ND FLOOR:	680 sq.ft.
3RD FLOOR:	653 sq.ft.
TOTAL:	1,628 sq.ft.
GARAGE:	454 sq.ft.

SITE TOTAL UNIT COUNT

PLAN 1 : 36 UNITS
PLAN 2 : 37 UNITS
PLAN 3 : 24 UNITS

** AVERAGE BEDROOM COUNT FOR ROWHOME = 2.25
AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93

Lark District & Transition District Area D

NORTH FORTY

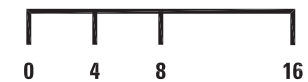
LOS GATOS, CA

Floor Plans Rowhome - 6-Plex Alt.- 1st Floor



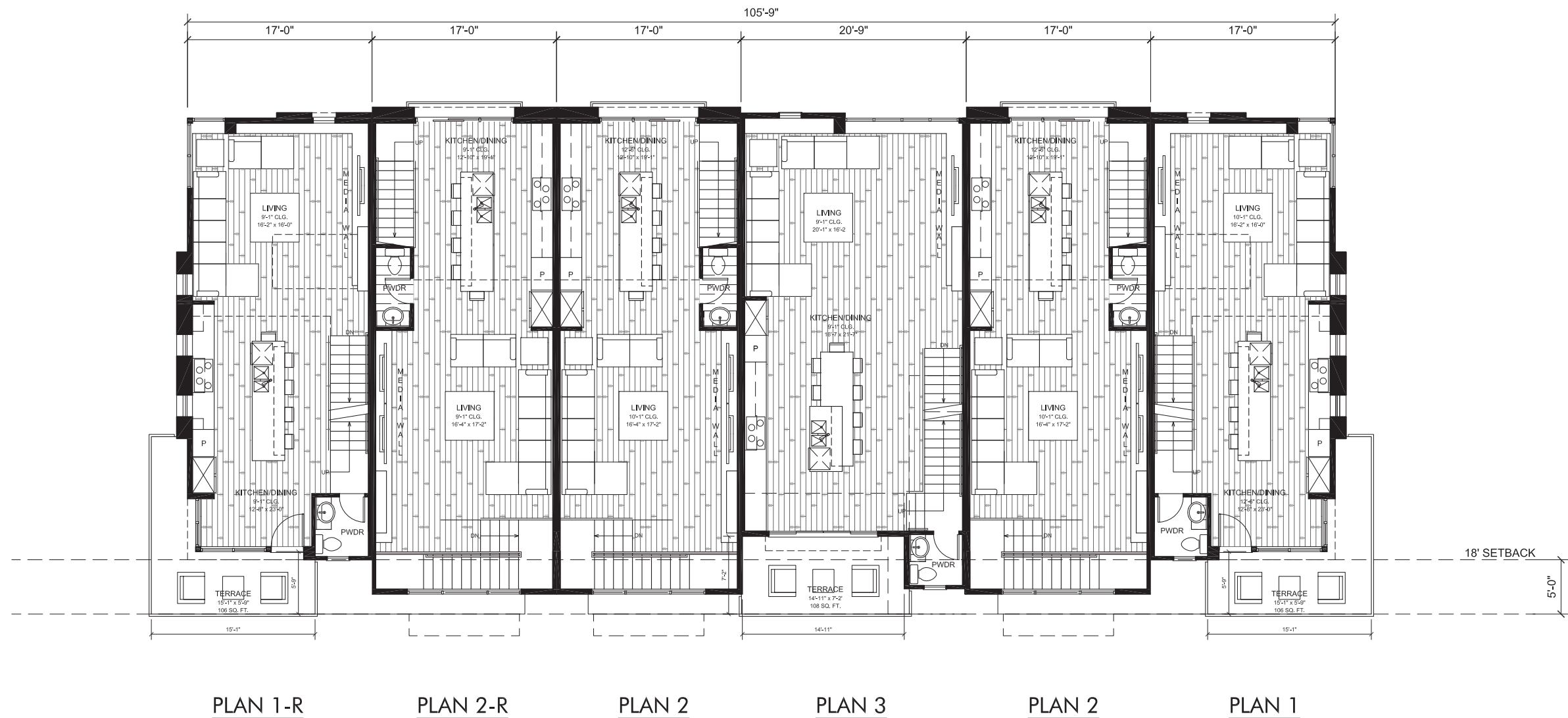
192-072

03.18.16



Scale: 3/16" = 1'-0"

5.RH.7



NORTH FORTY

LOS GATOS, CA

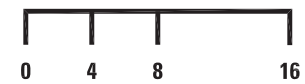
Lark District & Transition District Area D

Floor Plans Rowhome - 6-Plex Alt. - 2nd Floor



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.8

NORTH FORTY

LOS GATOS, CA

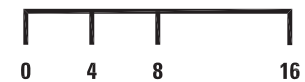
Lark District & Transition District Area D

Floor Plans Rowhome - 6-Plex Alt.- 3rd Floor



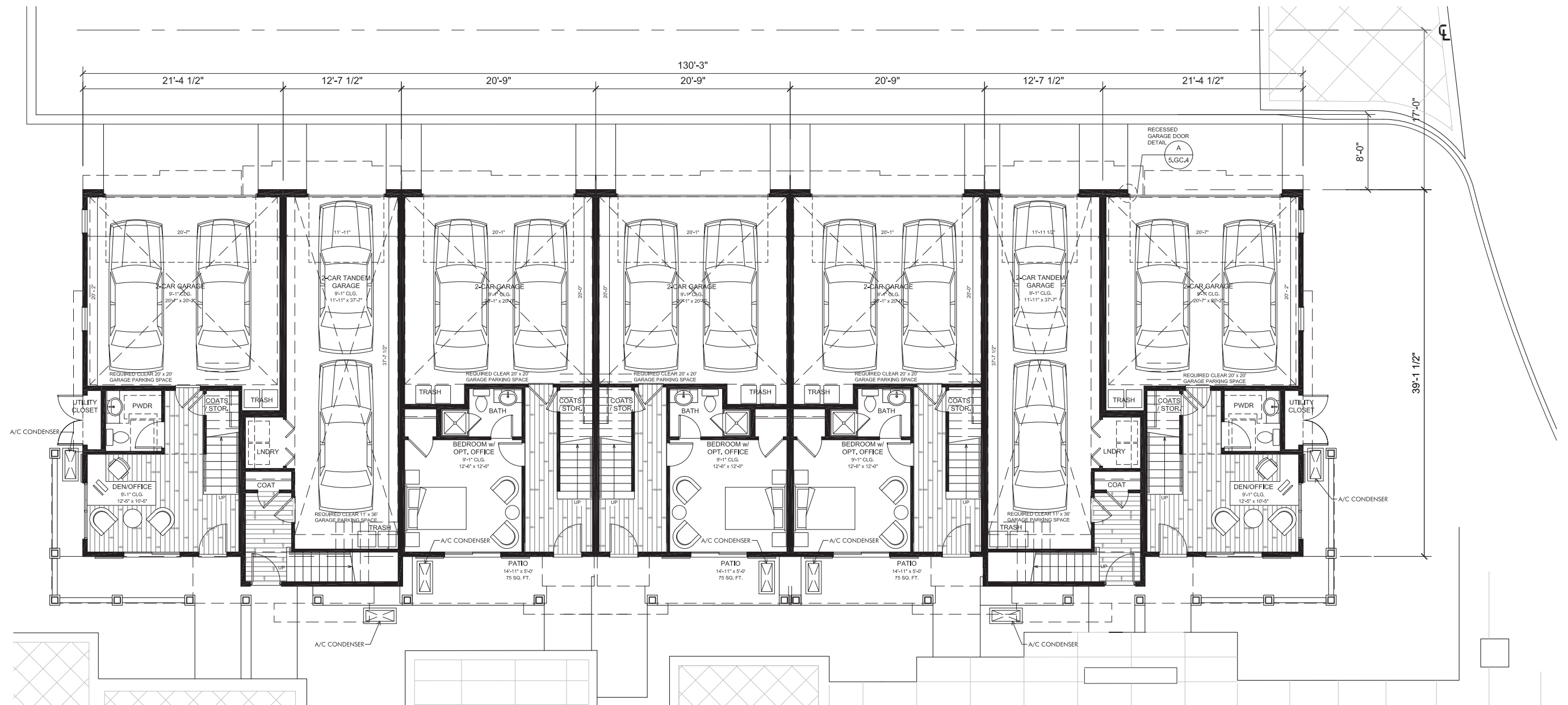
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03.18.16



Scale: 3/16" = 1'-0"

5.RH.9



** AVERAGE BEDROOM COUNT FOR ROWHOME = 2.25
AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93

PLAN 1-R

1ST FLOOR:	295 sq.ft.
2ND FLOOR:	680 sq.ft.
3RD FLOOR:	653 sq.ft.
TOTAL:	1,628 sq.ft.
GARAGE:	454 sq.ft.

PLAN 2-R

1ST FLOOR:	115 sq.ft.
2ND FLOOR:	693 sq.ft.
3RD FLOOR:	719 sq.ft.
TOTAL:	1,527 sq.ft.
GARAGE:	495 sq.ft.

PLAN 3

1ST FLOOR:	372 sq.ft.
2ND FLOOR:	826 sq.ft.
3RD FLOOR:	746 sq.ft.
TOTAL:	1,944 sq.ft.
GARAGE:	438 sq.ft.

PLAN 3-R

1ST FLOOR:	372 sq.ft.
2ND FLOOR:	826 sq.ft.
3RD FLOOR:	746 sq.ft.
TOTAL:	1,944 sq.ft.
GARAGE:	438 sq.ft.

PLAN 3

1ST FLOOR:	372 sq.ft.
2ND FLOOR:	826 sq.ft.
3RD FLOOR:	746 sq.ft.
TOTAL:	1,944 sq.ft.
GARAGE:	438 sq.ft.

PLAN 2

1ST FLOOR:	115 sq.ft.
2ND FLOOR:	693 sq.ft.
3RD FLOOR:	719 sq.ft.
TOTAL:	1,527 sq.ft.
GARAGE:	495 sq.ft.

PLAN 1

1ST FLOOR:	295 sq.ft.
2ND FLOOR:	680 sq.ft.
3RD FLOOR:	653 sq.ft.
TOTAL:	1,628 sq.ft.
GARAGE:	454 sq.ft.

SITE TOTAL UNIT
COUNT

PLAN 1 : 36 UNITS
PLAN 2 : 37 UNITS
PLAN 3 : 24 UNITS

Lark District & Transition District Area D

NORTH FORTY

LOS GATOS, CA

Floor Plans Rowhome - 7-Plex - 1st Floor



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.10



PLAN 1-R

PLAN 2-R

PLAN 3

PLAN 3-R

PLAN 3

PLAN 2

PLAN 1

NORTH FORTY

LOS GATOS, CA

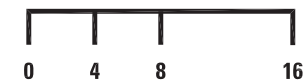
Lark District & Transition District Area D

Floor Plans Rowhome - 7-Plex - 2nd Floor



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.11



NORTH FORTY

LOS GATOS, CA

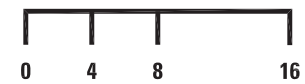
Lark District & Transition District Area D

Floor Plans Rowhome - 7-Plex - 3rd Floor



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.12



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Perspective Rendering - Rowhome - 5-Plex
Elevation A



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03.18.16

5.RH.13



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Perspective Rendering - Rowhome - 5-Plex
Elevation B



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5.RH.14



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Perspective Rendering - Rowhome - 5-Plex
Elevation D



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03.18.16

5.RH.15



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Perspective Rendering - Rowhome - 6-Plex
Elevation A



192-072

03.18.16

5.RH.16



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Perspective Rendering - Rowhome - 6-Plex
Elevation B



192-072

03.18.16

5.RH.17

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●

Lark District & Transition District Area D
Elevation A - Rowhome - 5-Plex
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA



HEIGHT LIMIT
35'-0"

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



HEIGHT LIMIT
35'-0"

ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●

Lark District & Transition District Area D Elevation A - Rowhome - 5-Plex Illustrative Elevation

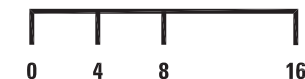
NORTH FORTY

LOS GATOS, CA



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.RH.19

MATERIAL LEGEND #

- 1. PLASTER
- 2. CORRUGATED METAL SIDING
- 3. WOOD SLAT RAILING w/ METAL FRAME
- 4. PLASTER COLUMN
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. COMPOSITION SHINGLE ROOF
- 12. STANDING SEAM METAL ROOF
- 13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	•				
5-PLEX ELEV B		•			
5-PLEX ELEV D			•		
6-PLEX ELEV A	•				
6-PLEX ELEV B		•			
6-PLEX ALT. ELEV A				•	
7-PLEX ELEV B					•

Lark District & Transition District Area D
Elevation B - Rowhome - 5-Plex
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA



MATERIAL LEGEND

1. PLASTER
2. CORRUGATED METAL SIDING
3. WOOD SLAT RAILING w/ METAL FRAME
4. PLASTER COLUMN
5. WOOD SLAT SHUTTERS
6. WOOD SOFFIT
7. WOOD TRIM
8. SMOOTH PANEL SIDING
9. WOOD TRELLIS
10. VINYL WINDOW w/ COLOR FRAME
11. COMPOSITION SHINGLE ROOF
12. STANDING SEAM METAL ROOF
13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●

Lark District & Transition District Area D Elevation B - Rowhome - 5-Plex Illustrative Elevation

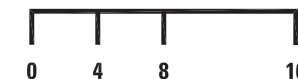
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LOS GATOS, CA



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03.18.16



Scale: 3/16" = 1'-0"

5.RH.21

MATERIAL LEGEND #

- 1. PLASTER
- 2. BOARD AND BATTEN SIDING
- 3. METAL RAILING
- 4. PLASTER COLUMN
- 5. WOOD SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. METAL AWING
- 10. VINYL WINDOW w/ COLOR FRAME

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	•				
5-PLEX ELEV B		•			
5-PLEX ELEV D			•		
6-PLEX ELEV A	•				
6-PLEX ELEV B		•			
6-PLEX ALT. ELEV A				•	
7-PLEX ELEV B					•

Lark District & Transition District Area D
Elevation D - Rowhome - 5-Plex
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA



HEIGHT LIMIT
35'-0"

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

PLAN 1 / PLAN 1-R
SIDE ELEVATIONS



HEIGHT LIMIT
35'-0"

ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●

PLAN 1 PLAN 2 PLAN 3 PLAN 2-R PLAN 1-R
REAR ELEVATION

Lark District & Transition District Area D
Elevation D - Rowhome - 5-Plex
Illustrative Elevation

NORTH FORTY | **LOS GATOS, CA**



MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●

Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA



HEIGHT LIMIT
35'-0"

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●

PLAN 1 / PLAN 1-R
SIDE ELEVATIONS



HEIGHT LIMIT
35'-0"

PLAN 1

PLAN 2

PLAN 3

PLAN 3-R

PLAN 2-R

PLAN 1-R

REAR ELEVATION

Lark District & Transition District Area D Elevation A - Rowhome - 6-Plex Illustrative Elevation

NORTH FORTY

LOS GATOS, CA



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03.18.16



Scale: 3/16" = 1'-0"
5.RH.25

MATERIAL LEGEND #

- 1. PLASTER
- 2. CORRUGATED METAL SIDING
- 3. WOOD SLAT RAILING w/ METAL FRAME
- 4. PLASTER COLUMN
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. COMPOSITION SHINGLE ROOF
- 12. STANDING SEAM METAL ROOF
- 13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	•				
5-PLEX ELEV B		•			
5-PLEX ELEV D			•		
6-PLEX ELEV A	•				
6-PLEX ELEV B		•			
6-PLEX ALT. ELEV A				•	
7-PLEX ELEV B					•

Lark District & Transition District Area D
Elevation B - Rowhome - 6-Plex
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA



MATERIAL LEGEND

1. PLASTER
2. CORRUGATED METAL SIDING
3. WOOD SLAT RAILING w/ METAL FRAME
4. PLASTER COLUMN
5. WOOD SLAT SHUTTERS
6. WOOD SOFFIT
7. WOOD TRIM
8. SMOOTH PANEL SIDING
9. WOOD TRELLIS
10. VINYL WINDOW w/ COLOR FRAME
11. COMPOSITION SHINGLE ROOF
12. STANDING SEAM METAL ROOF
13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●



NORTH FORTY

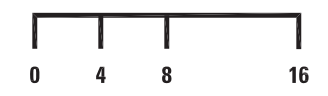
LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Rowhome - 6-Plex
Illustrative Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.27

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. WOOD SLAT SHUTTERS
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●

Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex Alt.
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA



HEIGHT LIMIT
35'-0"

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●



NORTH FORTY

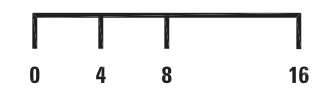
LOS GATOS, CA

Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex Alt.
Illustrative Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.29

ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●

MATERIAL LEGEND

#

1. PLASTER
2. CORRUGATED METAL SIDING
3. WOOD SLAT RAILING w/ METAL FRAME
4. PLASTER COLUMN
5. WOOD SLAT SHUTTERS
6. WOOD SOFFIT
7. WOOD TRIM
8. SMOOTH PANEL SIDING
9. WOOD TRELLIS
10. VINYL WINDOW w/ COLOR FRAME
11. COMPOSITION SHINGLE ROOF
12. STANDING SEAM METAL ROOF
13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Rowhome - 7-Plex
Illustrative Elevation



MATERIAL LEGEND

1. PLASTER
2. CORRUGATED METAL SIDING
3. WOOD SLAT RAILING w/ METAL FRAME
4. PLASTER COLUMN
5. WOOD SLAT SHUTTERS
6. WOOD SOFFIT
7. WOOD TRIM
8. SMOOTH PANEL SIDING
9. WOOD TRELLIS
10. VINYL WINDOW w/ COLOR FRAME
11. COMPOSITION SHINGLE ROOF
12. STANDING SEAM METAL ROOF
13. BOARD & BATTEN SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

ROWHOME (RH)	COLOR SCHEMES				
	1	2	11	13	17
5-PLEX ELEV A	●				
5-PLEX ELEV B		●			
5-PLEX ELEV D			●		
6-PLEX ELEV A	●				
6-PLEX ELEV B		●			
6-PLEX ALT. ELEV A				●	
7-PLEX ELEV B					●



NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Rowhome - 7-Plex
Illustrative Elevation

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

- NOTE:
- LARGEST GRADING CUT FOR RH-5 PLEX BUILDING TYPE OCCURS AT BUILDING 22.
 - LARGEST GRADING FILL FOR RH-5 PLEX BUILDING TYPE OCCURS AT BUILDING 35.
 - SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.





GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR RH-5 PLEX BUILDING TYPE OCCURS AT BUILDING 22.
- LARGEST GRADING FILL FOR RH-5 PLEX BUILDING TYPE OCCURS AT BUILDING 35.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



NORTH FORTY

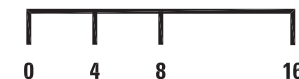
LOS GATOS, CA

Lark District & Transition District Area D
Elevation A - Rowhome - 5-Plex
Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.RH.19a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-5 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Rowhome - 5-Plex
Technical Elevation



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-5 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



NORTH FORTY

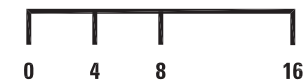
LOS GATOS, CA

**Lark District & Transition District Area D
Elevation B - Rowhome - 5-Plex
Technical Elevation**



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.21a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-5 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation D - Rowhome - 5-Plex
Technical Elevation



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".

2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-5 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Elevation D - Rowhome - 5-Plex
Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.23a

GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE



- NOTE:
- LARGEST GRADING CUT FOR RH-6 PLEX BUILDING TYPE OCCURS AT BUILDING 7.
 - LARGEST GRADING FILL FOR RH-6 PLEX BUILDING TYPE OCCURS AT BUILDING 31.
 - SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.

NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex
Technical Elevation



GENERAL NOTE

1. ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER). HEIGHT LIMITS ARE RELATIVE TO BUILDING FINISH GRADE AT 0'-0".
2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.
3. INFORMATION SHOWN REPRESENTS THE LARGEST CUT AND/OR FILL SCENARIO FOR THIS PARTICULAR BUILDING TYPE IN LARK DISTRICT & TRANSITION DISTRICT AREA D. CUT & FILL DATUM ARE MEASURED RELATIVE TO SEA LEVEL PER CIVIL DRAWINGS.

F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

- LARGEST GRADING CUT FOR RH-6 PLEX BUILDING TYPE OCCURS AT BUILDING 7.
- LARGEST GRADING FILL FOR RH-6 PLEX BUILDING TYPE OCCURS AT BUILDING 31.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



**Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex
Technical Elevation**

NORTH FORTY | **LOS GATOS, CA**

GENERAL NOTE

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2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-6 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION



NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Rowhome - 6-Plex
Technical Elevation



SIDE ELEVATIONS



GENERAL NOTE

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2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

NOTE:
SEE RH-6 PLEX ELEVATION A TECHNICAL ELEVATION SHEETS FOR LARGEST GRADING CUT & FILL INFORMATION

NORTH FORTY

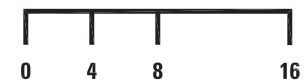
LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Rowhome - 6-Plex
Technical Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.RH.27a

GENERAL NOTE

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F.G. = FINISH GRADE
E.G. = EXISTING GRADE



NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex Alt.
Technical Elevation



GENERAL NOTE

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F.G. = FINISH GRADE
E.G. = EXISTING GRADE



NORTH FORTY

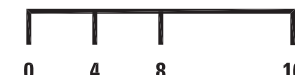
LOS GATOS, CA

**Lark District & Transition District Area D
Elevation A - Rowhome - 6-Plex Alt.
Technical Elevation**



192-072

03.18.16



Scale: 3/16" = 1'-0"

5.RH.29a

GENERAL NOTE

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2. HEIGHT INFORMATION IS TYPICAL FOR THIS PARTICULAR BUILDING TYPE.

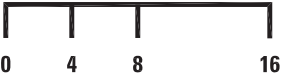
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F.G. = FINISH GRADE
E.G. = EXISTING GRADE



NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Rowhome - 7-Plex
Technical Elevation





GENERAL NOTE

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E.G. = EXISTING GRADE



**Lark District & Transition District Area D
Elevation B - Rowhome - 7-Plex
Technical Elevation**

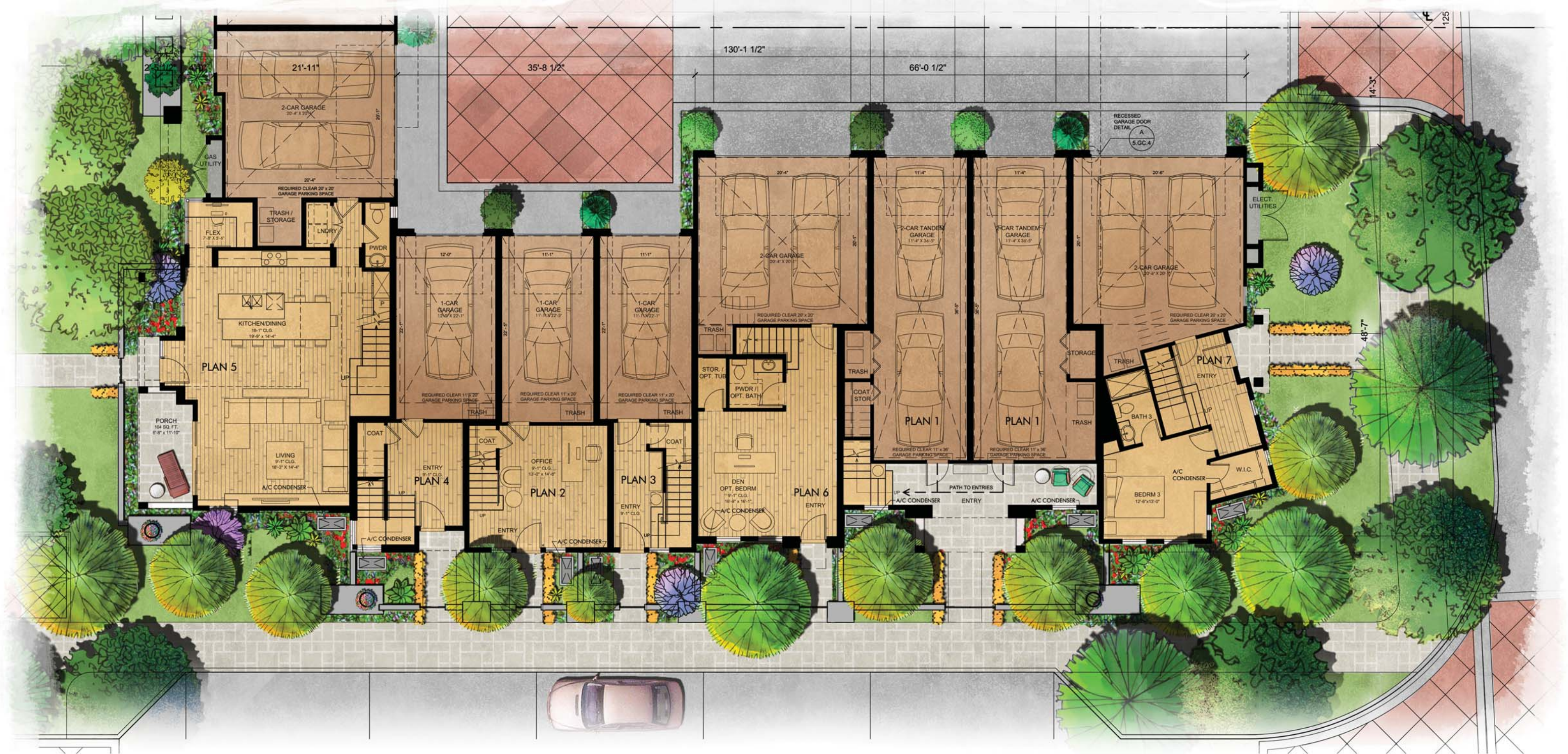
NORTH FORTY | **LOS GATOS, CA**



Lark District & Transition District Area D
Floor Plans Full Condominium Cluster - 1st Floor Illustrative
 see Landscape Plans for more information

NORTH FORTY

LOS GATOS, CA



** AVERAGE BEDROOM COUNT FOR CONDOMINIUM CLUSTER = 1.75
 AVERAGE BEDROOM COUNT FOR LARK DISTRICT & TRANSITION DISTRICT AREA D = 1.93
 * REFER TO SETBACK DIAGRAMS ON SHEET 5.ST.12 & 5.ST.13

PLAN 5	
1ST FLOOR:	863 sq.ft.
2ND FLOOR:	969 sq.ft.
TOTAL:	1,832 sq.ft.
GARAGE:	466 sq.ft.

PLAN 4	
1ST FLOOR:	200 sq.ft.
2ND FLOOR:	154 sq.ft.
3RD FLOOR:	1,254 sq.ft.
TOTAL:	1,608 sq.ft.
GARAGE:	291 sq.ft.

PLAN 2	
1ST FLOOR:	268 sq.ft.
2ND FLOOR:	987 sq.ft.
TOTAL:	1,255 sq.ft.
GARAGE:	269 sq.ft.

PLAN 3	
1ST FLOOR:	160 sq.ft.
2ND FLOOR:	210 sq.ft.
3RD FLOOR:	1,200 sq.ft.
TOTAL:	1,570 sq.ft.
GARAGE:	269 sq.ft.

PLAN 6	
1ST FLOOR:	443 sq.ft.
2ND FLOOR:	752 sq.ft.
3RD FLOOR:	747 sq.ft.
TOTAL:	1,942 sq.ft.
GARAGE:	456 sq.ft.

PLAN 1	
1ST FLOOR:	0 sq.ft.
3RD FLOOR:	996 sq.ft.
TOTAL:	996 sq.ft.
GARAGE:	497 sq.ft.

PLAN 1	
1ST FLOOR:	0 sq.ft.
2ND FLOOR:	996 sq.ft.
TOTAL:	996 sq.ft.
GARAGE:	497 sq.ft.

PLAN 7	
1ST FLOOR:	398 sq.ft.
2ND FLOOR:	1,010 sq.ft.
3RD FLOOR:	591 sq.ft.
TOTAL:	1,999 sq.ft.
GARAGE:	489 sq.ft.

SITE TOTAL UNIT COUNT

PLAN 1 : 20 UNITS
 PLAN 2 : 10 UNITS
 PLAN 3 : 10 UNITS
 PLAN 4 : 10 UNITS
 PLAN 5 : 10 UNITS
 PLAN 6 : 10 UNITS
 PLAN 7 : 10 UNITS

NORTH FORTY

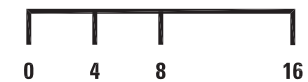
LOS GATOS, CA

Lark District & Transition District Area D
Floor Plans Condominium Cluster - 1st Floor Illustrative
 see Landscape Plans for more information

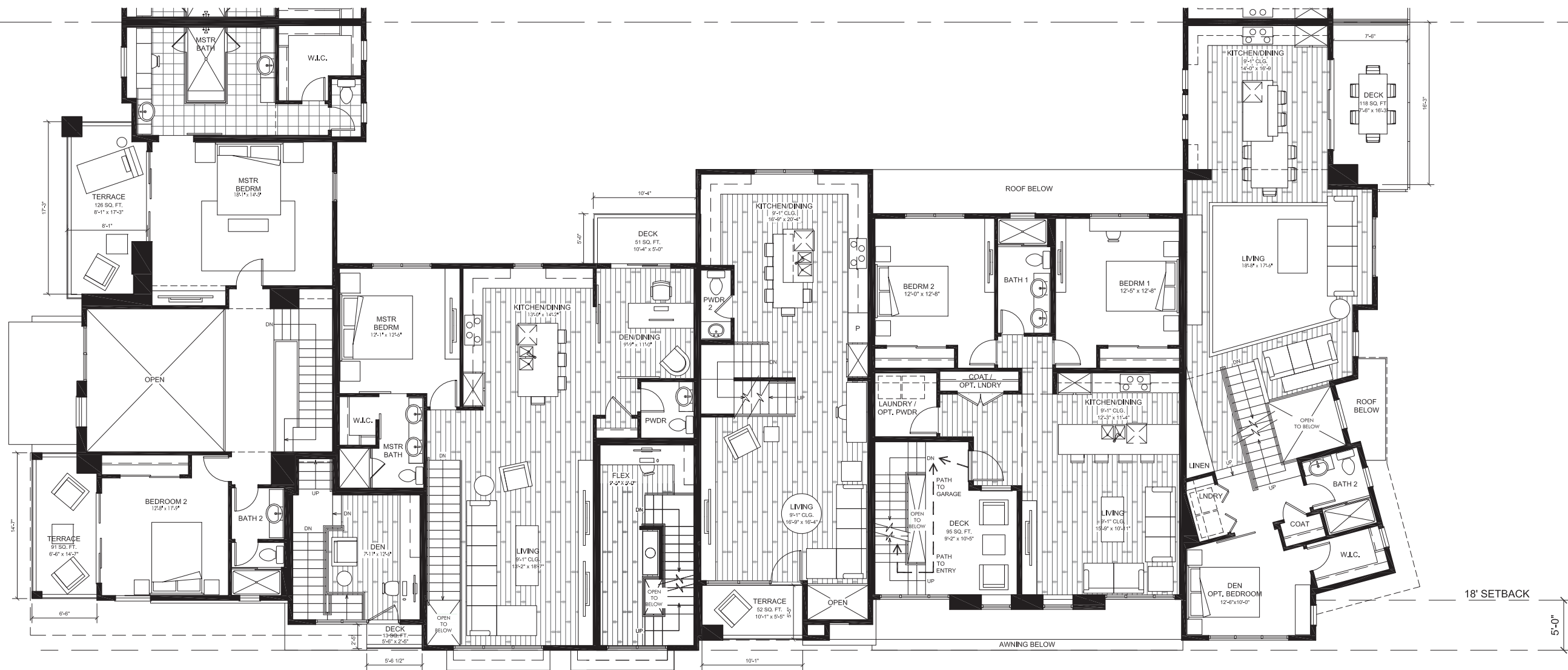


192-072

03.18.16



Scale: 3/16" = 1'-0"
5.CC.2



PLAN 5

PLAN 4

PLAN 2

PLAN 3

PLAN 6

PLAN 1

PLAN 7

NORTH FORTY

LOS GATOS, CA

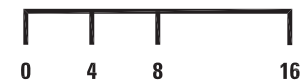
Lark District & Transition District Area D

Floor Plans Condominium Cluster - 2nd Floor



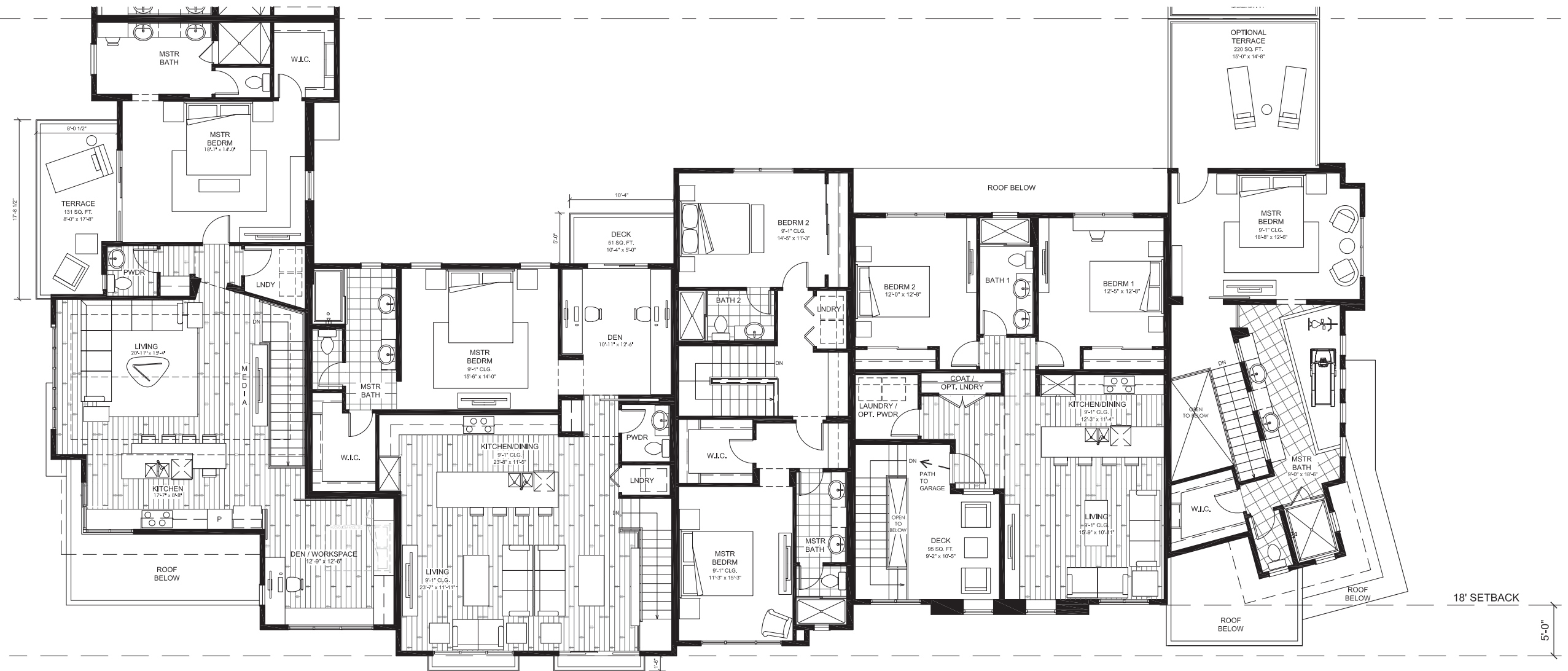
192-072

03.18.16



Scale: 3/16" = 1'-0"

5.CC.3



PLAN 4

PLAN 3

PLAN 6

PLAN 1

PLAN 7

NORTH FORTY

LOS GATOS, CA

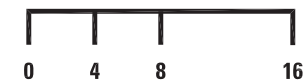
Lark District & Transition District Area D

Floor Plans Condominium Cluster - 3rd Floor



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03.18.16



Scale: 3/16" = 1'-0"
5.CC.4



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District & Transition District Area D
Perspective Rendering - Condominium Cluster
Elevation A**



192-072

03.18.16

5.CC.5



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District & Transition District Area D
Perspective Rendering - Condominium Cluster
Elevation B**



192-072

03.18.16

5.CC.6



See landscape drawings for additional information on trees and planting;
some proposed landscaping may not be shown in this rendering for clarity

NORTH FORTY

LOS GATOS, CA

**Lark District & Transition District Area D
Perspective Rendering - Condominium Cluster
Elevation D**



192-072

03.18.16

5.CC.7

MATERIAL LEGEND #

- 1. PLASTER
- 2. LAP SIDING
- 3. WOOD SLAT RAILING
- 4. 8X8 WOOD POST w/ PLASTER BASE
- 5. STAINED WOOD SLAT o/ SMOOTH PANEL SIDING
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. STANDING SEAM METAL ROOF
- 12. METAL AWNING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



SIDE ELEVATION

CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	●		
ELEV B		●	
ELEV D			●

Lark District & Transition District Area D
Elevation A - Condominium Cluster
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.CC.8

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

HEIGHT LIMIT
35'-0"



FRONT ELEVATION

HEIGHT LIMIT
35'-0"

CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	●		
ELEV B		●	
ELEV D			●



REAR ELEVATION

Lark District & Transition District Area D
Elevation A - Condominium Cluster
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA

MATERIAL LEGEND #

- 1. PLASTER
- 2. CORRUGATED METAL SIDING
- 3. WOOD SLAT RAILING w/ METAL FRAME
- 4. PLASTER COLUMN
- 5. STAINED WOOD SLATS o/ SMOOTH PANEL SIDING
- 6. WOOD SOFFIT
- 7. WOOD TRIM
- 8. SMOOTH PANEL SIDING
- 9. WOOD TRELLIS
- 10. VINYL WINDOW w/ COLOR FRAME
- 11. COMPOSITION SHINGLE ROOF
- 12. STANDING SEAM METAL ROOF
- 13. METAL AWNING
- 14. LAP SIDING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



SIDE ELEVATION

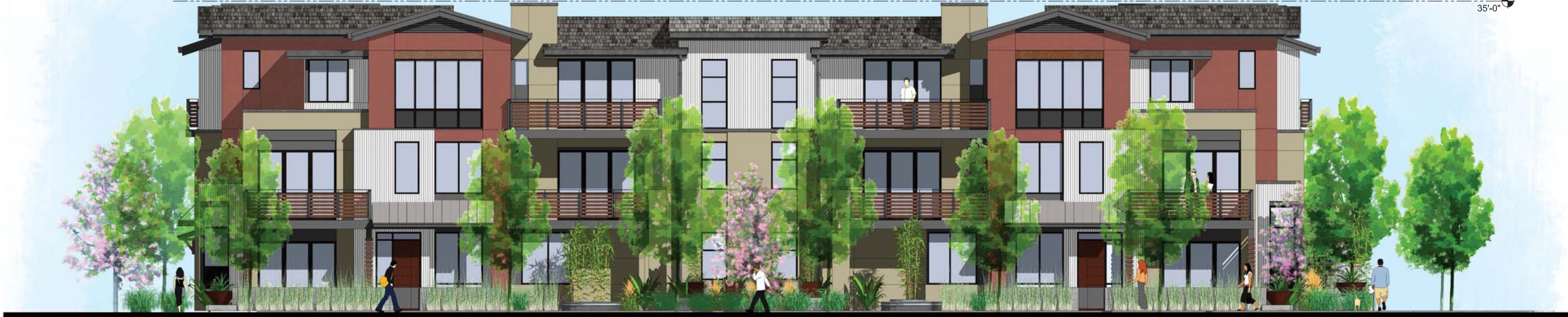
CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	●		
ELEV B		●	
ELEV D			●

Lark District & Transition District Area D
Elevation B - Condominium Cluster
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

HEIGHT LIMIT
35'-0"



FRONT ELEVATION

HEIGHT LIMIT
35'-0"



REAR ELEVATION

CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	•		
ELEV B		•	
ELEV D			•

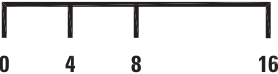
NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Condominium Cluster
Illustrative Elevation



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.CC.11

MATERIAL LEGEND #

- 1. PLASTER
- 2. METAL RAILING
- 3. 10X10 WOOD POST w/ PLASTER BASE
- 4. STAINED WOOD SLAT or SMOOTH PANEL SIDING
- 5. WOOD SOFFIT
- 6. WOOD TRIM
- 7. SMOOTH PANEL SIDING
- 8. WOOD TRELLIS
- 9. VINYL WINDOW w/ COLOR FRAME
- 10. COMPOSITION SHINGLE ROOF
- 12. METAL AWNING

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



SIDE ELEVATION

CONDOMINIUM CLUSTER (CC)	COLOR SCHEMES		
	1	8	11
ELEV A	●		
ELEV B		●	
ELEV D			●

Lark District & Transition District Area D
Elevation D - Condominium Cluster
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)



FRONT ELEVATION



REAR ELEVATION

Lark District & Transition District Area D
Elevation D - Condominium Cluster
Illustrative Elevation

NORTH FORTY | LOS GATOS, CA

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F.G. = FINISH GRADE
E.G. = EXISTING GRADE



SIDE ELEVATION

- NOTE:
- LARGEST GRADING CUT FOR CC BUILDING TYPE OCCURS AT BUILDING 3.
 - LARGEST GRADING FILL FOR CC BUILDING TYPE OCCURS AT BUILDING 28.
 - SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.

Lark District & Transition District Area D
Elevation A - Condominium Cluster
Technical Elevation

NORTH FORTY | LOS GATOS, CA



GENERAL NOTE

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F.G. = FINISH GRADE
E.G. = EXISTING GRADE

NOTE:

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- LARGEST GRADING FILL FOR CC BUILDING TYPE OCCURS AT BUILDING 28.
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Elevation A - Condominium Cluster
Technical Elevation

GENERAL NOTE

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NOTE:
SEE CONDOMINIUM CLUSTER ELEVATION A TECHNICAL ELEVATION SHEETS FOR GRADING INFORMATION



NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation B - Condominium Cluster
Technical Elevation



FRONT ELEVATION



REAR ELEVATION

GENERAL NOTE

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NOTE:
SEE CONDOMINIUM CLUSTER ELEVATION A TECHNICAL ELEVATION SHEETS FOR GRADING INFORMATION

NORTH FORTY

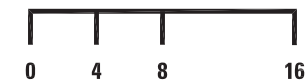
LOS GATOS, CA

**Lark District & Transition District Area D
Elevation B - Condominium Cluster
Technical Elevation**



192-072

03.18.16



Scale: 3/16" = 1'-0"
5.CC.11a

GENERAL NOTE

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NOTE:
SEE CONDOMINIUM CLUSTER ELEVATION A TECHNICAL ELEVATION SHEETS FOR GRADING INFORMATION



SIDE ELEVATION

NORTH FORTY | LOS GATOS, CA

Lark District & Transition District Area D
Elevation D - Condominium Cluster
Technical Elevation



FRONT ELEVATION

GENERAL NOTE

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SEE CONDOMINIUM CLUSTER ELEVATION A TECHNICAL ELEVATION SHEETS FOR GRADING INFORMATION



REAR ELEVATION

NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D
Elevation D - Condominium Cluster
Technical Elevation



192-072

03.18.16

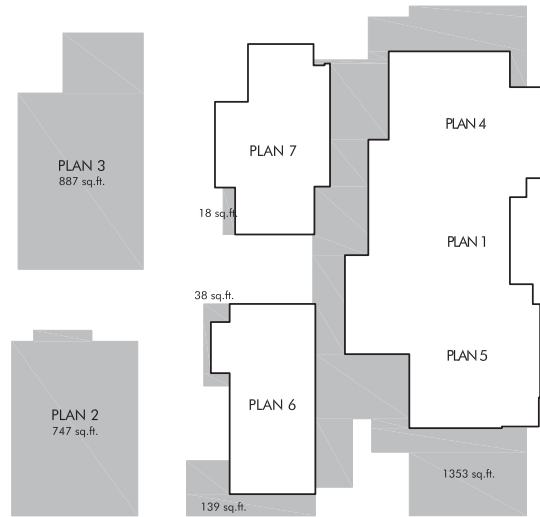


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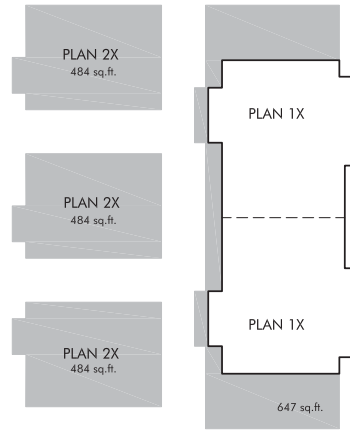
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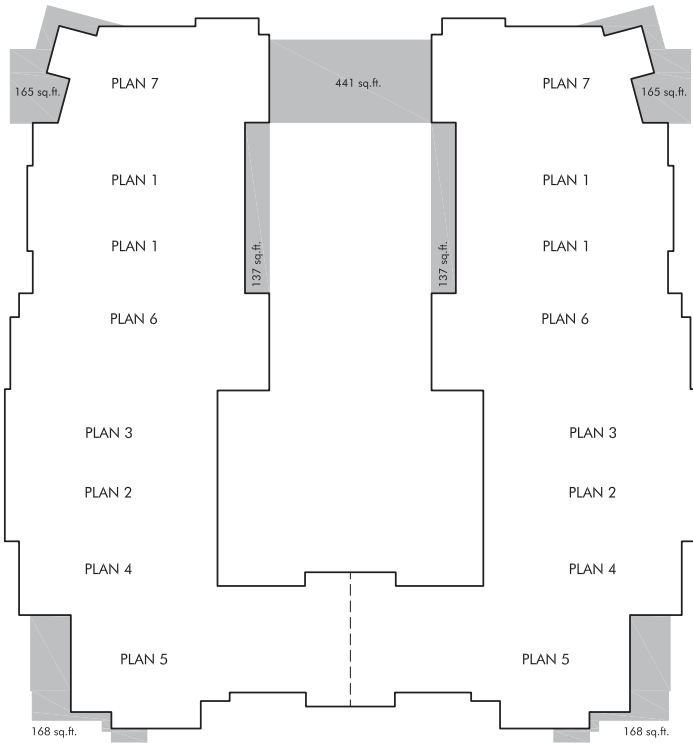
GC - 8-PLEX A



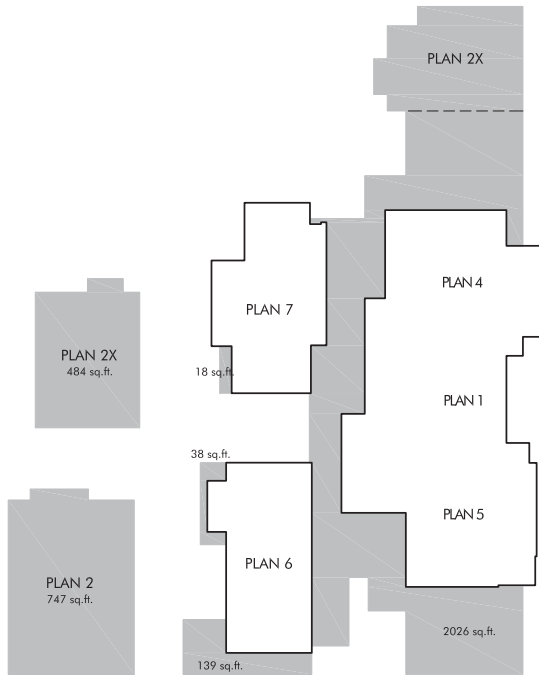
GC - 7-PLEX A



GC - 5-PLEX



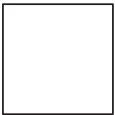
CC - 16-PLEX



GC - 8-PLEX B



GC - 7-PLEX B



3-STORY BUILDING MASS



2-STORY BUILDING MASS OR LESS.
BUILDING HEIGHT BELOW 25'-0"

LEGEND

Building type	2-Story Mass (sq ft)	#	Total 2-Story Mass (sq ft)	Total 2-Story Mass / Total Bldg. Lot coverage (%)
GC_5 PLEX	2099	2	4198	
GC_7 PLEX_A	3182	6	19092	
GC_7 PLEX_B	2780	1	2780	
GC_8 PLEX_A	3916	2	7832	
GC_8 PLEX_B	3452	1	3452	
CC_16 PLEX	1381	3	4143	
Total			41497	29%
Total Building Lot Coverage			144247	

NOTE: 2-STORY MASSING STUDY APPLIES ONLY TO BUILDINGS LOCATED IN LARK DISTRICT.

NORTH FORTY

LOS GATOS, CA

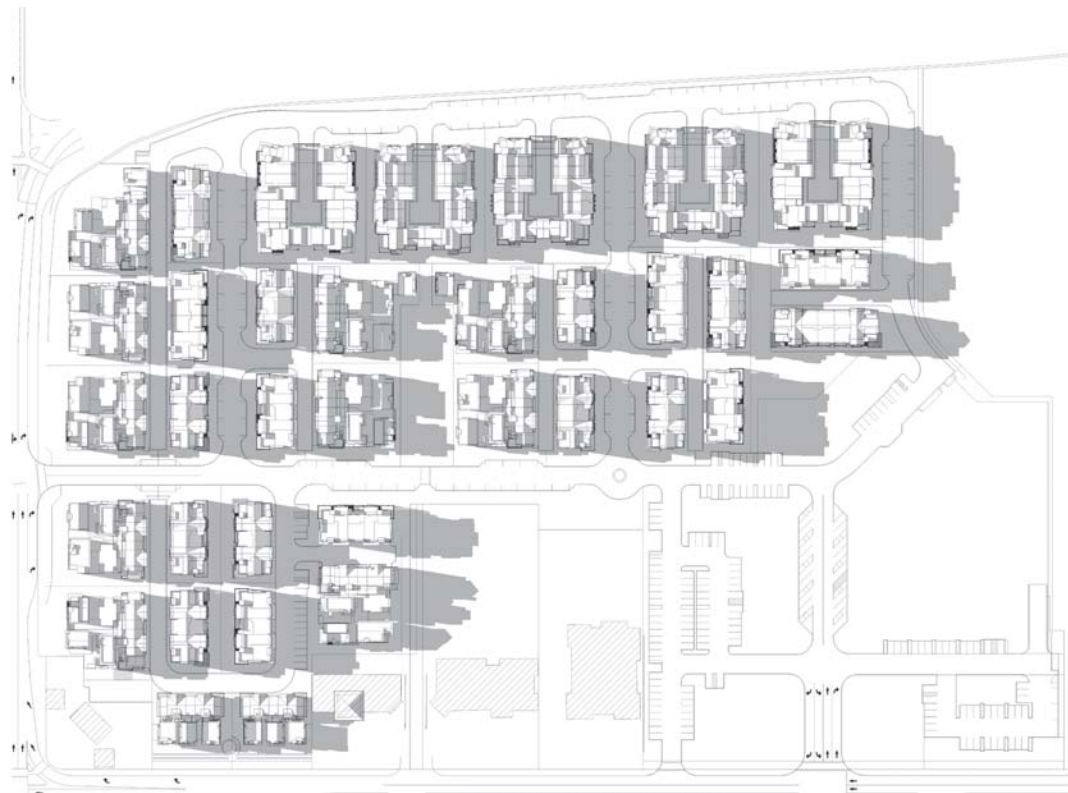
Lark District
2-Story Massing Study
Garden Cluster & Condominium Cluster



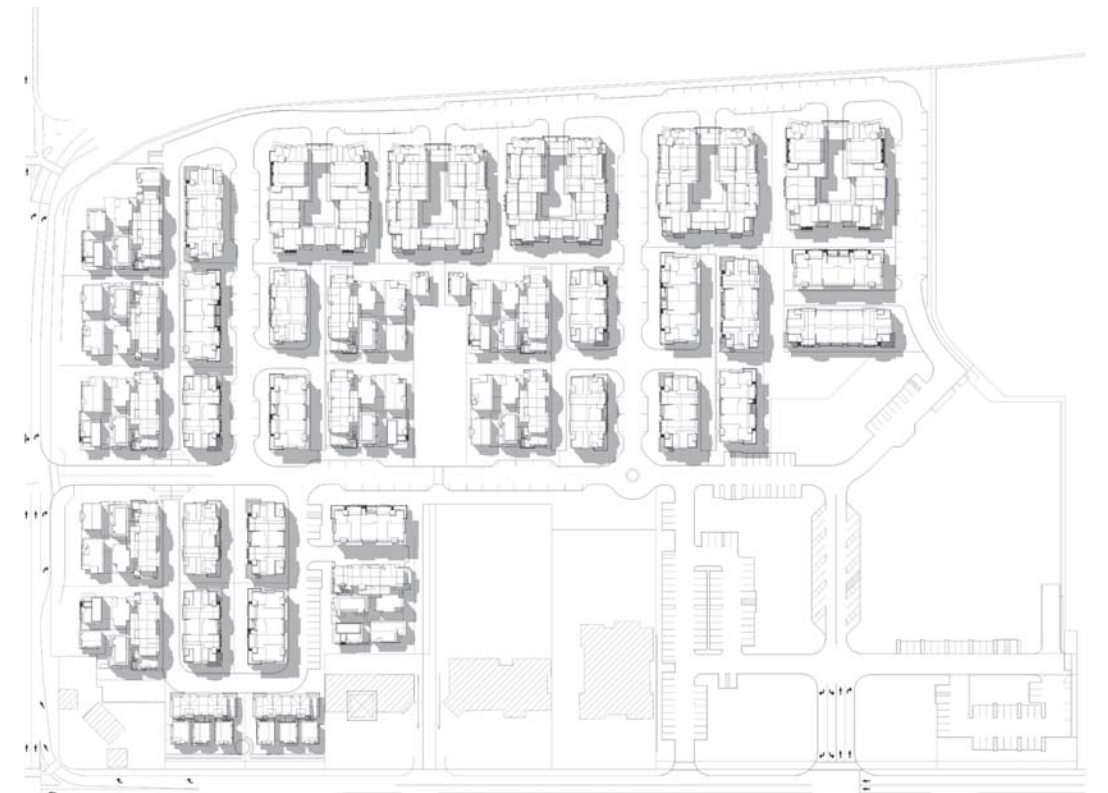
NORTH FORTY

LOS GATOS, CA

Lark District & Transition District Area D Site Plan Elevation Style & Color Scheme Mix



WINTER SOLSTICE ON DEC 21 @ 3 PM



SUMMER SOLSTICE ON JUNE 21 @ 3 PM



WINTER SOLSTICE ON DEC 21 @ 9 AM



SUMMER SOLSTICE ON JUNE 21 @ 9 AM

Lark District & Transition District Area D

Solar Access Shadow Study

NORTH FORTY

LOS GATOS, CA



192-072

03.18.16

Scale: NTS

5.ST.3



EXISTING COMMERCIAL BUILDING



EXISTING COMMERCIAL BUILDING



EXISTING COMMERCIAL BUILDING



EXISTING GAS STATION



EXISTING COMMERCIAL BUILDING



EXISTING COMMERCIAL BUILDING



SITE PLAN (NTS)

Lark District

NORTH FORTY

LOS GATOS, CA

Streetscape and Context Information at Los Gatos Blvd.



LARK AVE
STREETSCAPE



LARK AVE
STREETSCAPE



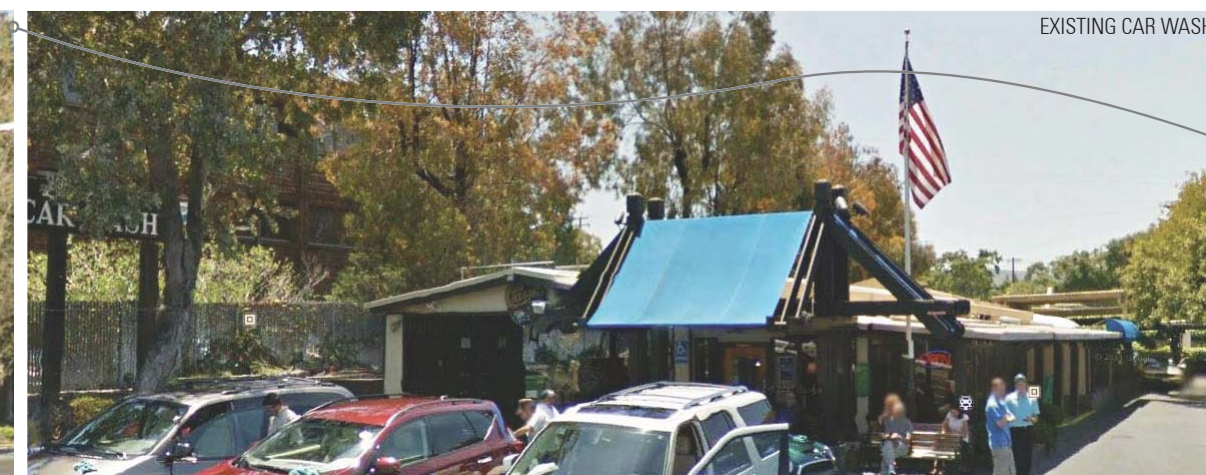
EXISTING SINGLE FAMILY RESIDENCES



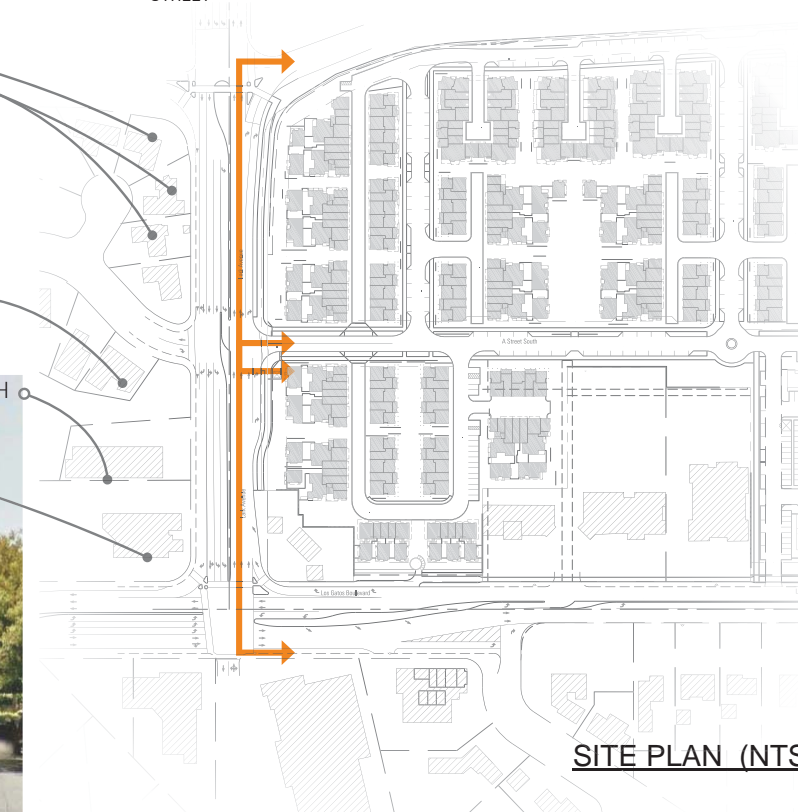
EXISTING SINGLE FAMILY RESIDENCE



EXISTING BUILDING



EXISTING CAR WASH



SITE PLAN (NTS)

Lark District

NORTH FORTY

LOS GATOS, CA

Streetscape and Context Information at Lark Ave

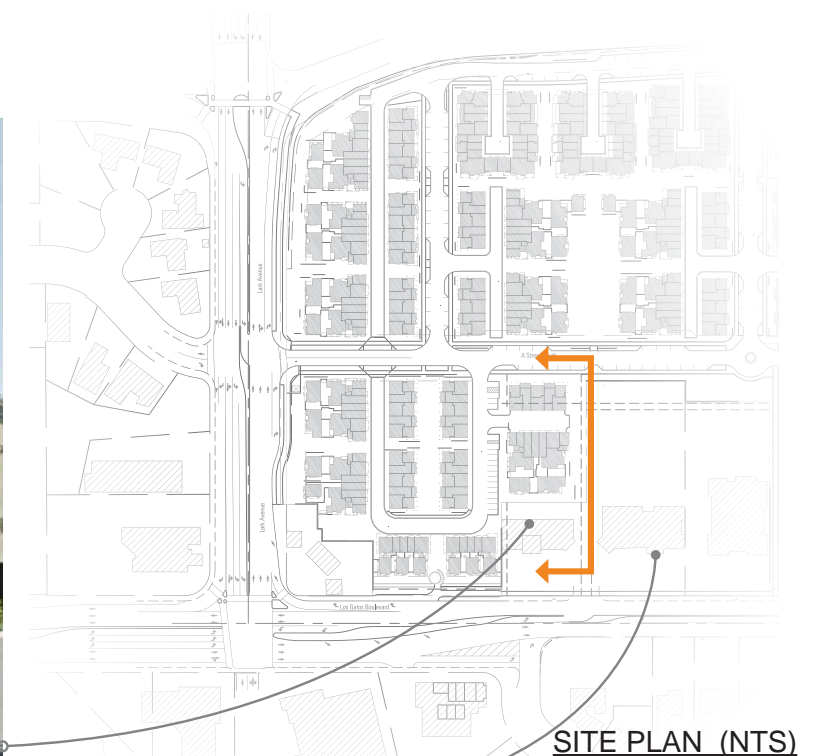


192-072

03.18.16

Scale: 1/16" = 1'-0"

5.ST.5



Lark District

NORTH FORTY

LOS GATOS, CA

Streetscape and Context Information at Bennett Way



192-072

03.18.16

Scale: 1/16" = 1'-0"

5.ST.6



ALLEY 'B'

COMMUNITY
PARK

ALLEY 'F'

'R2' 3RD STREET

ALLEY 'H'

**SOUTH 'A' STREET
STREETSCAPE**



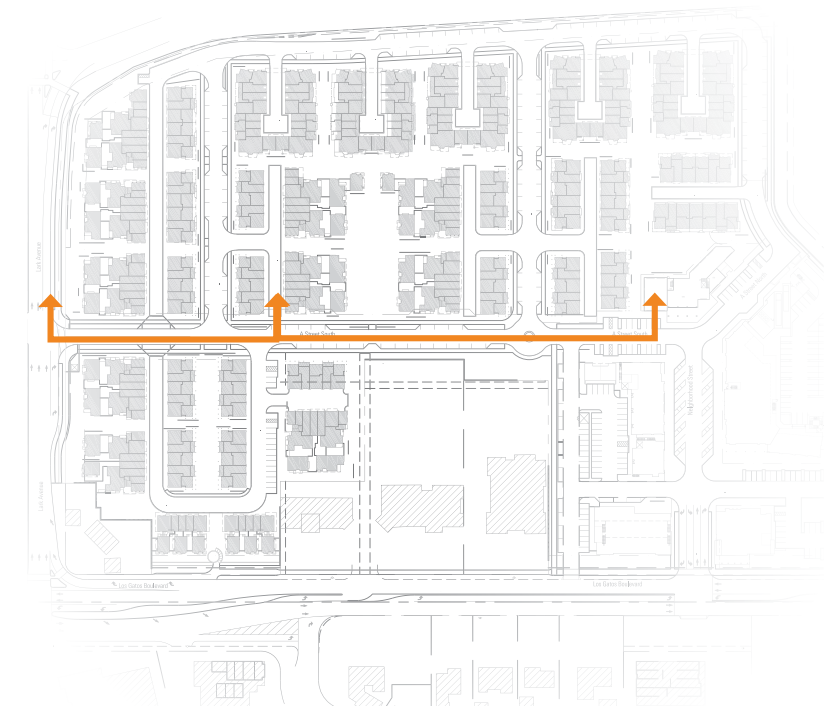
LARK AVE

ALLEY 'A'

'R2' 1ST STREET

ALLEY 'B'

**SOUTH 'A' STREET
STREETSCAPE**



SITE PLAN (NTS)

Lark District & Transition District Area D

Streetscape at South 'A' Street

NORTH FORTY

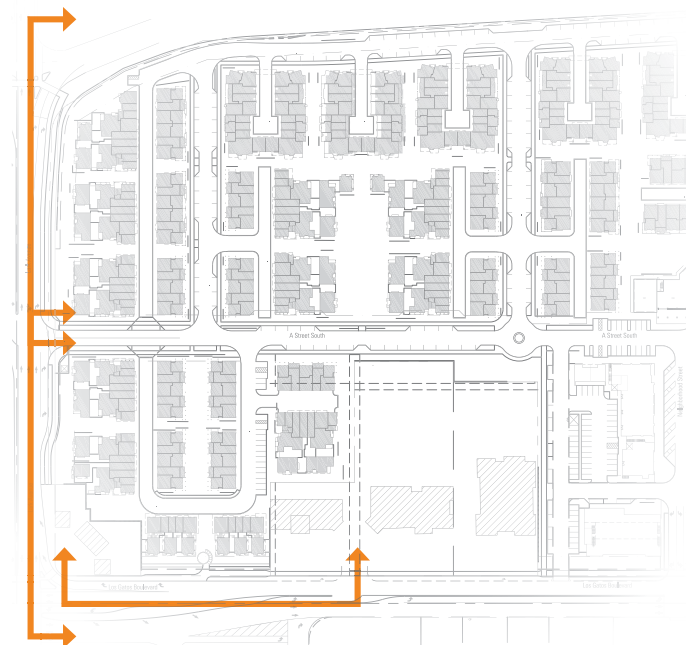
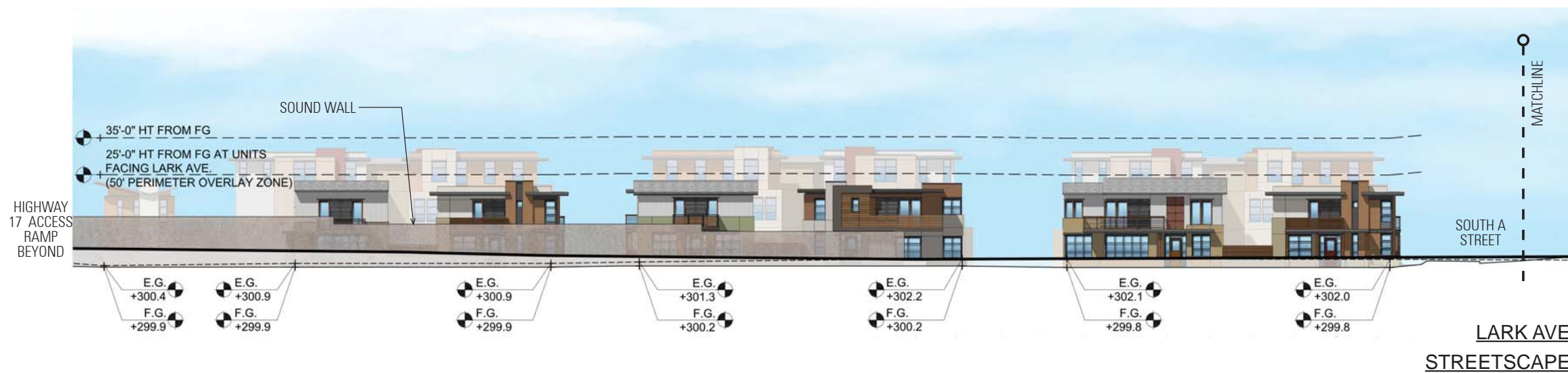
LOS GATOS, CA



192-072

03.18.16

Scale: 1/16" = 1'-0"
5.ST.7



NORTH FORTY

LOS GATOS, CA

Technical Streetscapes at Los Gatos Blvd. and Lark Ave

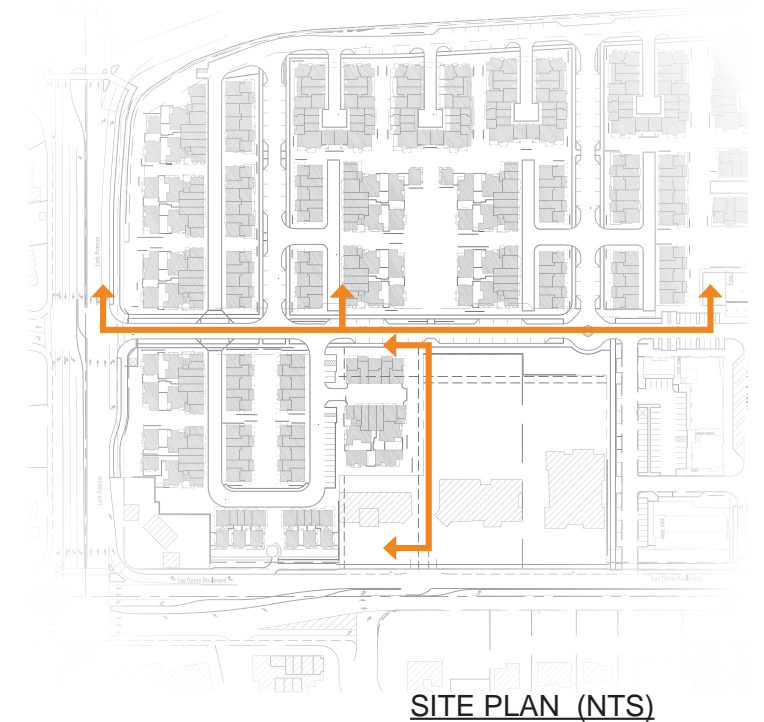
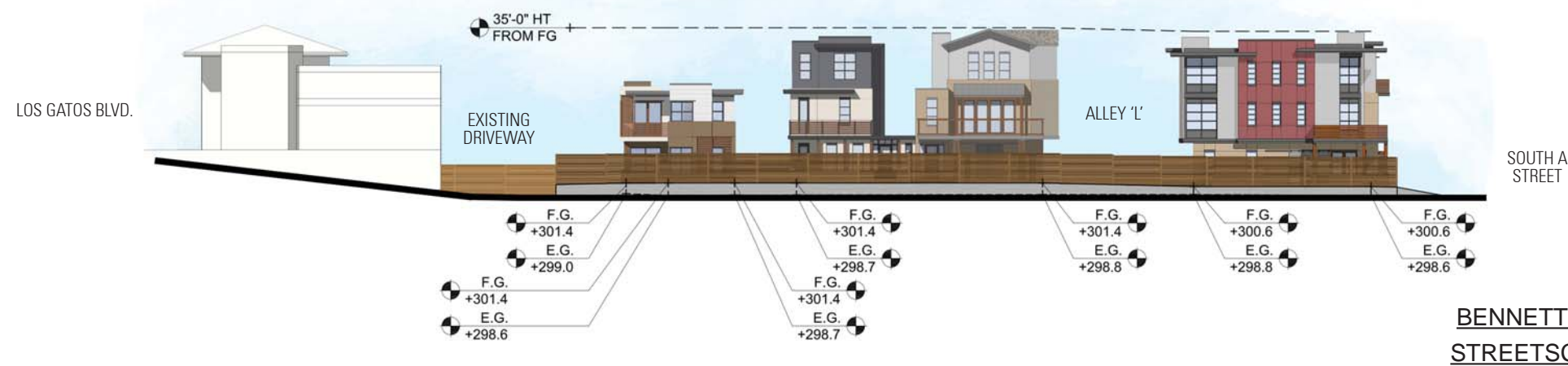


192-072

03.18.16

Scale: 1/16" = 1'-0"

5.ST.8



NORTH FORTY

LOS GATOS, CA

Technical Streetscape at Bennett Way and South 'A' Street



192-072

03.18.16

Scale: 1/16" = 1'-0"

5.ST.9



RIGHT SIDE ELEVATION
(BLDG. 16)

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

HEIGHT LIMIT
35'-0"

LEGEND

BUILDING MASSING ENCROACHMENT INTO ALLOWABLE SETBACK ENCROACHMENT (GARDEN CLUSTER WITH LARGEST SETBACK ENCROACHMENT SHOWN)

BUILDING FACADE

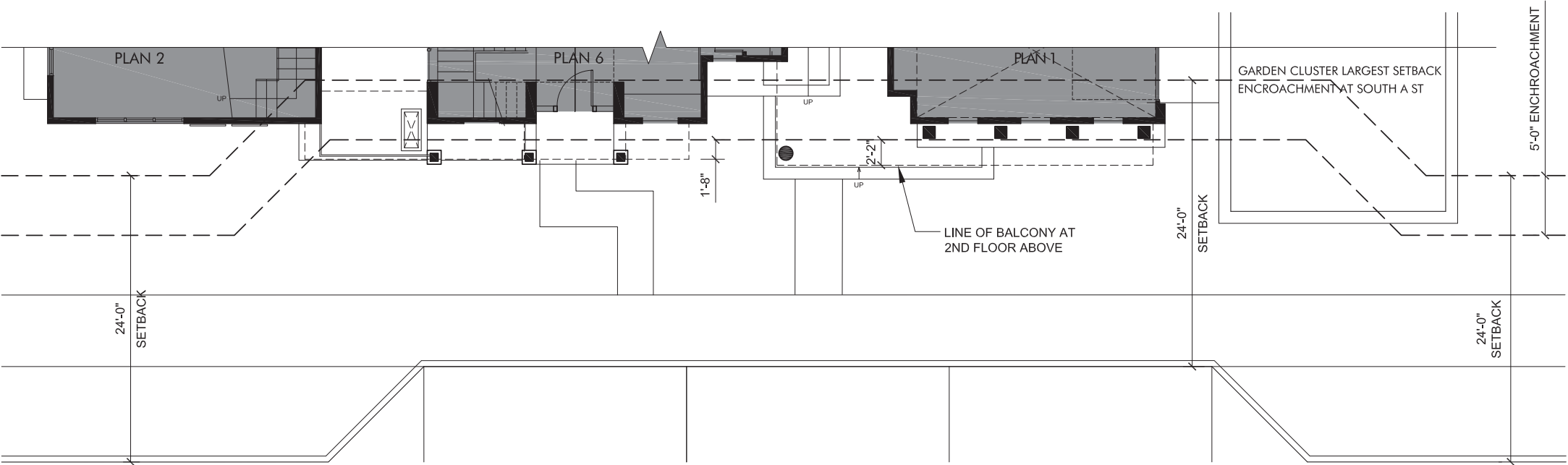
TOTAL BUILDING FACADE ENCROACHMENT AREA = 1,223 SQ. FT.
TOTAL BUILDING FACADE AREA = 2,492 SQ. FT.

GC-7-PLEX FACADE ENCROACHMENT PERCENTAGE:
= 1,223 / 2,492 SQ. FT. = 49.1%

- NOTE:
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



THIS GARDEN CLUSTER BUILDING FACADE HAS THE LARGEST SETBACK ENCROACHMENT OF ALL GARDEN CLUSTERS. THE SETBACK DIAGRAM IS SHOWN ON THIS SHEET



SOUTH A STREET

PLAN VIEW

LARK DISTRICT & TRANSITION DISTRICT AREA D SETBACKS				
	Measured From	Setback	Setback for 50% encroachment	Additional encroachment beyond 50% encroachment
PRIMARY STREET FRONTAGE SETBACK				
Lark Avenue	PL+10' future right of way	30' min.*	25'	**
Los Gatos Boulevard	PL at existing right of way	30' min.	NA	**
South 'A' Street - Lark District	face of curb	24' min.*	19'	**
'A' Street - Transition District	face of curb	12' min.	NA	**
OTHER INTERIOR RESIDENTIAL STREETS				
'R2' 1st, 2nd, 3rd & 4th Streets	face of curb	18' min.*	13'	**
Notes:				
* Permitted a five foot encroachment for approximately 50% of linear building facade length to allow for porches, balconies and livable space that will add visual interest and minimize the appearance of a solid wall plane.				
** Per Specific Plan section 2.7.4.e: Cornices, belt courses, sills, canopies, cantilevered bay windows, chimneys or other similar architectural features may extend or project into a required setback not more than 30 inches. Eaves may encroach up to 36 inches.				

LANDSCAPE NOT SHOWN FOR CLARITY. SEE LANDSCAPE DRAWINGS FOR TREES AND PLANTING.

NORTH FORTY

LOS GATOS, CA

Lark District
Garden Cluster
Setback Diagram



NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

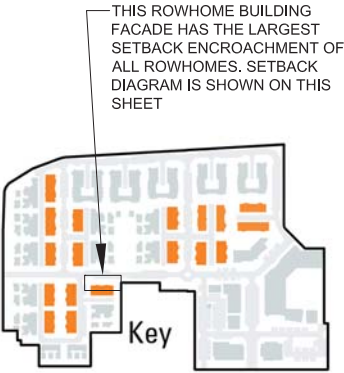
HEIGHT LIMIT
35'-0"

- LEGEND
- BUILDING MASSING ENCROACHMENT INTO ALLOWABLE SETBACK ENCROACHMENT (LARGEST SETBACK ENCROACHMENT CONDITION SHOWN FOR THIS BUILDING TYPE)
 - BUILDING FACADE

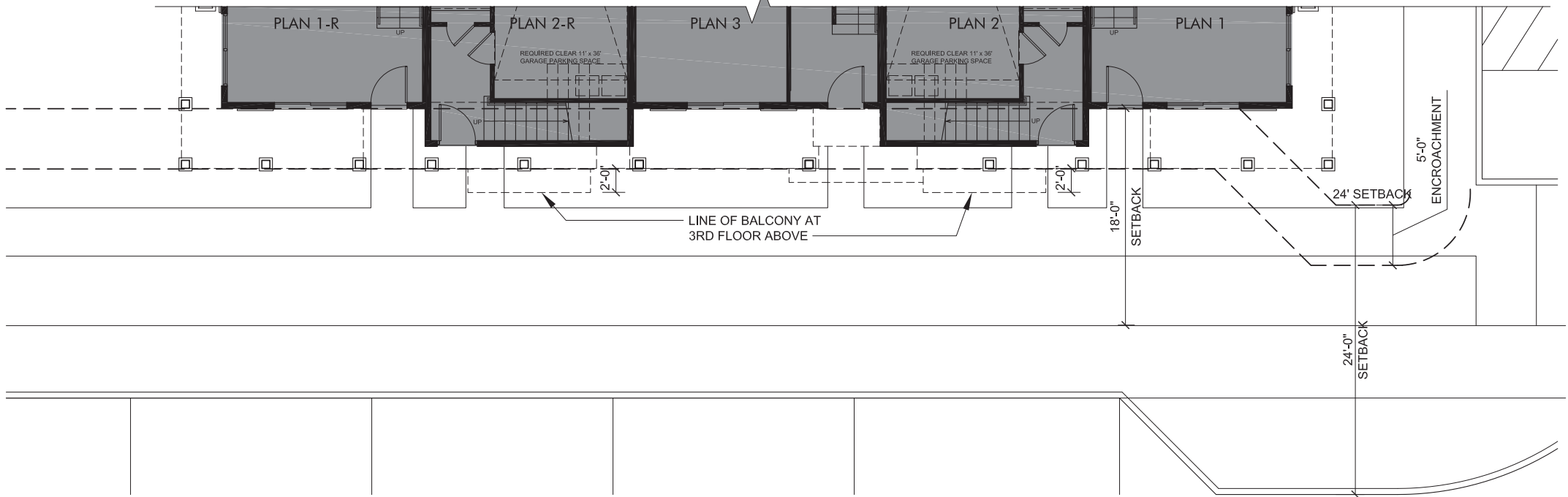
TOTAL BUILDING FACADE ENCROACHMENT AREA = 1,506 SQ. FT.
TOTAL BUILDING FACADE AREA = 3,085 SQ. FT.

RH-5-PLEX FACADE ENCROACHMENT PERCENTAGE:
= 1,506 / 3,085 SQ. FT. = 48.8%

- NOTE:
- SEE OVERALL SITE KEY PLAN SHEET 1.0 FOR BUILDING NUMBERS.



FRONT ELEVATION
(BLDG. 26)



SOUTH 'A' STREET
PLAN VIEW

LARK DISTRICT & TRANSITION DISTRICT AREA D SETBACKS				
	Measured From	Setback	Setback for 50% encroachment	Additional encroachment beyond 50% encroachment
PRIMARY STREET FRONTAGE SETBACK				
Lark Avenue	PL+10' future right of way	30' min.*	25'	**
Los Gatos Boulevard	PL at existing right of way	30' min.	NA	**
South 'A' Street - Lark District	face of curb	24' min.*	19'	**
'A' Street - Transition District	face of curb	12' min.	NA	**
OTHER INTERIOR RESIDENTIAL STREETS				
'R2' 1st, 2nd, 3rd & 4th Streets	face of curb	18' min.*	13'	**
Notes:				
* Permitted a five foot encroachment for approximately 50% of linear building facade length to allow for porches, balconies and livable space that will add visual interest and minimize the appearance of a solid wall plane.				
** Per Specific Plan section 2.7.4.e: Cornices, belt courses, sills, canopies, cantilevered bay windows, chimneys or other similar architectural features may extend or project into a required setback not more than 30 inches. Eaves may encroach up to 36 inches.				

Lark District & Transition District Area D
Rowhome
Setback Diagram

LANDSCAPE NOT SHOWN FOR CLARITY. SEE LANDSCAPE DRAWINGS FOR TREES AND PLANTING.

NORTH FORTY | LOS GATOS, CA



SIDE ELEVATION
(BLDG. 29)

NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)

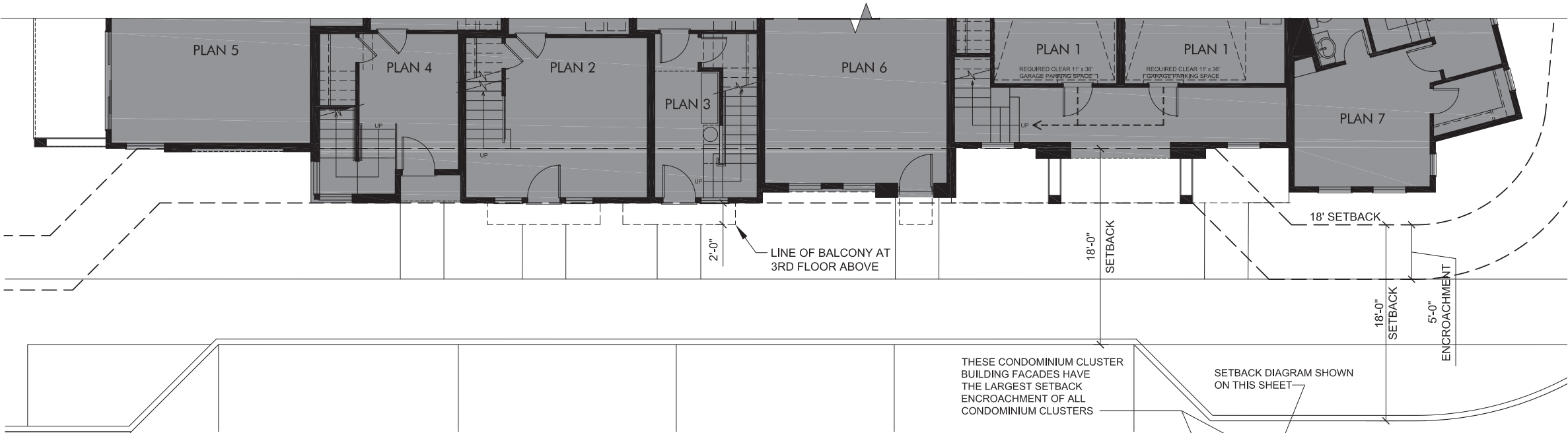
HEIGHT LIMIT
35'-0"

LEGEND

- BUILDING MASSING ENCROACHMENT INTO ALLOWABLE SETBACK ENCROACHMENT (LARGEST SETBACK ENCROACHMENT CONDITION SHOWN FOR THIS BUILDING TYPE)
- BUILDING FACADE

TOTAL BUILDING FACADE ENCROACHMENT AREA = 1,923 SQ. FT.
TOTAL BUILDING FACADE AREA = 4,378 SQ. FT.

CC-16-PLEX FACADE ENCROACHMENT PERCENTAGE:
= 1,923 / 4,378 SQ. FT. = 44.0%



'R2' 4TH STREET
PLAN VIEW

LANDSCAPE NOT SHOWN FOR CLARITY. SEE LANDSCAPE DRAWINGS FOR TREES AND PLANTING.

LARK DISTRICT & TRANSITION DISTRICT AREA D SETBACKS				
	Measured From	Setback	Setback for 50% encroachment	Additional encroachment beyond 50% encroachment
PRIMARY STREET FRONTAGE SETBACK				
Lark Avenue	PL+10' future right of way	30' min.*	25'	**
Los Gatos Boulevard	PL at existing right of way	30' min.	NA	**
South 'A' Street - Lark District	face of curb	24' min.*	19'	**
'A' Street - Transition District	face of curb	12' min.	NA	**
OTHER INTERIOR RESIDENTIAL STREETS				
'R2' 1st, 2nd, 3rd & 4th Streets	face of curb	18' min.*	13'	**
Notes:				
* Permitted a five foot encroachment for approximately 50% of linear building facade length to allow for porches, balconies and livable space that will add visual interest and minimize the appearance of a solid wall plane.				
** Per Specific Plan section 2.7.4.e: Cornices, belt courses, sills, canopies, cantilevered bay windows, chimneys or other similar architectural features may extend or project into a required setback not more than 30 inches. Eaves may encroach up to 36 inches.				



Lark District & Transition District Area D
Condominium Cluster
Setback Diagram

NORTH FORTY | LOS GATOS, CA


NOTE: ALL ELEVATION HEIGHTS ARE MEASURED FROM FINISH GRADE OF THE BUILDING (EVEN IF THE EXISTING GRADE IS LOWER)




REAR ELEVATION
(BLDG. 5)

HEIGHT LIMIT
35'-0"

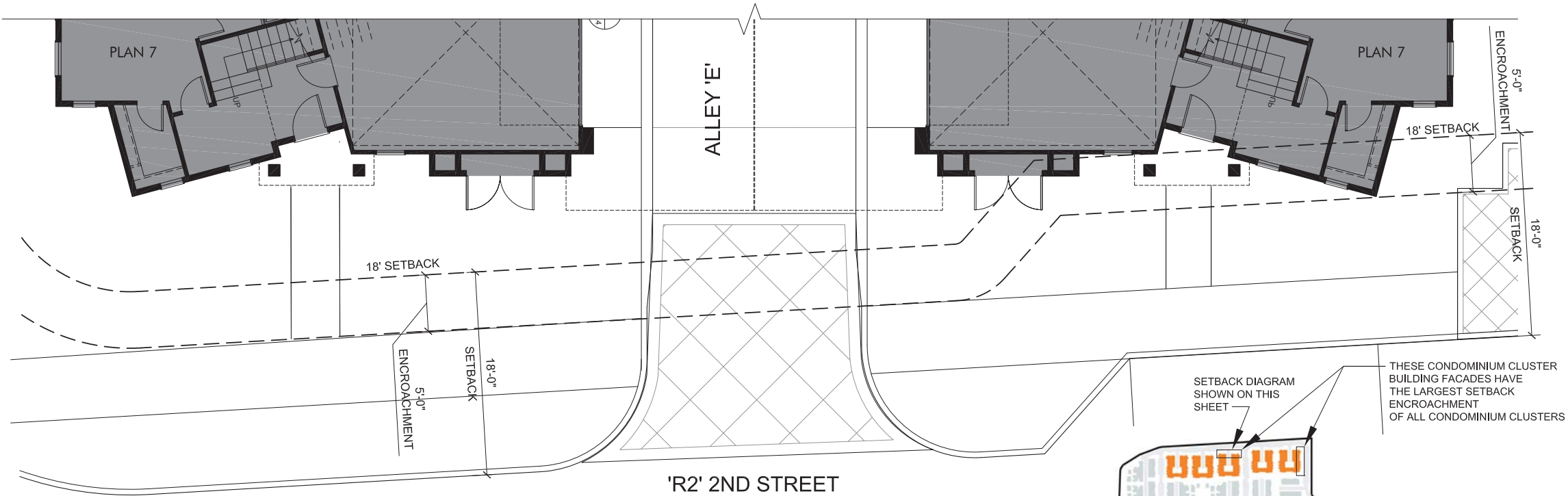
LEGEND

 BUILDING MASSING ENCROACHMENT INTO ALLOWABLE SETBACK ENCROACHMENT (LARGEST SETBACK ENCROACHMENT CONDITION SHOWN FOR THIS BUILDING TYPE)

 BUILDING FACADE

TOTAL BUILDING FACADE ENCROACHMENT AREA = 532 SQ. FT.
TOTAL BUILDING FACADE AREA = 3,486 SQ. FT.

CC-16-PLEX FACADE ENCROACHMENT PERCENTAGE:
= 532 / 3,486 SQ. FT. = 15.3%



LANDSCAPE NOT SHOWN FOR CLARITY. SEE LANDSCAPE DRAWINGS FOR TREES AND PLANTING.

PLAN VIEW

LARK DISTRICT & TRANSITION DISTRICT AREA D SETBACKS				
	Measured From	Setback	Setback for 50% encroachment	Additional encroachment beyond 50% encroachment
PRIMARY STREET FRONTAGE SETBACK				
Lark Avenue	PL+10' future right of way	30' min.*	25'	**
Los Gatos Boulevard	PL at existing right of way	30' min.	NA	**
South 'A' Street - Lark District	face of curb	24' min.*	19'	**
'A' Street - Transition District	face of curb	12' min.	NA	**
OTHER INTERIOR RESIDENTIAL STREETS				
'R2' 1st, 2nd, 3rd & 4th Streets	face of curb	18' min.*	13'	**
Notes:				
* Permitted a five foot encroachment for approximately 50% of linear building facade length to allow for porches, balconies and livable space that will add visual interest and minimize the appearance of a solid wall plane.				
** Per Specific Plan section 2.7.4.e: Cornices, belt courses, sills, canopies, cantilevered bay windows, chimneys or other similar architectural features may extend or project into a required setback not more than 30 inches. Eaves may encroach up to 36 inches.				

Lark District & Transition District Area D - Plan Analysis								Date
Detailed project tabulations								3/18/2016
General Information								
Site area	15.12 Acres							
Total units	260							
Overall Density	17.2 units/acre **							
Open Space/Lot Coverage Calculations	See sheets 6.3, 6.4 and 6.5							
15% 2 story/25' max height requirement	See sheet 6.7 For phase 1 overall calculations and sheet 5.ST.1 for Lark District detailed breakdown							
Unit Area Calculations								
		Gross Area	Net area	Coverd Parking provided	# of plans	Total Gross Area *	# of Bedrooms	Total Bedrooms
Garden Cluster								
Building type area range 918 sq. ft. - 1998 sq. ft.	Plan 1	1214	1119	1	10	12140	1	10
	Plan 1x	1687	1546	2	4	6748	2	8
	Plan 2	1416	1305	2	10	14160	2	20
	Plan 2x	918	839	1	11	10098	1	11
	Plan 3	1722	1610	2	8	13776	2 + den	16
	Plan 4	1442	1351	1	10	14420	1 + den	10
	Plan 5	1418	1323	1	10	14180	1	10
	Plan 6	1945	1779	2	10	19450	3	30
	Plan 7	1998	1789	2	10	19980	3 + den	30
Garden Cluster Total					83	124952		145
Condominium Cluster								
Building type area range 996 sq. ft. - 1999 sq. ft.	Plan 1	996	940	2	20	19920	2	40
	Plan 2	1255	1176	1	10	12550	1 + den	10
	Plan 3	1570	1415	1	10	15700	1 + den	10
	Plan 4	1608	1477	1	10	16080	1 + den	10
	Plan 5	1832	1696	2	10	18320	2 + den	20
	Plan 6	1942	1731	2	10	19420	2 + den	20
	Plan 7	1999	1867	2	10	19990	3	30
Condominium Cluster Total					80	121980		140
Rowhomes								
Building type area range 1500 sq. ft. - 1944 sq. ft.	Plan 1	1628	1455	2	36	58608	2 + den	72
	Plan 2	1527	1417	2	37	56499	2	74
	Plan 3	1944	1742	2	24	46656	3	72
Rowhomes Total					97	161763		218
TOTALS					260	408695		503
Average sq. ft. (Gross)						1572		
Average bedroom count								1.93
Parking Calculations								
			Total Number	Required Parking	Total required	Total Provided	Tandem Percentage	
Residential Stalls (Covered)								
1 bedroom units			71	1	71	71		
2 and 2+ bedroom units			189	2	378	378		
Total					449	449	38%	
Guest Stalls							Standard Stall	Accessible Stall
1 bedroom units			71	0.5	35.5			
2 and 2+ bedroom units			189	0.5	94.5			
Total					130	132	125	7

* Gross area does not include garage per specific plan requirements
** 20+ DU/AC Net for State Density Bonus Calculation

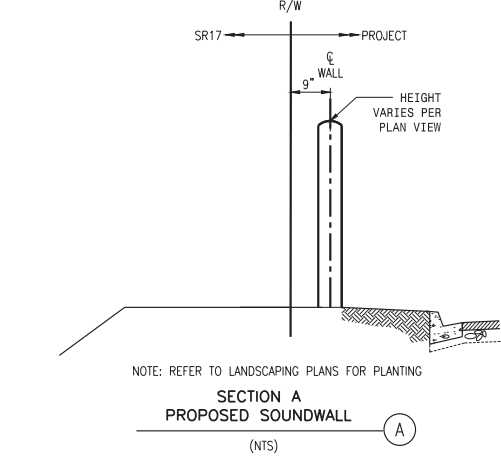
Lark District & Transition District Area D

Area Analysis



GENERAL NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST FOOT
2. BUILDING NUMBERS AS SHOWN MAY REPRESENT SINGLE STRUCTURES AND/OR CLUSTERS OF STRUCTURES
3. ALLEY WIDTH DIMENSIONS MEASURED FROM BACK OF CURB TO BACK OF CURB DUE TO ROLLED/WEDGE CURB TYPE
4. SIDEWALKS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO SEPARATE LANDSCAPE PLAN FOR MORE DETAIL

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	FACE OF CURB
---	---	BUILDING SETBACK LINE PER SPECIFIC PLAN
---	---	SIDEWALK
---	---	MULTIUSE PATH
---	---	TURF BLOCK OR OTHER ACCEPTABLE SURFACE PER SCCFD REFER TO LANDSCAPE PLAN
---	---	ROAD STRIPING
---	---	HANDICAP SPACE STRIPING
---	---	EXISTING TREE TO REMAIN



NOTE: REFER TO LANDSCAPING PLANS FOR PLANTING

SECTION A
PROPOSED SOUNDWALL
(NTS)

OFF-STREET PARKING (ALLEY'S, PARKING LOTS/STRUCTURES)

PARALLEL STALL: 8.5' X 20' MIN
PARALLEL DRIVE ISLE: 24' MIN
PERPENDICULAR STALL: 8.5' X 18' MIN (16' + 2' OVERHANG)
PERPENDICULAR DRIVE ISLE: 24' MIN

- PARALLEL STALL: 9.5' MIN WIDTH NEXT TO OBSTRUCTION ON ONE SIDE
- PARALLEL STALL: 10.5' MIN WIDTH NEXT TO OBSTRUCTION ON TWO SIDES
- PARALLEL STALL: 22' MIN. LENGTH NEXT TO OBSTRUCTION

ON-STREET PARKING ('A' STREET, 'C2' STREET, NEIGHBORHOOD STREET, 'R2' 1ST STREET, 'R2' 2ND STREET, 'R2' 3RD STREET, 'R2' 4TH STREET)

PARALLEL STALL: 8' X 20' MIN
45' DIAGONAL STALL: 8.5' X 18.7' MIN (17.3' + 1.4' OVERHANG)
PERPENDICULAR STALL: 8.5' X 18' MIN (16' + 2' OVERHANG)

NOTE:

- ACCESSIBLE STALLS PER ADA REQUIREMENTS
- ALL STRIPING TO COMPLY WITH TOWN STANDARDS 261-266

NORTH FORTY

LOS GATOS, CA

Phase I
Dimensional Site Plan

P:\19756\PLAN\NEW\PLANS\13\STEP\HORIZONTAL\CONTROLLING
Jacquelyn Boys
03-17-2016
8:39am

GROSVENOR

EDEN HOUSING

SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION

MACKAY & SOMPS
ENGINEERS PLANNERS SURVEYORS

19756

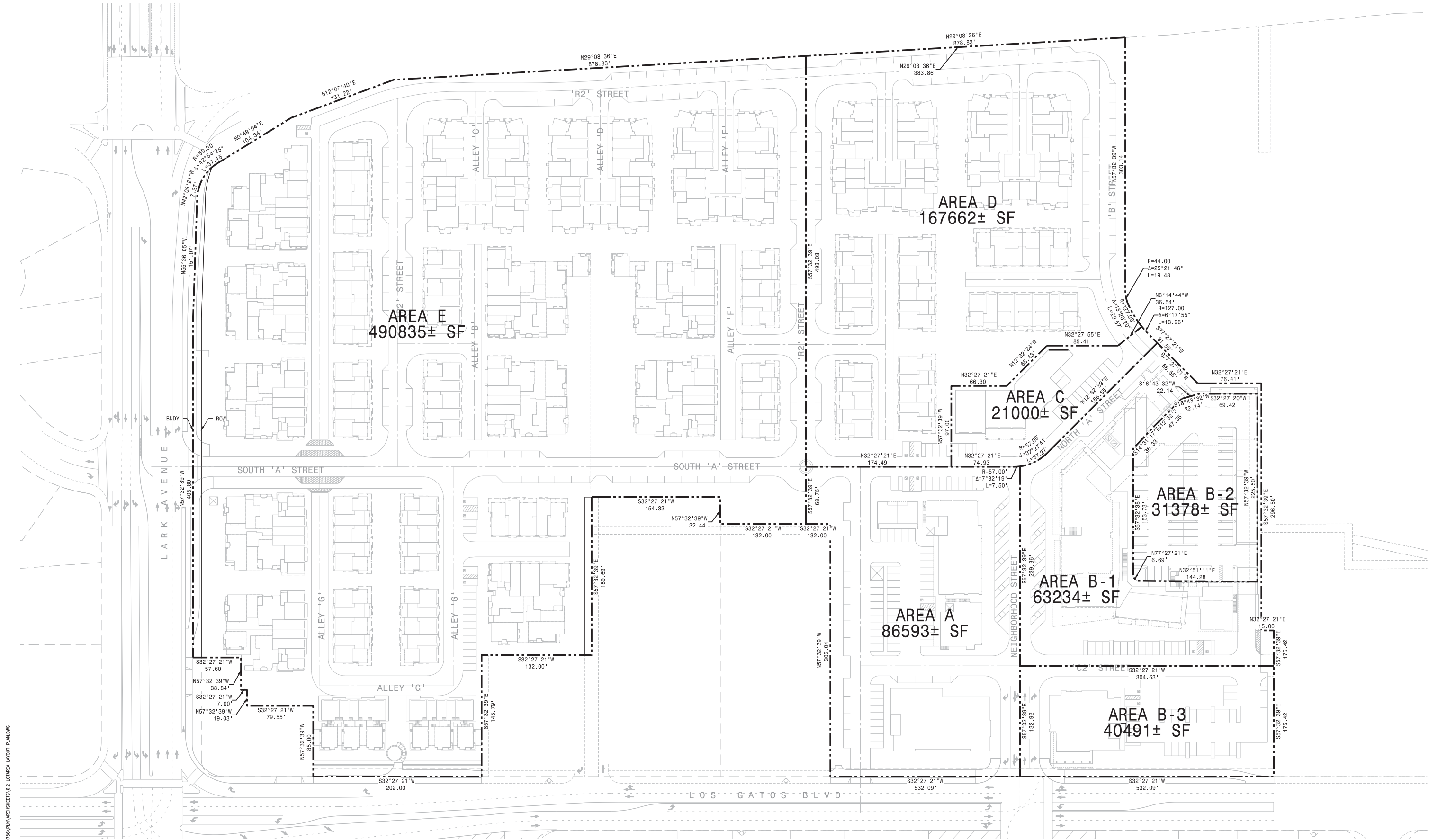
03.18.2016

0 25 50 100
SCALE: 1"=50'



6.1

03-17-2016 8:39am jacquelyn_bays P:\19756\PLAN\ARCS\SHEETS\4.2 LOTAREA LAYOUT PLAN.DWG



NORTH FORTY

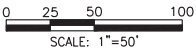
LOS GATOS, CA

Phase I
Lot Area Layout Plan

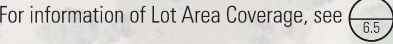


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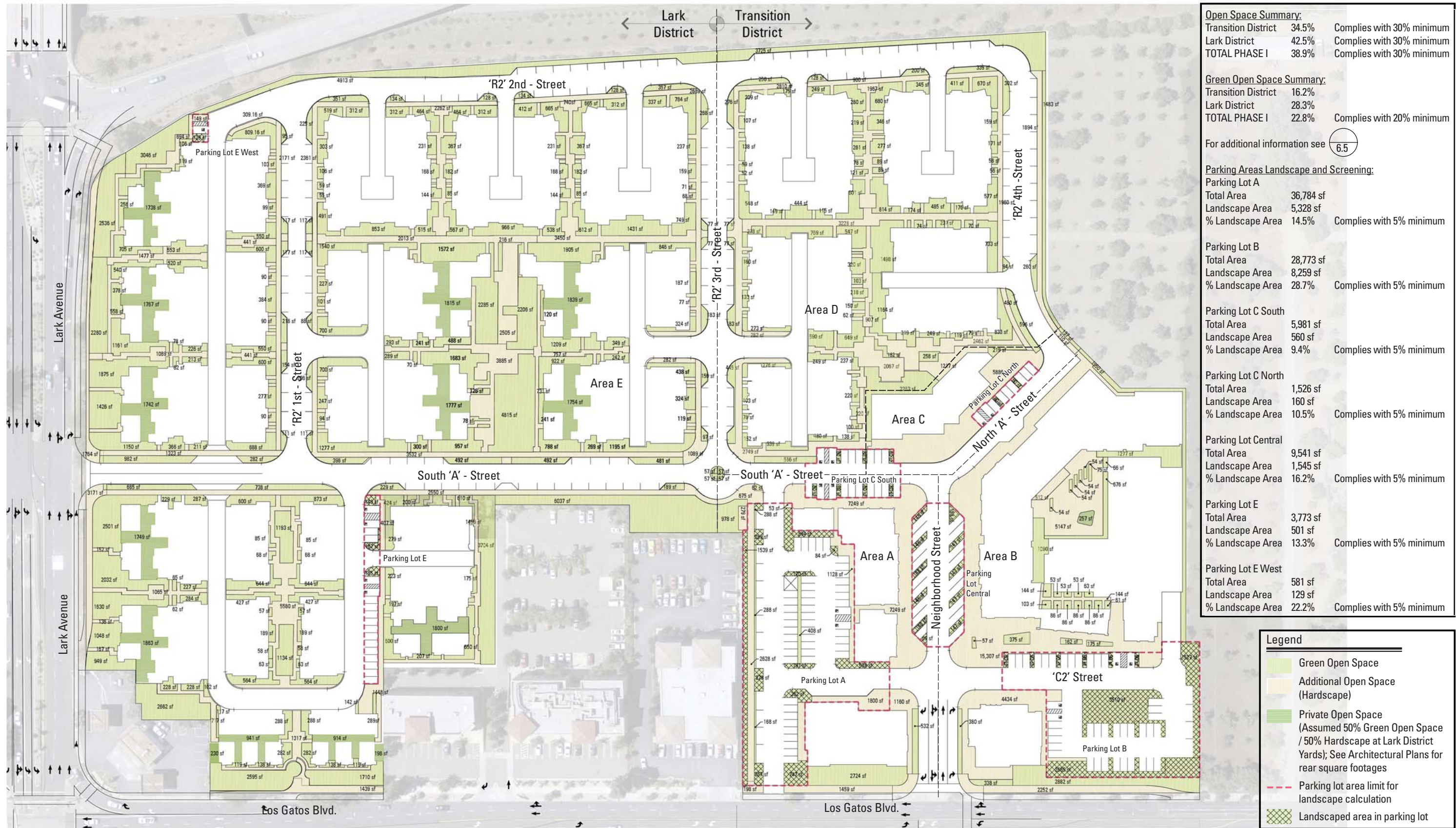


6.2



LOS GATOS, CA

Phase I



NORTH FORTY

LOS GATOS, CA

Phase I
Open Space Diagram

[FILE NAME: Z:\09200 LOS GATOS NORTH FORTY\09 DRAWINGS\40 CAD\CURRENT\DOT FILES\GROSS\PHOTO\COVERAGE\OPENSPACE TABS.DWG] [TAB: 382X1.RVT] [Month 17 - Thursday 2016 - 12:00pm] [Plotted by: AJONES] [Pen Setting: Full RGB] [XREF FILE NAME: \XREF\PEEL_XREFS\PEEL01.dwg]

SITE TABULATIONS - PHASE I																			2/8/2016	
		LOT AREA COVERAGE				REQ'D OPEN SPACE		OPEN SPACE PROVIDED									GREEN OPEN SPACE PROVIDED			
	Notes: see below	1	2	3	4	8	9	10	11	12	12a	13	14	15	16	17	18	19	20	21
		Lot Area (SF)	Lot Area (Acres)	Lot Coverage (SF)	Lot Area Coverage (%)	Total Open Space Required (%)	Total Green Open Space Required (%)	Private Residential Open Space (Yards) at Grade (SF)	Common or Public Open Space At Grade (SF)	Private Residential Open Space Over Podium Parking or Roof Decks (SF)	Private Residential Open Space on Balcony or Deck (SF)	Common Residential Open Space Over Podium Parking or Roof Decks (SF)	Total Open Space (SF)	Open Space (%)	Number of Dwelling Units	Common or Public Open Space Per Unit (SF)	Private Residential Green Open Space (SF)	Common or Public Green Open Space (SF)	Total Green Open Space (SF)	Green Open Space (%)
		43,560	SF per acre			30%	20%													
TRANSITION DISTRICT																				
Area A	Mixed-Use	86,593	1.99	19,231	22.2%	30.0%	20.0%	194	28,264	n/a	640	n/a	29,098	33.6%	10	2,826	0	11,636	11,636	13.4%
Area B	Mixed-Use & Senior Affordable Residential	135,103	3.10	64,217	47.5%	30.0%	20.0%	n/a	37,122	n/a	n/a	10,992	48,114	35.6%	50	962	0	19,998	19,998	14.8%
Area C	Restaurant	21,000	0.48	7,182	34.2%	n/a	n/a	n/a	7,125	n/a	n/a	n/a	n/a	n/a	0	n/a	0	1,029	1,029	4.9%
Area D	Residential	167,662	3.85	48,284	28.8%	30.0%	20.0%	0	66,535		5,600	n/a	72,135	43.0%	67	993	0	33,728	33,728	20.1%
TRANSITION DISTRICT SUBTOTAL		410,358	9.42	138,914	33.9%	30.0%	20.0%	194	139,046	0	6,240	10,992	149,347	36.4%	127	with 100 SF min. at condo or 200 SF min. at non-condo	0	66,391	66,391	16.2%
					complies with 50% max.									complies with 30% min.						
LARK DISTRICT																				
Area E	Residential	490,835	11.27	144,247	29.4%	30.0%	20.0%	20,363	173,050	n/a	15,275	n/a	208,688	42.5%	193	897	10,182	128,450	138,632	28.2%
					complies with 50% max.									complies with 30% min.		complies with 200 SF min. at non-condo				complies with 20% min.
PHASE I TOTAL		901,193	20.69	283,161	31.4%	30.1%	20.1%	20,363	312,096	0	21,515	10,992	358,035	39.7%	320		10,182	194,841	205,023	22.8%
					complies with 50% max.									complies with 30% min.	complies with the 364 max. per State Density Bonus					complies with 20% min.

Notes:

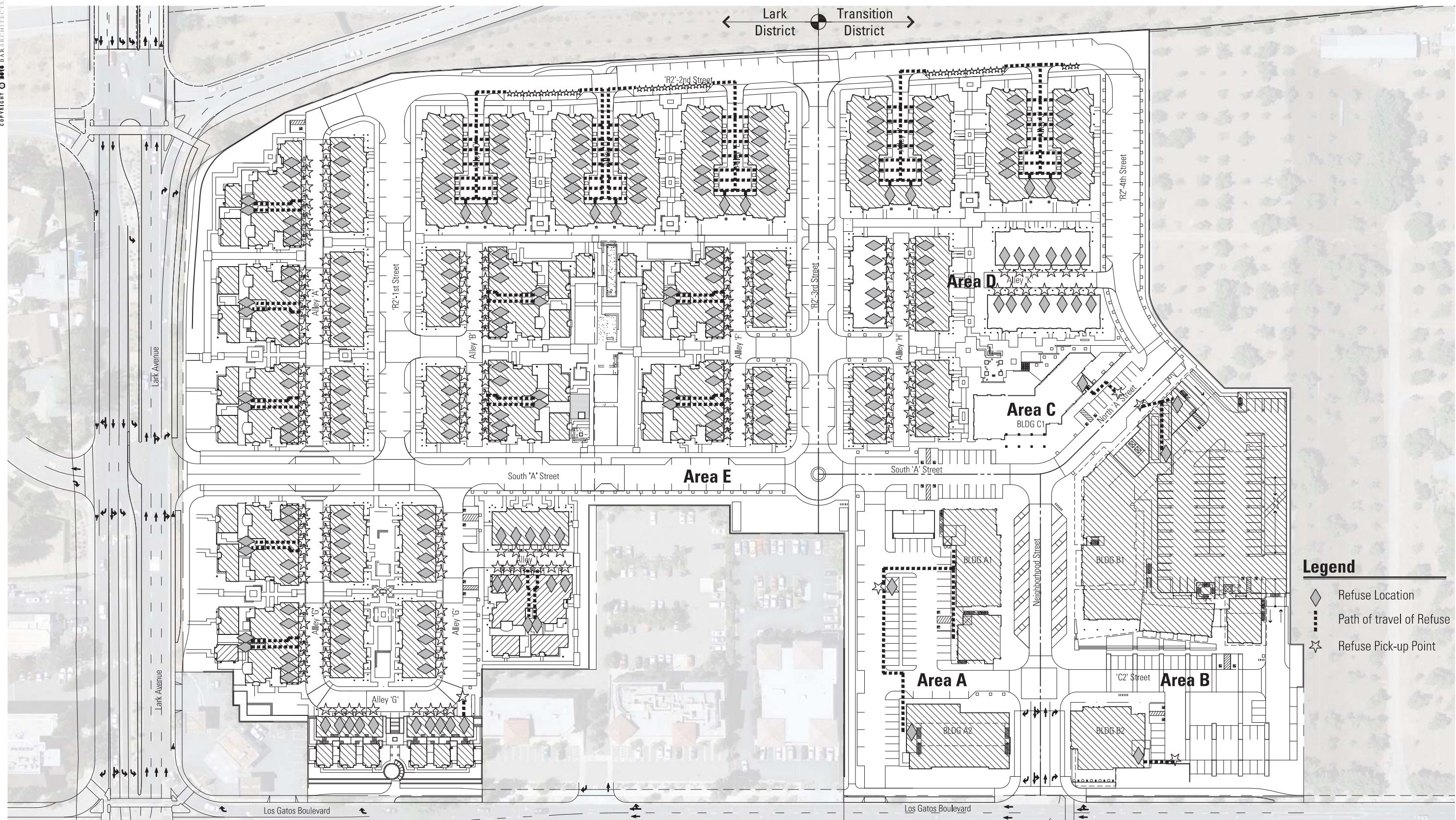
- 1, 2
- Boundaries shown on plans
- 3
- "Lot Coverage" per definition in Specific Plan Glossary = area of building footprint; gardens or plazas on top of podium parking that are a maximum of 6 feet above average finished grade will not count towards Lot Coverage; projection of balconies above are not included in calculation of coverage; covered p
- are not included in calculation of coverage, provided said patio is not more than 50% enclosed
- 4
- Item 3 divided by item 1; 50% maximum allowed
- 5
- Per Specific Plan, additional Green Open Space is required when 35' height limit is exceeded, and shall be equal to 5% of the square footage of the building footprint that exceeds the 35' height limit
- 5*
- Per Specific Plan, affordable housing may exceed 35' height limit without having to provide additional Green Open Space
- 6
- Item 5 times 5%
- 7
- Item 6 divided by item 1
- 8
- Item 7 plus 30%
- 9
- Item 7 plus 20%
- 10, 12, 12a
- "Private Open Space" per definition in Specific Plan glossary = landscaped or hardscaped area at patio or balcony; is included in 30% Open Space requirement per Specific Plan; for additional information on Private Open Space per unit, see Transition District and Lark District Tabulations
- 10, 11, 12, 12a, 13
- "Open Space" per definition in Specific Plan Glossary = open and unobstructed from ground plane to sky; balconies and roof eaves may extend over the Open Space; includes both "Green Open Space" and "Hardscape"
- 14
- Sum of items 10 through 13
- 15
- Item 14 divided by item 1; per Specific Plan, a minimum of 30% Open Space shall be provided within each district
- 17
- Sum of items 11 and 13, divided by item 16; per Specific Plan common or public open space of 100 SF/unit minimum for residential condominiums, 200 SF/unit minimum for multi-family residential other than condominiums
- 18, 19
- "Green Open Space" per definition in Specific Plan Glossary
- 20
- Sum of items 18 and 19
- 21
- Item 20 divided by item 1

NORTH FORTY

LOS GATOS, CA

Phase I
Lot Area Coverage and Open SpaceTabulations

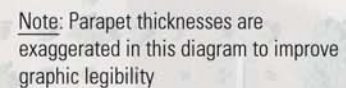




NORTH FORTY

LOS GATOS, CA


Phase I Refuse Circulation Diagram



Increased height of up to 45' is allowed in the Transition District since the project is an affordable housing development.


Additional height over 45' is requested for specific architectural and functional elements; see separate documentation.

35 = Maximum proposed building heights in feet, measured from finished grade (figure and color varies based on height)

 = Framed views of hillside
ridgelines

2-Story Massing Summary at Lark District:





2-Story Massing Provided 29%

Complies with 15% minimum required
For additional information see 

NORTH FORTY

LOS GATOS, CA

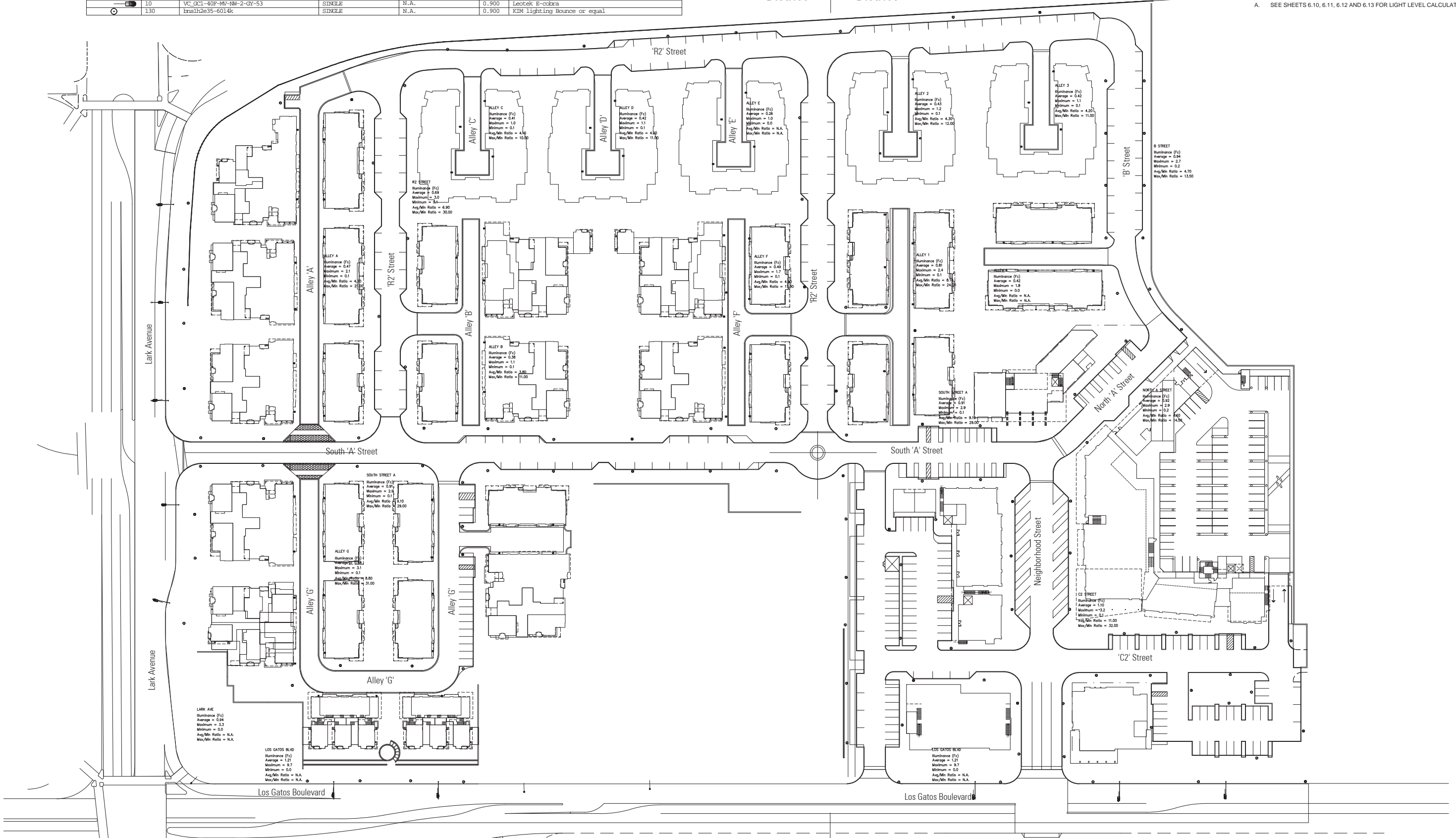
Phase I Maximum Proposed Building Heights Diagram

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF
	4	125_20S_R3_DG	SINGLE	22000	0.750
	78	LTL20551 (1)	SINGLE	N.A.	0.900
	10	V2_2C1-40P-WV-WM-2-GF-53	SINGLE	N.A.	0.900
	130	bnsh2e35-6014k	SINGLE	N.A.	0.900
				Description	
				Existing Cobrahead	
				Philips LPT LED WALL SOURCE or equal	
				Leotek B-cobra	
				KIM Lighting Bounce or equal	

← Lark District Transition District →

GENERAL SHEET NOTES





A. SEE SHEETS 6.10, 6.11, 6.12 AND 6.13 FOR LIGHT LEVEL CALCULATIONS.

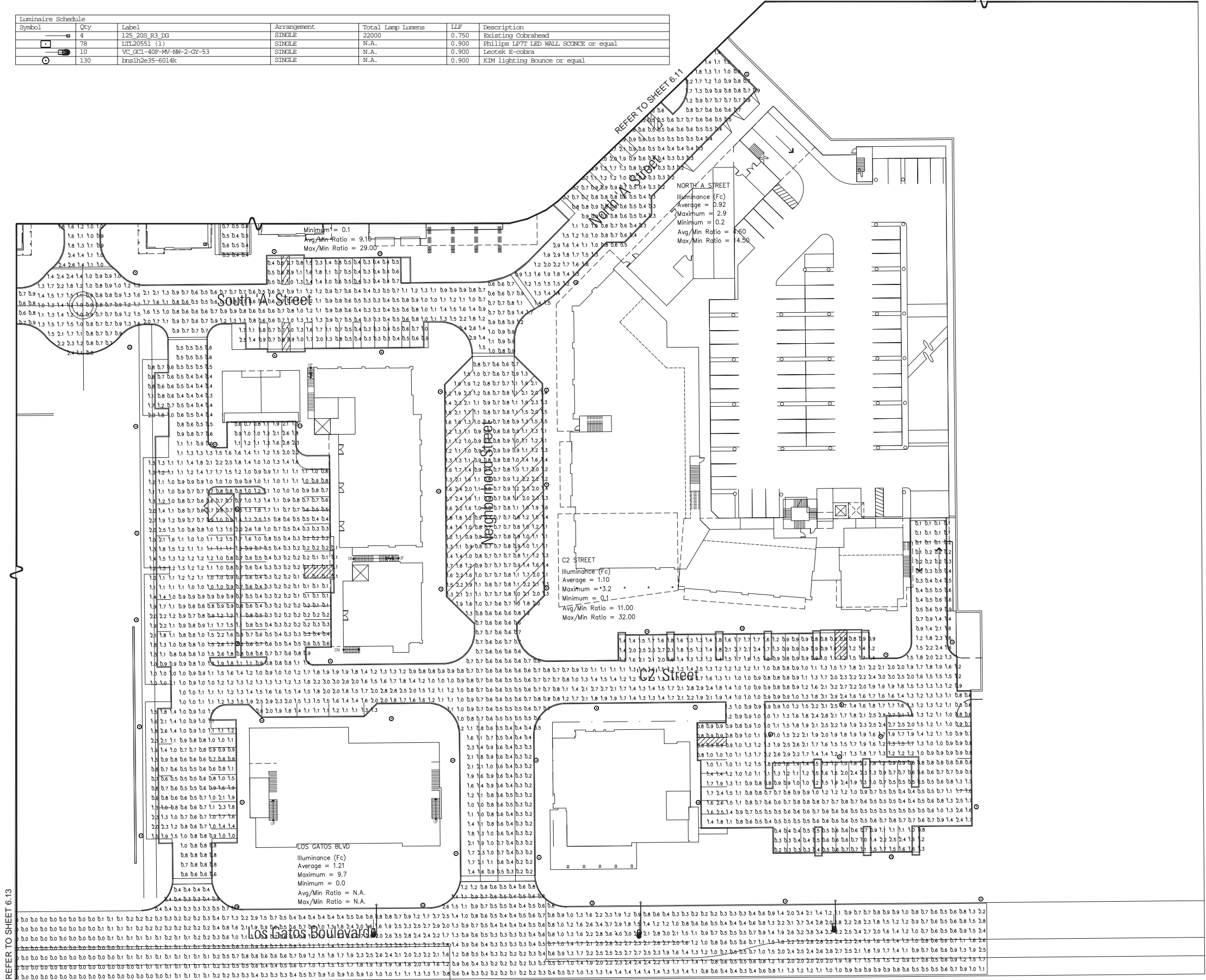


← Lark District Transition District →

NORTH FORTY | LOS GATOS, CA

PHASE I
OVERALL LIGHTING LAYOUT

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	4	125-208-R3-DG	SINGLE	22000	0.750	Existing Cobrahead
	78	LTL20551 (1)	SINGLE	N.A.	0.900	Philips LEFT LED WALL SCONCE or equal
	10	VC-GC1-40F-MW-2-GY-53	SINGLE	N.A.	0.900	Leotek E-cobra
	130	brslh2e35-6014k	SINGLE	N.A.	0.900	KIM lighting Bounce or equal

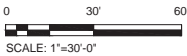


NORTH FORTY LOS GATOS, CA TRANSITION DISTRICT AREAS A AND B PHOTOMETRICS







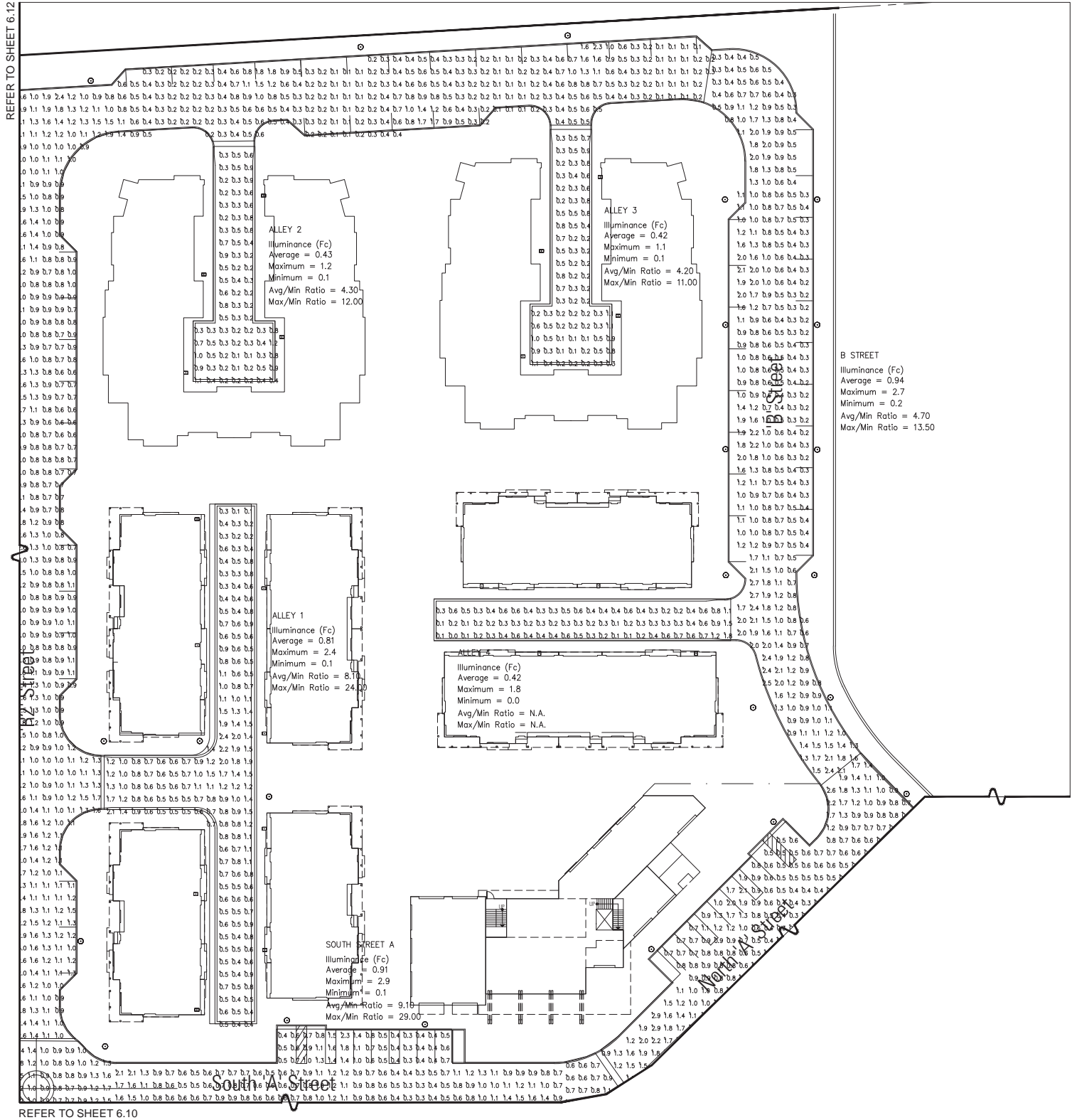
2014-0082

03/18/2016



6.10





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	4	125_20S_R3_DG	SINGLE	22000	0.750	Existing Cobrahead
	78	LTL20551 (1)	SINGLE	N.A.	0.900	Philips LFTT LED WALL SCONCE or equal
	10	VC_GCI-40F-MV-NM-2-GY-53	SINGLE	N.A.	0.900	Leotek E-cobra
	130	kns1h2e35-6014k	SINGLE	N.A.	0.900	KIM Lighting Bounce or equal



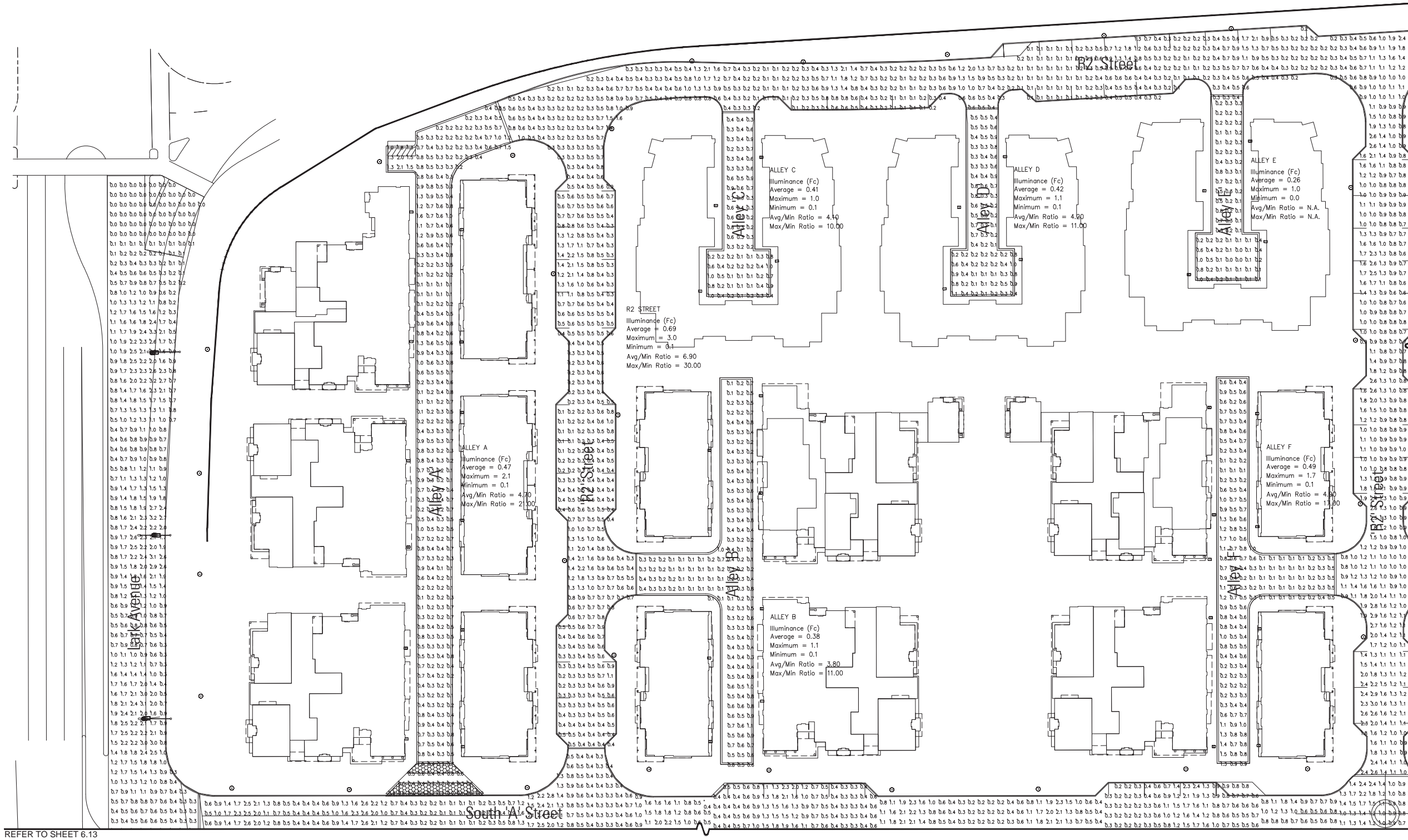
NORTH FORTY

LOS GATOS, CA

TRANSITION DISTRICT
AREA C PHOTOMETRICS

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF
	4	125_20S_R3_PG	SINGLE	22000	0.750
	78	LTL20551 (1)	SINGLE	N.A.	0.900
	10	VC_GCI-40F-MV-MW-2-GY-53	SINGLE	N.A.	0.900
	130	bsn1h2e35-6014k	SINGLE	N.A.	0.900

REFER TO SHEET 6.11



REFER TO SHEET 6.13

NORTH FORTY

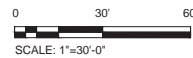
LOS GATOS, CA

LARK DISTRICT
WEST PHOTOMETRICS



2014-0082

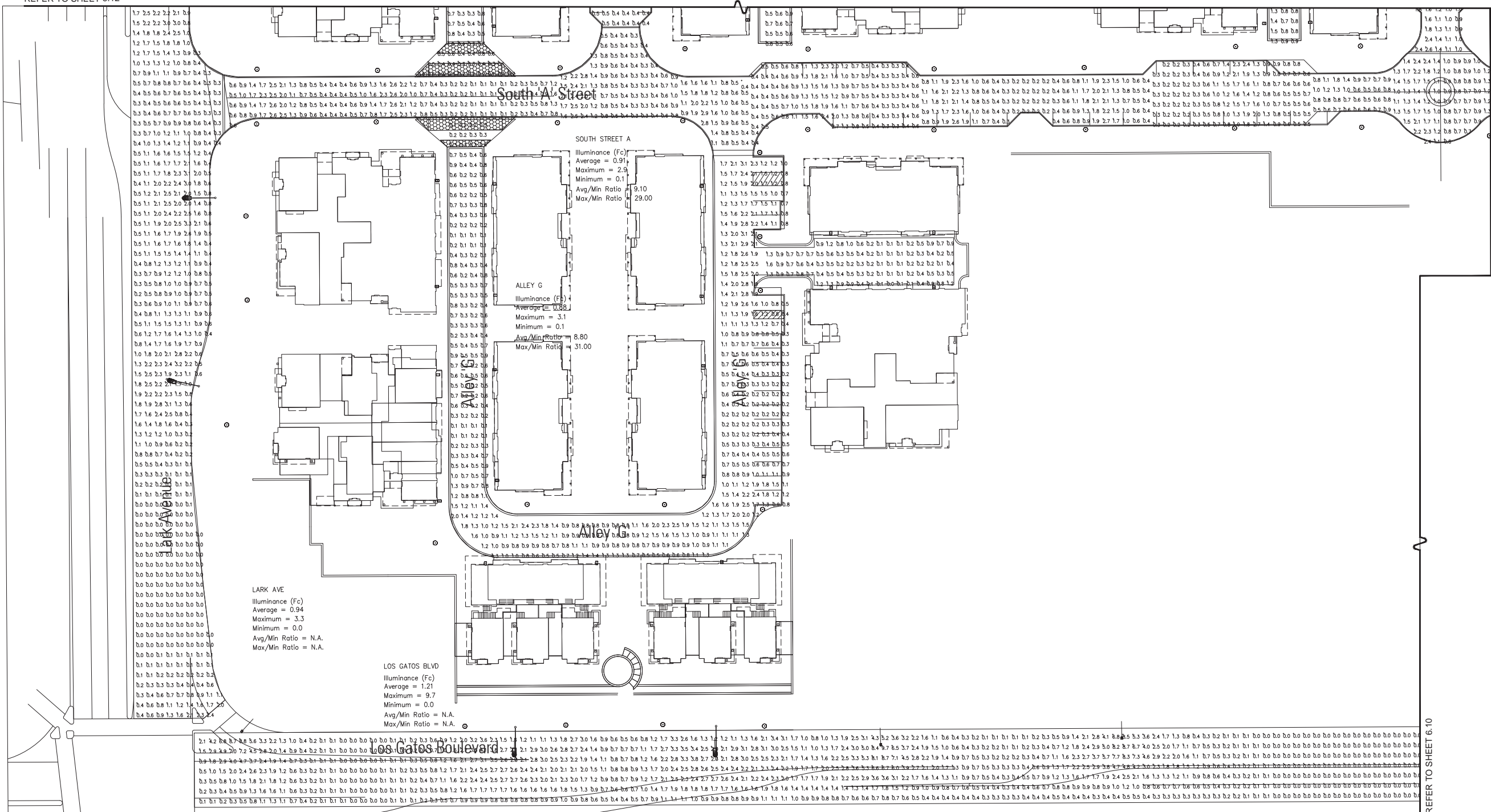
03/18/2016



6.12

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	4	125_208_R3_D0	SINGLE	22000	0.750	Existing Cobrahead
	78	171_205S1_11	SINGLE	N.A.	0.900	Philips LIT7 LED WALL SCONCE or equal
	10	VC_GCI-40F-WJ-W-2-GY-53	SINGLE	N.A.	0.900	Leotek E-cobra
	130	bns1h2e35-6014k	SINGLE	N.A.	0.900	KIM Lighting Bounce or equal

REFER TO SHEET 6.12



REFER TO SHEET 6.10

PLAN NOTES:

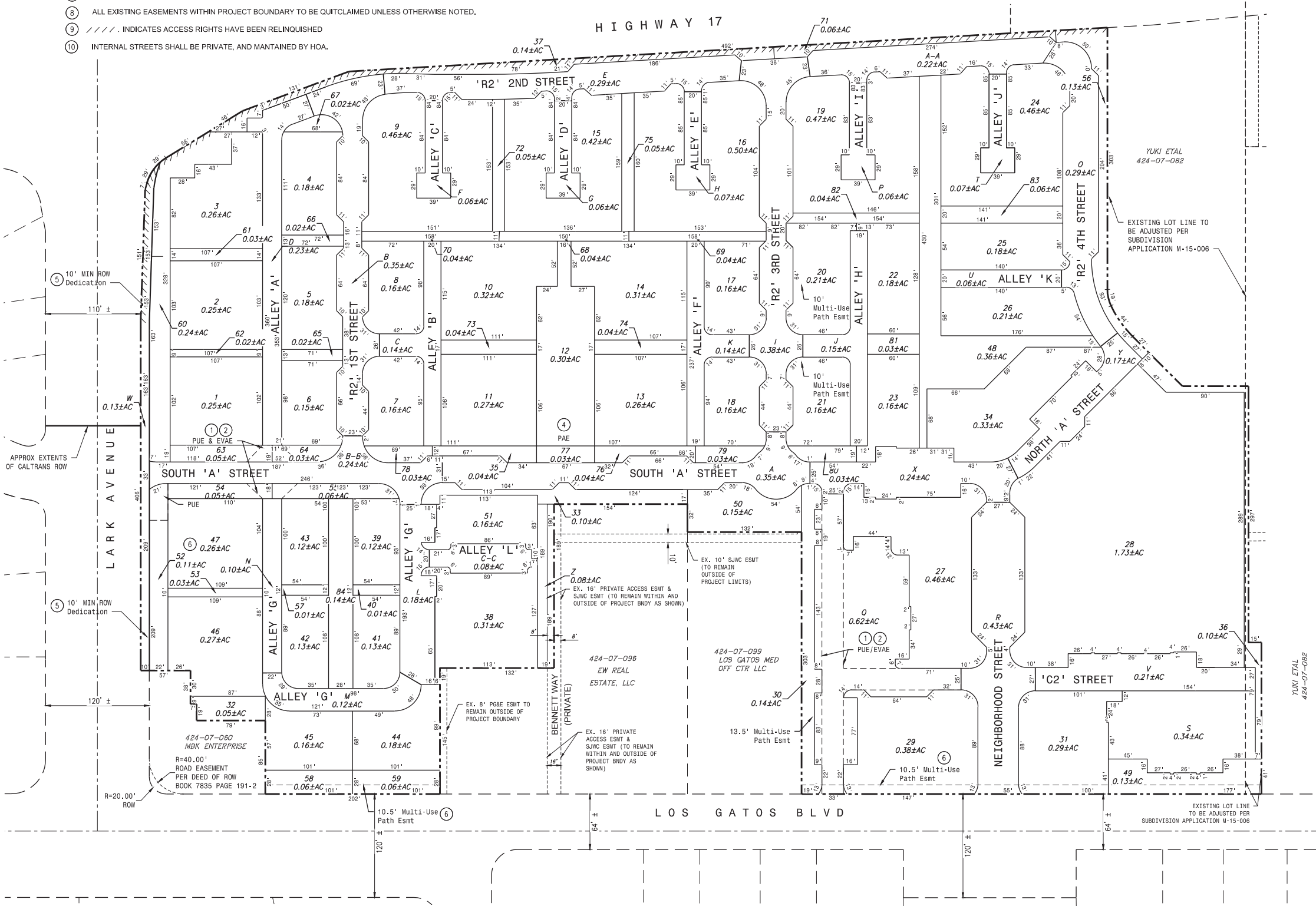
- 1. EMERGENCY VEHICLE ACCESS EASEMENTS (EVAE) SHALL BE DEDICATED OVER ALL PRIVATE STREETS AND ALLEYS, TYPICAL
- 2. PUBLIC UTILITY EASEMENTS (PUE) SHALL BE DEDICATED OVER ALL PRIVATE STREETS AND ALLEYS AND OTHER LOCATIONS IDENTIFIED ON THIS MAP.
- 3. PUBLIC ACCESS EASEMENT TO BE DEDICATED OVER STREETS, SIDEWALKS AND MULTI-USE PATHS.
- 4. PUBLIC ACCESS EASEMENT TO BE DEDICATED OVER CENTRAL PARK OPEN SPACE AREA, (PARCEL 12, 48, & 84)
- 5. 10' MIN WIDE STRIP OF LAND ALONG LARK AVE FRONTAGE SHALL BE DEDICATED TO TOWN OF LOS GATOS.
- 6. MULTI-USE PATH EASEMENT TO BE DEDICATED TO TOWN OF LOS GATOS ALONG LOS GATOS BLVD. AND LARK AVE. FRONTAGE
- 7. FUTURE PRIVATE YARD EASEMENTS NOT SHOWN ON THIS MAP
- 8. ALL EXISTING EASEMENTS WITHIN PROJECT BOUNDARY TO BE QUITCLAIMED UNLESS OTHERWISE NOTED.
- 9. - - - - - INDICATES ACCESS RIGHTS HAVE BEEN RELINQUISHED
- 10. INTERNAL STREETS SHALL BE PRIVATE, AND MAINTAINED BY HOA.

GENERAL NOTES:

- 1. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST FOOT.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	LOT LINE
---	---	CALTRANS NONACCESS ESMT



Parcel Area Table			
Parcel #	Area (ac.)	Designation	Unit Count
1	0.25	Residential	7
2	0.25	Residential	7
3	0.26	Residential	8
4	0.18	Residential	6
5	0.18	Residential	6
6	0.15	Residential	5
7	0.16	Residential	5
8	0.16	Residential	5
9	0.46	Residential	16
10	0.32	Residential	8
11	0.27	Residential	7
12	0.30	Park	N/A
13	0.26	Residential	7
14	0.31	Residential	8
15	0.42	Residential	16
16	0.50	Residential	16
17	0.16	Residential	5
18	0.16	Residential	5
20	0.21	Residential	6
21	0.16	Residential	5
22	0.18	Residential	6
25	0.18	Residential	6
26	0.21	Residential	7
27	0.46	Retail/Residential	10
28	1.73	Residential Over Retail & Parking	50
29	0.38	Retail	N/A
30	0.14	Open Space	N/A
31	0.29	Retail	N/A
32	0.05	Open Space	N/A
33	0.10	Open Space	N/A
34	0.33	Retail	N/A
35	0.04	Open space	N/A
36	0.10	Open space	N/A
37	0.14	Open Space	N/A
38	0.31	Residential	7
39	0.12	Residential	5
40	0.01	Open space	N/A
41	0.13	Residential	5
42	0.13	Residential	5
43	0.12	Residential	5
44	0.18	Residential	5
45	0.16	Residential	5
46	0.27	Residential	7
47	0.26	Residential	7
49	0.13	Open Space	N/A
50	0.15	Open space	N/A
51	0.16	Residential	5
52	0.11	Open Space	N/A
53	0.03	Open Space	N/A
54	0.05	Open Space	N/A
55	0.06	Open Space	N/A
56	0.13	Open space	N/A
57	0.01	Open space	N/A
58	0.06	Open Space	N/A
59	0.06	Open Space	N/A
60	0.24	Open Space	N/A
61	0.03	Open Space	N/A
62	0.02	Open Space	N/A
63	0.05	Open Space	N/A

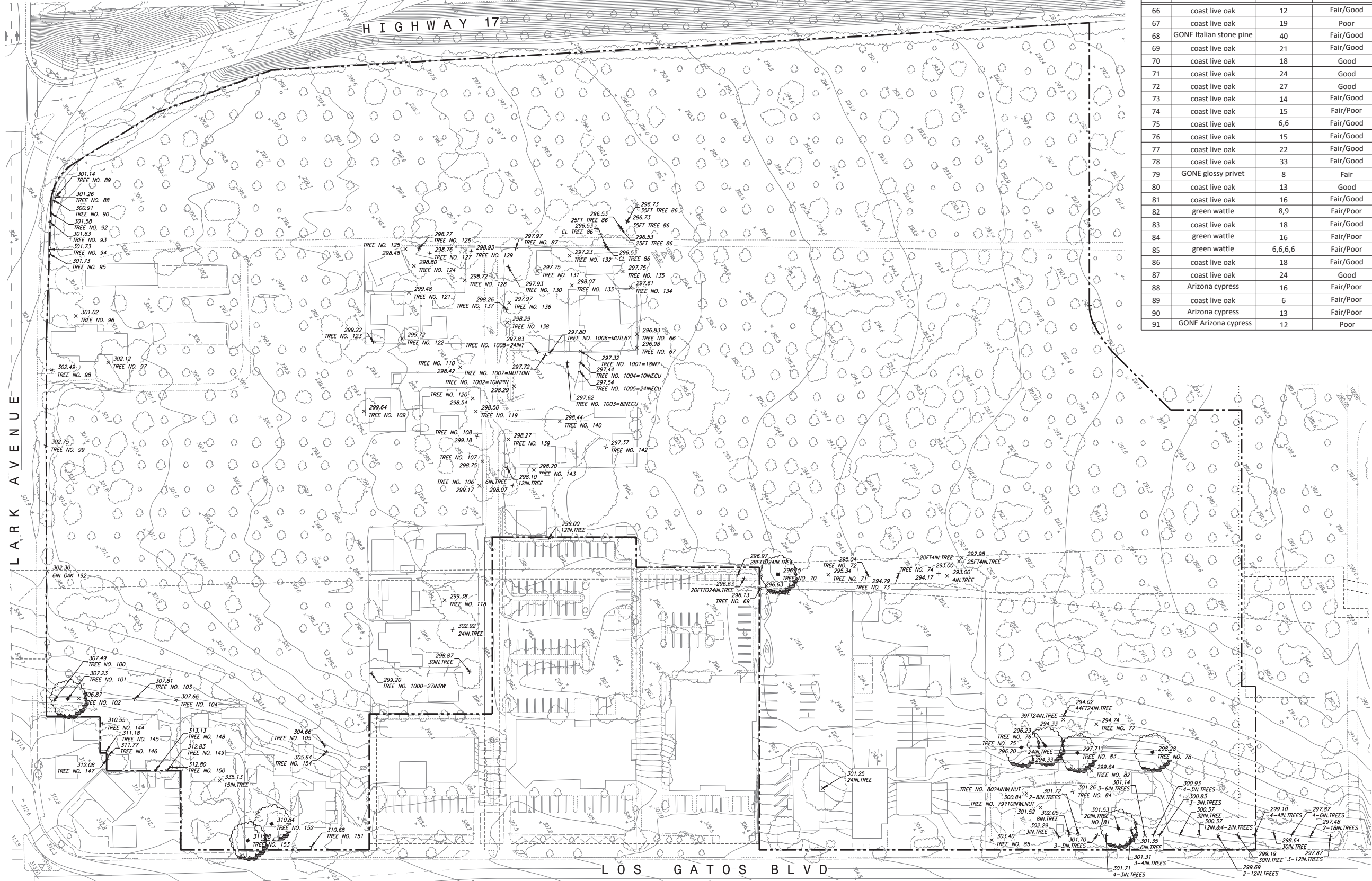
Parcel Area Table			
Parcel #	Area (ac.)	Designation	Unit Count
64	0.03	Open Space	N/A
65	0.02	Open Space	N/A
66	0.02	Open Space	N/A
67	0.02	Open Space	N/A
68	0.04	Open space	N/A
69	0.04	Open space	N/A
70	0.04	Open Space	N/A
71	0.06	Open space	N/A
72	0.05	Open space	N/A
73	0.04	Open Space	N/A
74	0.04	Open Space	N/A
75	0.05	Open space	N/A
76	0.04	Open Space	N/A
77	0.03	Open Space	N/A
78	0.03	Open Space	N/A
79	0.03	Open Space	N/A
80	0.03	Open Space	N/A
82	0.04	Open Space	N/A
83	0.06	Open Space	N/A
84	0.14	PARK	N/A
A	0.35	'A' St (Private)	N/A
A-A	0.22	'R2' St (Private)	N/A
B	0.35	'R2' St (Private)	N/A
B-B	0.24	'A' St (Private)	N/A
C	0.14	Alley (Private)	N/A
C-C	0.08	Alley (Private)	N/A
D	0.23	Alley (Private)	N/A
E	0.29	'R2' St (Private)	N/A
F	0.06	Alley (Private)	N/A
G	0.06	Alley (Private)	N/A
H	0.07	Alley (Private)	N/A
I	0.38	'R2' St (Private)	N/A
J	0.15	Alley (Private)	N/A
K	0.14	Alley (Private)	N/A
L	0.18	Alley (Private)	N/A
M	0.12	Alley (Private)	N/A
N	0.10	Alley (Private)	N/A
O	0.29	'R2' Street (Private)	N/A
P	0.06	Alley (Private)	N/A
Q	0.62	Parking Lot	N/A
R	0.43	Neighborhood St (Private)	N/A
S	0.34	Parking Lot	N/A
T	0.07	Alley (Private)	N/A
U	0.06	Alley (Private)	N/A
V	0.21	'C2' St (Private)	N/A
W	0.13	Right-of-way	N/A
X	0.24	'A' St (Private)	N/A
Y	0.17	'A' St (Private)	N/A
Z	0.08	Openspace/Alley	N/A

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LOS GATOS, CA

Phase I
Parcel Layout Plan

03-17-2016 8:40am Jacquelyn Bays P:\19756\ENV\ENV\ANSKETS\20PH1TREEDISPOSITION.DWG



Tree #	Common Name	Trunk Diameter at 3 ft.	Preservation Suitability
66	coast live oak	12	Fair/Good
67	coast live oak	19	Poor
68	GONE Italian stone pine	40	Fair/Good
69	coast live oak	21	Fair/Good
70	coast live oak	18	Good
71	coast live oak	24	Good
72	coast live oak	27	Good
73	coast live oak	14	Fair/Good
74	coast live oak	15	Fair/Poor
75	coast live oak	6,6	Fair/Good
76	coast live oak	15	Fair/Good
77	coast live oak	22	Fair/Good
78	coast live oak	33	Fair/Good
79	GONE glossy privet	8	Fair
80	coast live oak	13	Good
81	coast live oak	16	Fair/Good
82	green wattle	8,9	Fair/Poor
83	coast live oak	18	Fair/Good
84	green wattle	16	Fair/Poor
85	green wattle	6,6,6,6	Fair/Poor
86	coast live oak	18	Fair/Good
87	coast live oak	24	Good
88	Arizona cypress	16	Fair/Poor
89	coast live oak	6	Fair/Poor
90	Arizona cypress	13	Fair/Poor
91	GONE Arizona cypress	12	Poor

Tree #	Common Name	Trunk Diameter at 3 ft.	Preservation Suitability
92	Arizona cypress	12,5	Poor
93	coast live oak	14 (2)	Fair/Good
94	Arizona cypress	9	Fair/Good
95	Chinese elm	6	Fair/Good
96	coast live oak	15	Fair/Good
97*	Calif. pepper	51 (4)	Unacceptable
98	London plane	15	Fair/Good
99	Chinese elm	7,6,6	Fair/Poor
100	pistache (fruiting)	8,10	Fair
101	coast live oak	13	Fair/Good
102	coast live oak	16 (2,5)	Fair
103	coast live oak	33	Good
104	coast live oak	19	Good
105	coast live oak	20	Fair
106	Calif. pepper	29	Fair/Good
107	black acacia	6	Fair
108	Calif. pepper	40	Fair
109	coast live oak	20	Good
110	toyon	10,8	Fair/Good
118	incense cedar	25	Fair/Poor
119	fruitless mulberry	9 (4)	Fair
120	glossy privet	13	Fair
121	glossy privet	10	Fair
122	incense cedar	23	Good
123	coast live oak	15	Good
124	glossy privet	18*3-5	Fair/Poor
125	glossy privet	12,8,5*4	Fair/Poor
126	glossy privet	4,6,4*3,2	Fair/Poor
127	olive	18 (2,5)	Fair/Poor
128	green wattle	7,6,6,4,4	Fair
129	redwood	28	Fair/Poor
130	coast live oak	16	Good/Excellent
131	Calif. fan palm	19	Good
132	Calif. fan palm	23	Good
133	camphor	33	Fair/Poor
134	deodar cedar	26	Fair
135	black locust	23	Poor
136	coast live oak	15	Fair/Good
137	Calif. fan palm	13	Fair
138	Calif. fan palm	23	Good
139	chinaberry	19	Fair/Good
140	black walnut	19	Poor
141	GONE Monterey pine	0	Fair
142	black walnut	26	Poor
143	coast live oak	10	Fair/Good
144	Arizona cypress	9	Fair/Poor
145	Arizona cypress	8	Fair/Poor
146	Arizona cypress	12	Fair
147	Arizona cypress	8	Fair/Poor
148	Arizona cypress	4	Fair/Poor
149	Arizona cypress	7,6	Fair/Poor
150	Arizona cypress	6	Fair
151	deodar cedar	37	Fair
152	deodar cedar	19	Fair/Good
153	coast live oak	13,6	Fair/Good
154	GONE Calif. pepper	31	Fair/Good
180	blue gum	13	Poor
181	blue gum	9,9,8	Fair/Poor
182	coast live oak	18	Good
183	glossy privet	60*1-8	Fair/Poor
184	juniper	10	Fair
185	glossy privet	4,4,4,3,3	Fair/Good
186	glossy privet	9	Fair
187	bigleaf maple	19	Good
188	Crape myrtle	8,6,4,3,3,4,5,4	Fair
189	incense cedar	31	Good
190	glossy privet	8,6,4	Fair/Poor
191	coast live oak	8 (1,5)	Fair/Good
192	coast live oak	5	Good
193	Hollywood juniper	13	Fair/Poor
194	Hollywood juniper	16	Fair/Poor
195	coast live oak	18	Fair

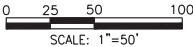
NORTH FORTY

LOS GATOS, CA



19756

03.18.2016



6.15

NOTES:

1. ARBORIST REPORT BY DEBORAH ELLIS, MS CONSULTING ARBORIST AND HORTICULTURIST DATED 10/14/20131. ALL TREES WILL BE REMOVED UNLESS NOTED OTHERWISE.
2. ALL TREES NOTED WITHOUT A TREE NUMBER WERE LOCATED BY MACKAY & SOMPS BUT NEED TO BE REVIEWED BY THE CITY ARBORIST.

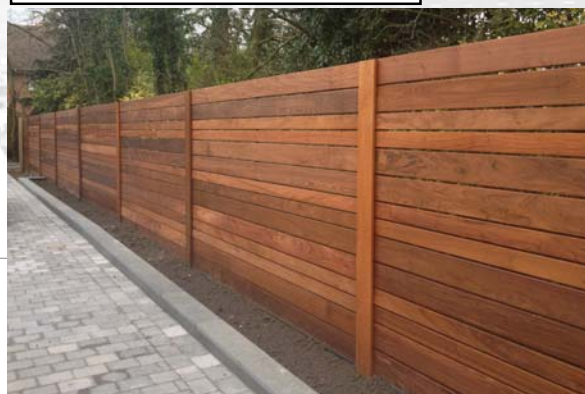
Blow up showing location of fences at Garden Clusters:



Type 1. Residential fences at Garden Clusters: Fences are wood only with horizontal slatting. No transparency in the first 4' and partial transparency from 4'-6' high.



Type 2. Property line fence at gas station and parking lot: Fence is a minimum of 6' high and opaque with fitted slats, which creates visual separation and screening.



Type 3. Property line fence at orchard and garden: Fence is similar to type 2, but with reclaimed or weathered wood.



Gates. Used around trash enclosure: Metal framing around wood with horizontal slatting.



Sound Wall. See sheets 6.17 and 6.18 for details



Type 5. Temporary fence at Phase II property line: Simple construction grade 6' high residential wood fence.



Type 4. Temporary fence at Phase II property line: Simple construction grade 6' high fence.



NORTH FORTY

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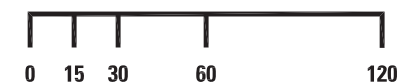
Lark and Transition District
Fence Locations and Typologies



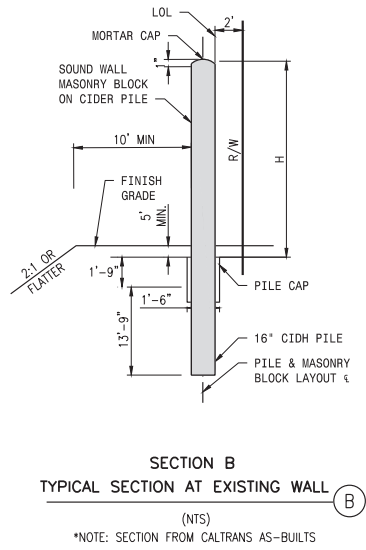
SWA San Francisco

GVES301

03.18.16



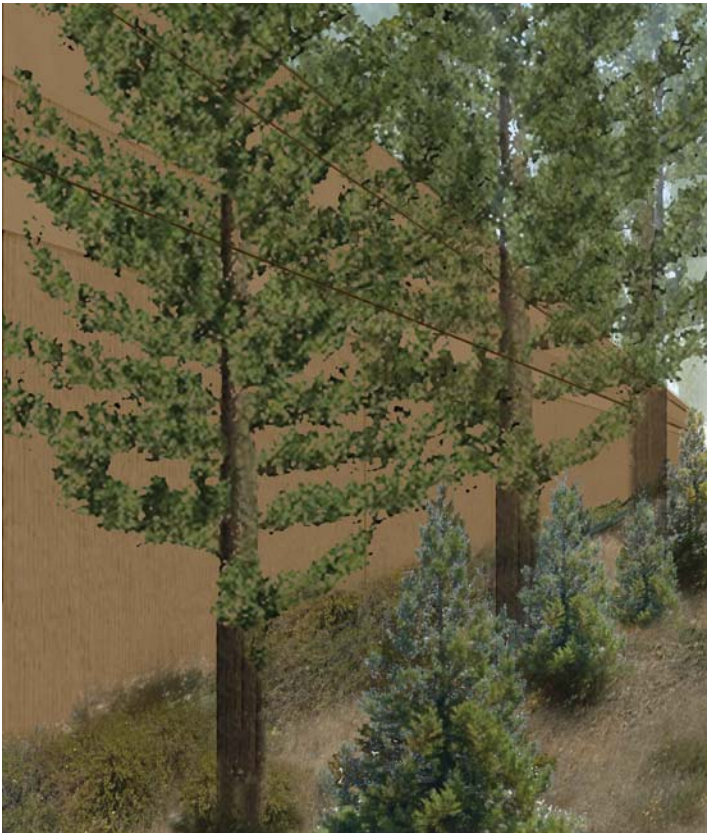
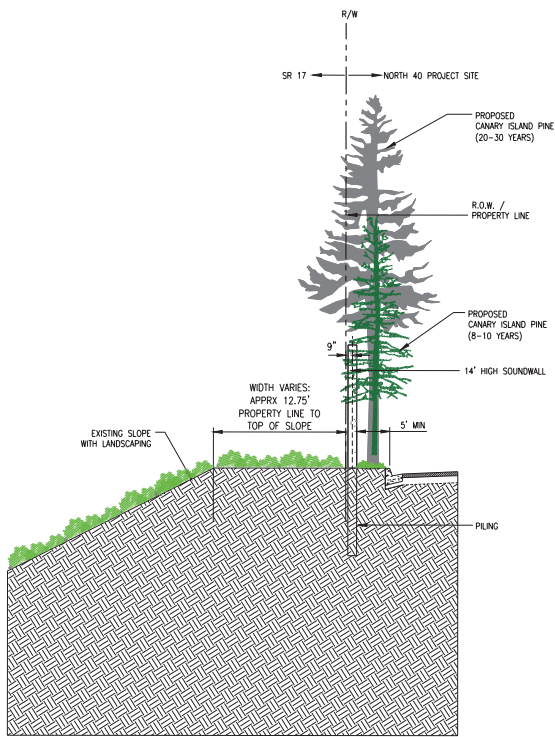
6.16



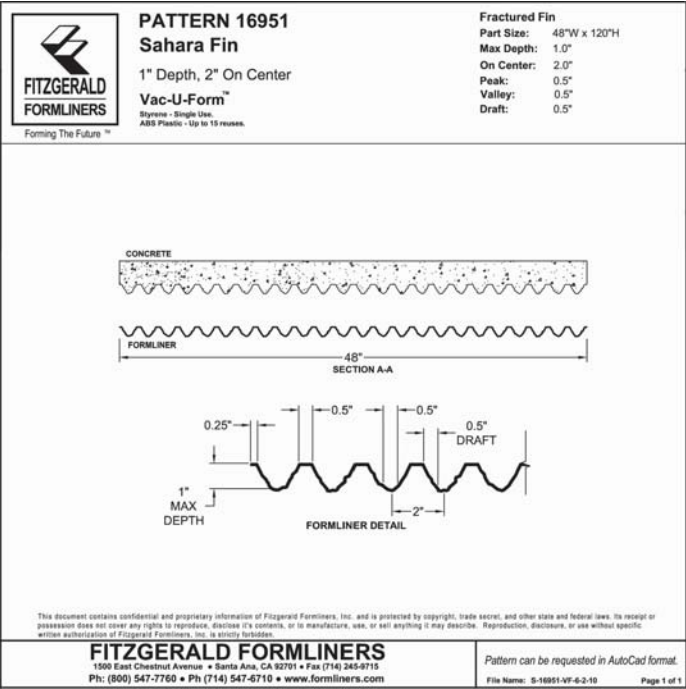
CANARY ISLAND PINE
CONTEXT



SOUNDWALL
PATTERN



SOUNDWALL
CONTEXT



SOUNDWALL
CUT SHEET

NORTH FORTY | LOS GATOS, CA

Phase I Soundwall Details and Sections

SHEET INDEX	
SHEET NO.	DESCRIPTION
1.0	PHASE I COVER SHEET
1.1	PHASE I PARCEL LAYOUT PLAN
1.2	PHASE I EXISTING CONDITIONS
1.3	PHASE I DIMENSIONAL SITE PLAN
1.4	PHASE I STREET CROSS SECTION LOCATIONS
1.5	PHASE I STREET CROSS SECTIONS / DETAILS
1.6	PHASE I PRELIMINARY GRADING PLAN
1.7	PHASE I PRELIMINARY GRADING PLAN
1.8	PHASE I PRELIMINARY GRADING PLAN
1.9	PHASE I PRELIMINARY GRADING PLAN
1.10	PHASE I PRELIMINARY GRADING PLAN
1.11	PHASE I PRELIMINARY GRADING PLAN
1.12	PHASE I PRELIMINARY GRADING PLAN
1.13	PHASE I PRELIMINARY GRADING PLAN
1.14	PHASE I PRELIMINARY GRADING PLAN DETAILS
1.15	PHASE I PRELIMINARY UTILITY PLAN
1.16	PHASE I PRELIMINARY UTILITY PLAN
1.17	PHASE I PRELIMINARY OFFSITE UTILITY PLAN
1.18	PHASE I STORMWATER MANAGEMENT CONCEPT PLAN
1.19	PHASE I STORMWATER MANAGEMENT CONCEPT PLAN DETAILS
1.20	PHASE I TREE DISPOSITION PLAN
1.21	PHASE I INTERIM EROSION CONTROL PLAN
1.22	PHASE I FIRE ACCESS EXHIBIT
1.23	PHASE I OFFSITE ROADWAY IMPROVEMENTS - LARK AVE
1.24	PHASE I OFFSITE ROADWAY IMPROVEMENTS - LOS GATOS BLVD
1.25	PHASE I PHASING PLAN
1.26	PHASE I ILLUSTRATIVE SITE PLAN

LEGEND		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	FACE OF CURB
---	---	BUILDING SETBACK LINE PER SPECIFIC PLAN
---	---	SIDEWALK/MULTIUSE PATH
---	---	TURF BLOCK OR OTHER ACCEPTABLE SURFACE PER SCCFD REFER TO LANDSCAPE PLAN
---	---	ROAD STRIPING
---	---	HANDICAP SPACE STRIPING
---	---	SANITARY SEWER & MANHOLE
---	---	STORM DRAIN & INLET
---	---	STORM MANHOLE
---	---	WATER LINE
---	---	WATER TRANSMISSION LINE
---	---	JOINT TRENCH (E=ELECTRIC, G=GAS, T=TELEPHONE, C=CABLE)
---	---	ELECTRIC TRANSFORMER
---	---	FIRE HYDRANT
---	---	EASEMENT LINE SEE CALL OUTS FOR TYPE
---	---	CALTRANS ACCESS PROHIBITED
---	---	EXISTING CONTOUR
---	---	EXISTING TREE/BRUSH
---	---	EXISTING SPOT ELEVATION
---	---	EXISTING TREE TO REMAIN
---	---	PROPOSED LIGHTING
---	---	AT-GRADE BIORETENTION AREA
---	---	TREE WELL FILTER/BELOW GRADE BIORETENTION (SILVA CELL)
---	---	DRAINAGE MANAGEMENT AREA
---	---	AT-GRADE BIORETENTION AREA OUTSIDE PROJECT BOUNDARY
---	---	TREATMENT AREA DESIGNATION WHEN TREATMENT IS LOCATED OUTSIDE THE DMA
---	---	INLET PROTECTION
---	---	STRAW WATTLES
---	---	TEMPORARY BARRIER FENCE
---	---	OVERLAND RELEASE
---	---	GRAVEL CONSTRUCTION ENTRANT/EXIT
---	---	DRAINAGE ROUTE
---	---	RETAINING OR BASEMENT WALLS PER HEIGHTS/GRADE SHOWN
---	---	SECTION PER LOCATIONS SHOWN

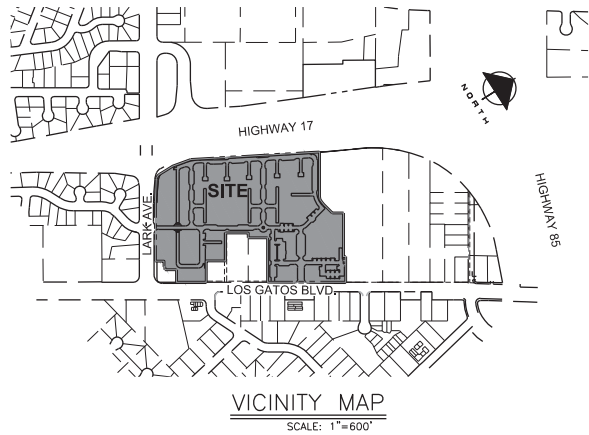
VESTING TENTATIVE MAP

FOR CONDOMINIUM PURPOSES

LOS GATOS NORTH 40 PHASE 1

113 LOTS• 320 RESIDENTIAL UNITS• 67,991 SF COMMERCIAL

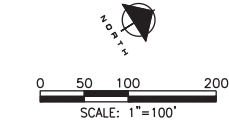
LOS GATOS, CALIFORNIA



BENCHMARK

A. 3 1/2" BRASS DISK STAMPED "TOWN OF LOS GATOS SURVEY CONTROL MONUMENT LG 12" AT THE END OF TERRENO DE FLORES, ELEVATION=298., BASED ON THE TOWN OF LOS GATOS VERTICAL DATUM.

B.3 1/2" BRASS DISK STAMPED "TOWN OF LOS GATOS SURVEY CONTROL MONUMENT LG 13" 220' ± NORTH OF LARK AVE, ON OKA LANE, ELEVATION = 268.9, BASED ON THE TOWN OF LOS GATOS VERTICAL DATUM



GENERAL NOTES:

1. PROPERTY OWNER:

YUKI ET AL
EZELL MARIANNE I TRUSTEE ET AL
ETPH LP
GROSVENOR USA LTD
HIRSCHMAN WILLIAM F
DODSON ELIZABETH K
FALES WILLIAM N

2. APPLICANT/DEVELOPER:

DEVELOPER: GROSVENOR
CONTACT: DON CAPOBRES
ONE CALIFORNIA ST. # 2500
SAN FRANCISCO, CA 94111
PHONE: (415) 710-7640
E: DON.CAPOBRES@GROSVENOR.COM

DEVELOPER: SUMMERHILL HOMES
CONTACT: WENDI BAKER
3000 EXECUTIVE PKWY, SUITE 450
SAN RAMON, CA 94583
PHONE: (925) 244-7534
E: WBAKER@SHOMES.COM

DEVELOPER: EDEN HOUSING, INC.
CONTACT: ANDREA OSGOOD
22645 GRAND ST.
HAYWARD, CA 94541
PHONE: (510) 247-8103
E: AOSGOOD@EDENHOUSING.ORG

DEVELOPER: LEXOR BUILDERS INC.
CONTACT: WILLIAM HIRSCHMAN
ELIZABETH DODSON
15055 LOS GATOS BLVD STE 310
LOS GATOS, CA 95032
PHONE: (408) 402-9877
E: WHIRSCHMAN@LEXORBUILD

3. CIVIL ENGINEER:

CONTACT: MACKAY & SOMPS CIVIL ENGINEERS, INC.
CHRIS RAGAN
5142 FRANKLIN DR., SUITE B
PLEASANTON, CA 94588
PHONE: (925) 225-0690
E: CRAGAN@MSCE.COM

4. ASSESSOR'S PARCEL NUMBER:

424-07-024, 424-07-025, 424-07-026,
424-07-027, 424-07-031, 424-07-032,
424-07-033, 424-07-034, 424-07-035,
424-07-036, 424-07-037, 424-07-070,
424-07-083, 424-07-084, 424-07-085,
424-07-086, 424-07-090, 424-07-100

5. EXISTING USE:

AGRICULTURAL/RESIDENTIAL/COMMERCIAL

6. PROPOSED USE:

RESIDENTIAL & NON RESIDENTIAL USES
PER NORTH 40 SPECIFIC PLAN

7. EXISTING ZONING:

NORTH 40 SPECIFIC PLAN

8. PROPOSED ZONING:

PER NORTH 40 SPECIFIC PLAN

9. SITE AREA:

20.69 ACRES ± (GROSS)
20.56 ACRES ± (NET) *EXCLUDES PUBLIC
STREETS AND RIGHT OF WAY DEDICATION

10. TOTAL NUMBER OF PROPOSED UNITS:

TOTAL NUMBER OF LOTS: 113
TOTAL RESIDENTIAL UNITS: 320
COMMERCIAL CONDO SPACE: 67,991± SF

11. WATER SUPPLY: SAN JOSE WATER COMPANY

12. SANITARY SEWER DISPOSAL: WEST VALLEY SANITARY DISTRICT

13. GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC

14. STORM DRAIN: TOWN OF LOS GATOS

15. TELEPHONE: SBC TELEPHONE COMPANY

16. CABLE: COMCAST

17. FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPARTMENT

18. AREA SUBJECT TO INUNDATION: NONE

19. ALL STREETS AND ALLEYS EXCEPT LOS GATOS BLVD. AND LARK AVE. TO BE PRIVATE & MAINTAINED BY HOA. STREETS AND ALLEYS TO BE DESIGNED PER NORTH 40 SPECIFIC PLAN AND TOWN STANDARDS OR AS OTHERWISE SHOWN ON THIS MAP. SPECIFIC PLAN TO PREVAIL WHEN DIFFERENT.

20. STORM WATER QUALITY IMPROVEMENTS AND HYDROMODIFICATION SHALL BE DESIGNED PER BAY AREA MUNICIPAL REGIONAL PERMIT AND SCVURPPP HANDBOOK.

21. ALL EXISTING STRUCTURES TO BE REMOVED.

22. ALL EXISTING SEPTIC SYSTEMS, LEACH FIELDS AND WATER WELLS TO BE ABANDONED PER COUNTY REQUIREMENTS.

23. ALL EXISTING OVERHEAD UTILITIES TO BE REMOVED OR UNDERGROUNDED.

24. EXISTING SAN JOSE WATER COMPANY TRANSMISSION PIPE TO BE RELOCATED PER SJWC REQUIREMENTS.

25. 10' MIN WIDE STRIP OF LAND TO BE DEDICATED TO TOWN OF LOS GATOS ALONG LARK AVE FRONTAGE.

26. MULTIPLE FINAL MAPS MAY BE FILED ON THE PROPERTY SHOWN ON THIS VESTING TENTATIVE MAP.

27. UTILITY IMPROVEMENTS SHALL BE OWNED & MAINTAINED BY THE FOLLOWING.

WATER: SAN JOSE WATER COMPANY

SEWER: PUBLIC AND PRIVATE SYSTEMS. PUBLIC PORTION BY WEST VALLEY SANITATION DISTRICT

STORM DRAIN: PUBLIC AND PRIVATE SYSTEMS, PUBLIC PORTION BY TOWN OF LOS GATOS

28. ROADWAY SIGNING & SIGNING:
- INTERIOR ROADS SHALL INCLUDE SIGNING & STRIPING PER THE SPECIFIC PLAN INCLUDING, BUT NOT LIMITED TO SHARROWS ON NEIGHBORHOOD STREET AND SOUTH 'A' STREET AND/OR AS OTHERWISE DIRECTED BY THE TOWN ENGINEER.
- LOS GATOS BLVD AND LARK AVE SHALL INCLUDE SIGNING & STRIPING PER THE SPECIFIC PLAN AND AS GENERALLY ILLUSTRATED ON SHEETS 1.23 & 1.24 OF THIS TENTATIVE MAP. IN ADDITION, STRIPING SHALL INCLUDE GREEN BIKE LANES AT CONFLICT POINTS AND BIKE BOXES AS DIRECTED BY THE TOWN ENGINEER.

29. PROPOSED OFFSITE LARK AVE IMPROVEMENTS AS SHOWN ON THIS TENTATIVE MAP ARE SUBJECT TO CALTRANS APPROVAL AND THEREFORE FINAL CONFIGURATION OF LARK AVE IMPROVEMENTS MAY VARY FROM WHAT IS ILLUSTRATED.

NORTH FORTY

LOS GATOS, CA

Phase I
Cover Sheet

PLAN NOTES:

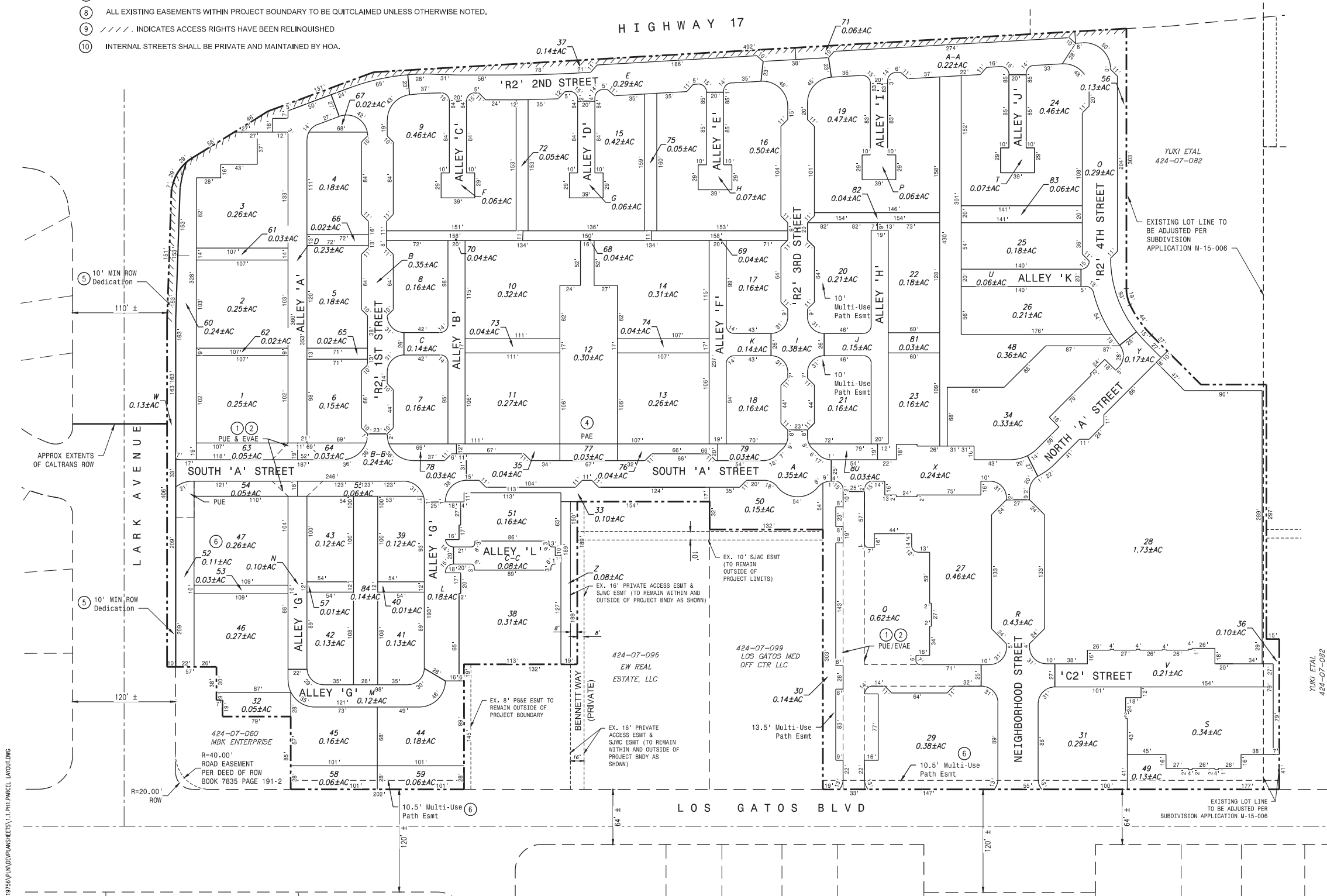
- EMERGENCY VEHICLE ACCESS EASEMENTS (EVAE) SHALL BE DEDICATED OVER ALL PRIVATE STREETS AND ALLEYS, TYPICAL
- PUBLIC UTILITY EASEMENTS (PUE) SHALL BE DEDICATED OVER ALL PRIVATE STREETS AND ALLEYS AND OTHER LOCATIONS IDENTIFIED ON THIS MAP.
- PUBLIC ACCESS EASEMENT TO BE DEDICATED OVER STREETS, SIDEWALKS AND MULTI-USE PATHS.
- PUBLIC ACCESS EASEMENT TO BE DEDICATED OVER PARK/OPEN SPACE AREA, (PARCEL 12, 48, & 84)
- 10' MIN WIDE STRIP OF LAND ALONG LARK AVE FRONTAGE SHALL BE DEDICATED TO TOWN OF LOS GATOS.
- MULTI-USE PATH EASEMENT TO BE DEDICATED TO TOWN OF LOS GATOS ALONG LOS GATOS BLVD.
- PRIVATE YARD EASEMENTS NOT SHOWN ON THIS MAP
- ALL EXISTING EASEMENTS WITHIN PROJECT BOUNDARY TO BE QUITCLAIMED UNLESS OTHERWISE NOTED.
- INDICATES ACCESS RIGHTS HAVE BEEN RELINQUISHED
- INTERNAL STREETS SHALL BE PRIVATE AND MAINTAINED BY HOA.

GENERAL NOTES:

- ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST FOOT.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	LOT LINE
---	---	CALTRANS ACCESS PROHIBITED



Parcel Area Table			
Parcel #	Area (ac.)	Designation	Unit Count
1	0.25	Residential	7
2	0.25	Residential	7
3	0.26	Residential	8
4	0.18	Residential	6
5	0.18	Residential	6
6	0.15	Residential	5
7	0.16	Residential	5
8	0.16	Residential	5
9	0.46	Residential	16
10	0.32	Residential	8
11	0.27	Residential	7
12	0.30	Park	N/A
13	0.26	Residential	7
14	0.31	Residential	8
15	0.42	Residential	16
16	0.50	Residential	16
17	0.16	Residential	5
18	0.16	Residential	5
20	0.21	Residential	6
21	0.16	Residential	5
22	0.18	Residential	6
25	0.18	Residential	6
26	0.21	Residential	7
27	0.46	Retail/Residential	10
28	1.73	Residential Over Retail & Parking	50
29	0.38	Retail	N/A
30	0.14	Open Space	N/A
31	0.29	Retail	N/A
32	0.05	Open Space	N/A
33	0.10	Open Space	N/A
34	0.33	Retail	N/A
35	0.04	Open space	N/A
36	0.10	Open space	N/A
37	0.14	Open Space	N/A
38	0.31	Residential	7
39	0.12	Residential	5
40	0.01	Open space	N/A
41	0.13	Residential	5
42	0.13	Residential	5
43	0.12	Residential	5
44	0.18	Residential	5
45	0.16	Residential	5
46	0.27	Residential	7
47	0.26	Residential	7
49	0.13	Open Space	N/A
50	0.15	Open space	N/A
51	0.16	Residential	5
52	0.11	Open Space	N/A
53	0.03	Open Space	N/A
54	0.05	Open Space	N/A
55	0.06	Open Space	N/A
56	0.13	Open space	N/A
57	0.01	Open space	N/A
58	0.06	Open Space	N/A
59	0.06	Open Space	N/A
60	0.24	Open Space	N/A
61	0.03	Open Space	N/A
62	0.02	Open Space	N/A
63	0.05	Open Space	N/A

Parcel Area Table			
Parcel #	Area (ac.)	Designation	Unit Count
64	0.03	Open Space	N/A
65	0.02	Open Space	N/A
66	0.02	Open Space	N/A
67	0.02	Open Space	N/A
68	0.04	Open space	N/A
69	0.04	Open space	N/A
70	0.04	Open Space	N/A
71	0.06	Open space	N/A
72	0.05	Open space	N/A
73	0.04	Open Space	N/A
74	0.04	Open Space	N/A
75	0.05	Open space	N/A
76	0.04	Open Space	N/A
77	0.03	Open Space	N/A
78	0.03	Open Space	N/A
79	0.03	Open Space	N/A
80	0.03	Open Space	N/A
82	0.04	Open Space	N/A
83	0.06	Open Space	N/A
84	0.14	PARK	N/A
A	0.35	'A' St (Private)	N/A
A-A	0.22	'R2' St (Private)	N/A
B	0.35	'R2' St (Private)	N/A
B-B	0.24	'A' St (Private)	N/A
C	0.14	Alley (Private)	N/A
C-C	0.08	Alley (Private)	N/A
D	0.23	Alley (Private)	N/A
E	0.29	'R2' St (Private)	N/A
F	0.06	Alley (Private)	N/A
G	0.06	Alley (Private)	N/A
H	0.07	Alley (Private)	N/A
I	0.38	'R2' St (Private)	N/A
J	0.15	Alley (Private)	N/A
K	0.14	Alley (Private)	N/A
L	0.18	Alley (Private)	N/A
M	0.12	Alley (Private)	N/A
N	0.10	Alley (Private)	N/A
O	0.29	'R2' Street (Private)	N/A
P	0.06	Alley (Private)	N/A
Q	0.62	Parking Lot	N/A
R	0.43	Neighborhood St (Private)	N/A
S	0.34	Parking Lot	N/A
T	0.07	Alley (Private)	N/A
U	0.06	Alley (Private)	N/A
V	0.21	'C2' St (Private)	N/A
W	0.13	Right-of-way	N/A
X	0.24	'A' St (Private)	N/A
Y	0.17	'A' St (Private)	N/A
Z	0.08	Openspace/Alley	N/A

NORTH FORTY

LOS GATOS, CA

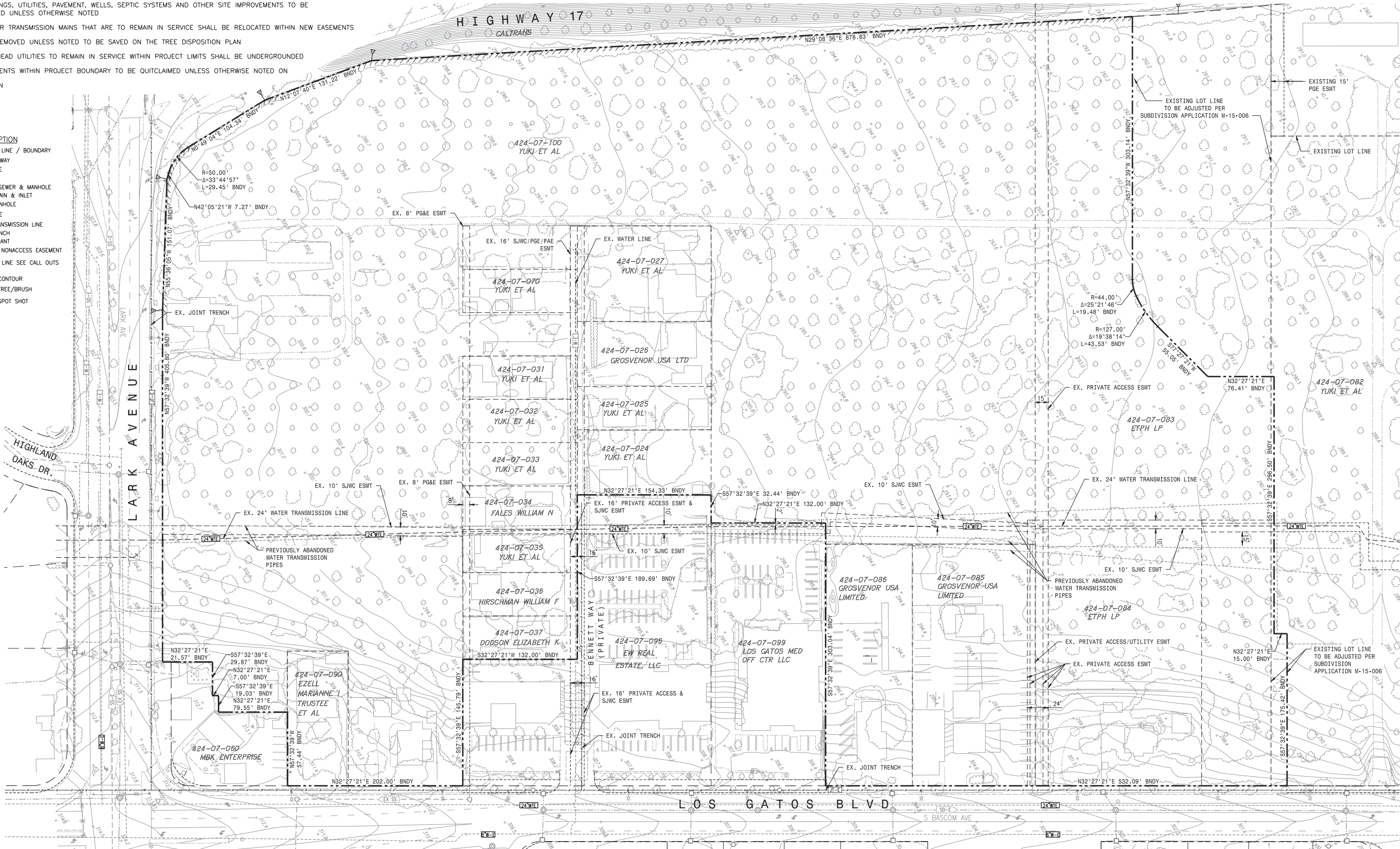
Phase I
Parcel Layout Plan

- NOTES:
- 1 ALL EXISTING BUILDINGS, UTILITIES, PAVEMENT, WELLS, SEPTIC SYSTEMS AND OTHER SITE IMPROVEMENTS TO BE REMOVED/DEMOLISHED UNLESS OTHERWISE NOTED
 - 2 EXISTING SJWC WATER TRANSMISSION MAINS THAT ARE TO REMAIN IN SERVICE SHALL BE RELOCATED WITHIN NEW EASEMENTS
 - 3 ALL TREES TO BE REMOVED UNLESS NOTED TO BE SAVED ON THE TREE DISPOSITION PLAN
 - 4 ANY EXISTING OVERHEAD UTILITIES TO REMAIN IN SERVICE WITHIN PROJECT LIMITS SHALL BE UNDERGROUNDED
 - 5 ALL EXISTING EASEMENTS WITHIN PROJECT BOUNDARY TO BE QUITCLAIMED UNLESS OTHERWISE NOTED ON

PARCEL LAYOUT PLAN

LEGEND

DESCRIPTION	
PROPERTY LINE / BOUNDARY	---
RIGHT OF WAY	---
CENTERLINE	---
SANITARY SEWER & MANHOLE	---
STORM DRAIN & INLET	---
STORM MANHOLE	---
WATER LINE	---
WATER TRANSMISSION LINE	---
JOINT TRENCH	---
FIRE HYDRANT	---
CALTRANS NONACCESS EASEMENT	---
EASEMENT LINE SEE CALL OUTS FOR TYPE	---
EXISTING CONTOUR	---
EXISTING TREE/BRUSH	---
EXISTING SPOT SHOT	---



NORTH FORTY

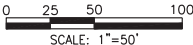
LOS GATOS, CA

Phase I
Existing Conditions



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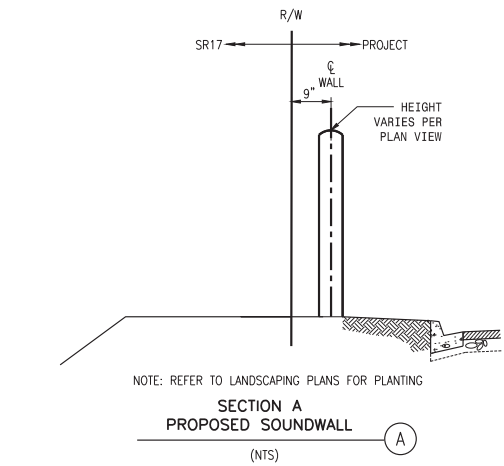
03.18.2016



1.2

GENERAL NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST FOOT
2. BUILDING NUMBERS AS SHOWN MAY REPRESENT SINGLE STRUCTURES AND/OR CLUSTERS OF STRUCTURES
3. ALLEY WIDTH DIMENSIONS MEASURED FROM BACK OF CURB TO BACK OF CURB DUE TO ROLLED/WEDGE CURB TYPE
4. SIDEWALKS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO SEPARATE LANDSCAPE PLAN FOR MORE DETAIL

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	FACE OF CURB
---	---	BUILDING SETBACK LINE PER SPECIFIC PLAN
---	---	SIDEWALK
---	---	MULTIUSE PATH
---	---	TURF BLOCK OR OTHER ACCEPTABLE SURFACE PER SCCFD REFER TO LANDSCAPE PLAN
---	---	ROAD STRIPING
---	---	HANDICAP SPACE STRIPING



OFF-STREET PARKING (ALLEY'S, PARKING LOTS/STRUCTURES)

PARALLEL STALL: 8.5' X 20' MIN
PARALLEL DRIVE ISLE: 24' MIN
PERPENDICULAR STALL: 8.5' X 18' MIN (16' + 2' OVERHANG)
PERPENDICULAR DRIVE ISLE: 24' MIN

- PARALLEL STALL: 9.5' MIN WIDTH NEXT TO OBSTRUCTION ON ONE SIDE
- PARALLEL STALL: 10.5' MIN WIDTH NEXT TO OBSTRUCTION ON TWO SIDES
- PARALLEL STALL: 22' MIN. LENGTH NEXT TO OBSTRUCTION

ON-STREET PARKING ('A' STREET, 'C2' STREET, NEIGHBORHOOD STREET, 'R2' 1ST STREET, 'R2' 2ND STREET, 'R2' 3RD STREET, 'R2' 4TH STREET)

PARALLEL STALL: 8' X 20' MIN
45° DIAGONAL STALL: 8.5' X 18.7' MIN (17.3' + 1.4' OVERHANG)
PERPENDICULAR STALL: 8.5' X 18' MIN (16' + 2' OVERHANG)

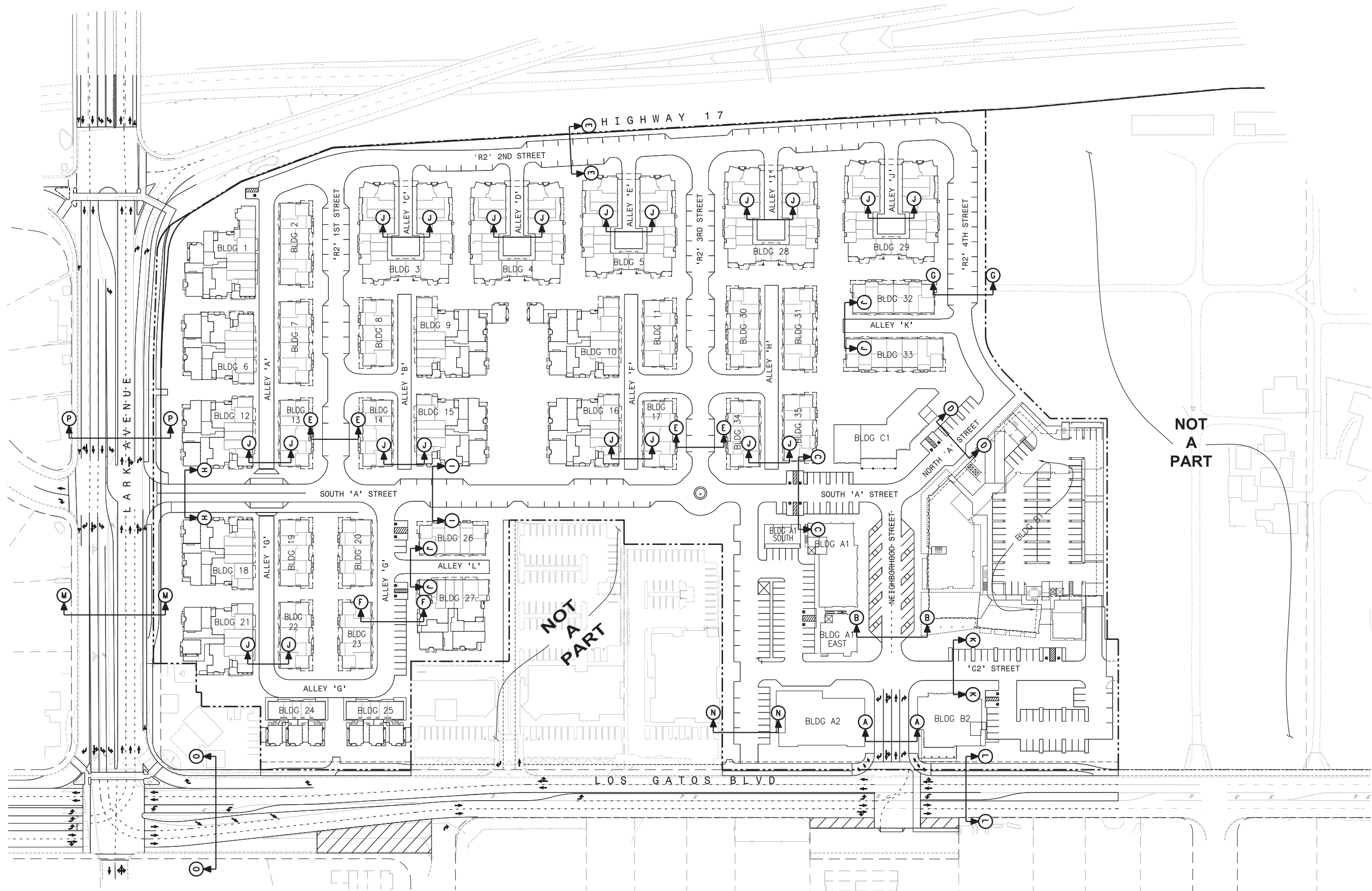
NOTE:
1. ACCESSIBLE STALLS PER ADA REQUIREMENTS
2. ALL STRIPING TO COMPLY WITH TOWN STANDARDS 261-266

NORTH FORTY | LOS GATOS, CA

Phase I Dimensional Site Plan

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10/20/2016
10/20/2016

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03-17-2016
Jacquelyn Boys
1027am



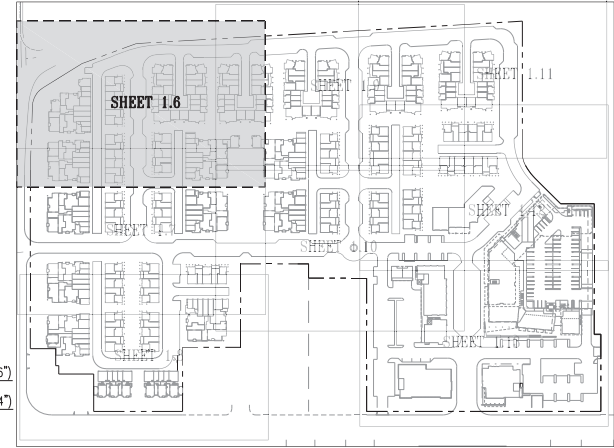
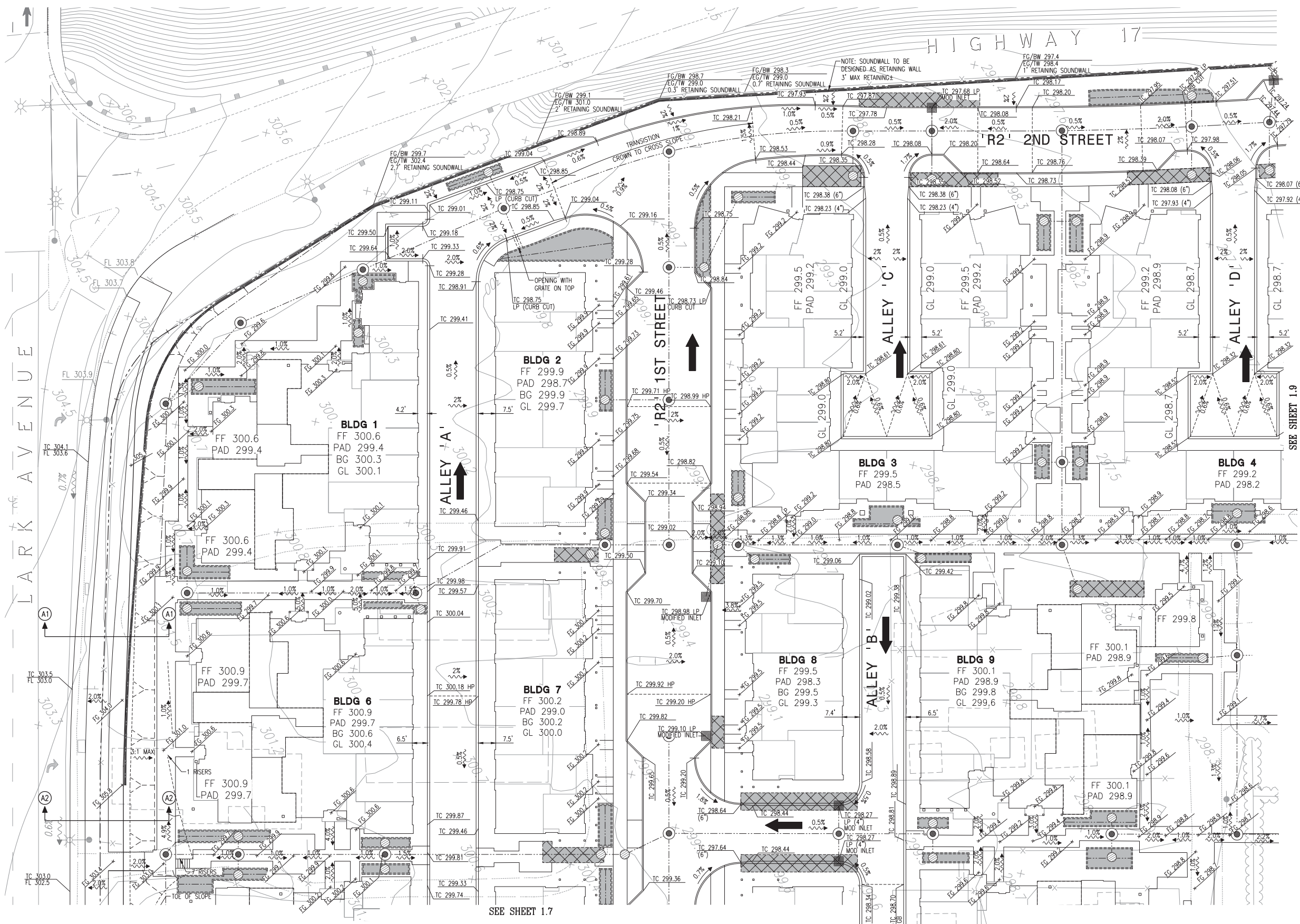
NORTH FORTY

LOS GATOS, CA

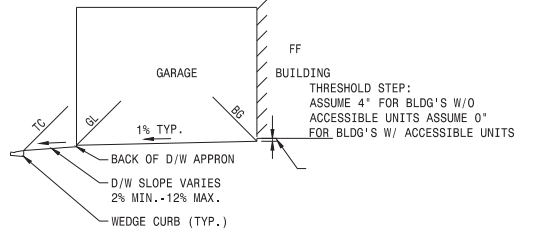
Street Cross Section Locations



Note: Existing trees not shown except for those to be saved



- NOTE: 1. DRIVEWAY SLOPES VARY FROM 2% MIN. TO 12% MAX.
2. ALL CURB RETURNS/RAMPS SHALL BE DESIGNED TO MEET ADA REQUIREMENTS.
3. STREET RUNOFF TO ENTER BIORETENTION AREAS THRU CURB CUTS OR MODIFIED INLETS AS LABELED AT EACH LOW POINT.
4. ROOF RUNOFF TO ENTER BIORETENTION AREAS THRU ROOF LEADER TO BUBBLE UP INLETS.
5. OPEN SPACE RUNOFF TO ENTER BIORETENTION AREAS THROUGH SHEET FLOW OR BUBBLE UP INLETS.



NOTE: ASSUME 0.1' BETWEEN BACK OF D/W APRON AND GARAGE LIP

TYPICAL SECTION AT ALLEY / GARAGE
NTS

- LEGEND:**
- DRAINAGE ROUTE
 - OVERLAND RELEASE
 - AT-GRADE BIORETENTION, SEE DETAILS SHEET 1.19
 - TREE WELL FILTER/BELOW GRADE BIORETENTION (SILVA CELL)
 - TREE TO BE SAVED (REFER TO ARBORIST REPORT FOR PROTECTION MEASURES)
 - RETAINING OR BASEMENT WALLS PER HEIGHTS/GRADE SHOWN
 - GRADING SECTION PER LOCATIONS SHOWN
- ABBREVIATIONS:**
- TC - TOP OF CURB
 - FL - FLOW LINE
 - FF - FINISH FLOOR
 - GL - GARAGE LIP
 - BG - BACK OF GARAGE
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL
 - DTC - DEPRESSED TOP OF CURB

NORTH FORTY | LOS GATOS, CA

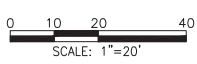
Phase I Preliminary Grading Plan

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Jacquelyn Bays
03-17-2016 9:17am



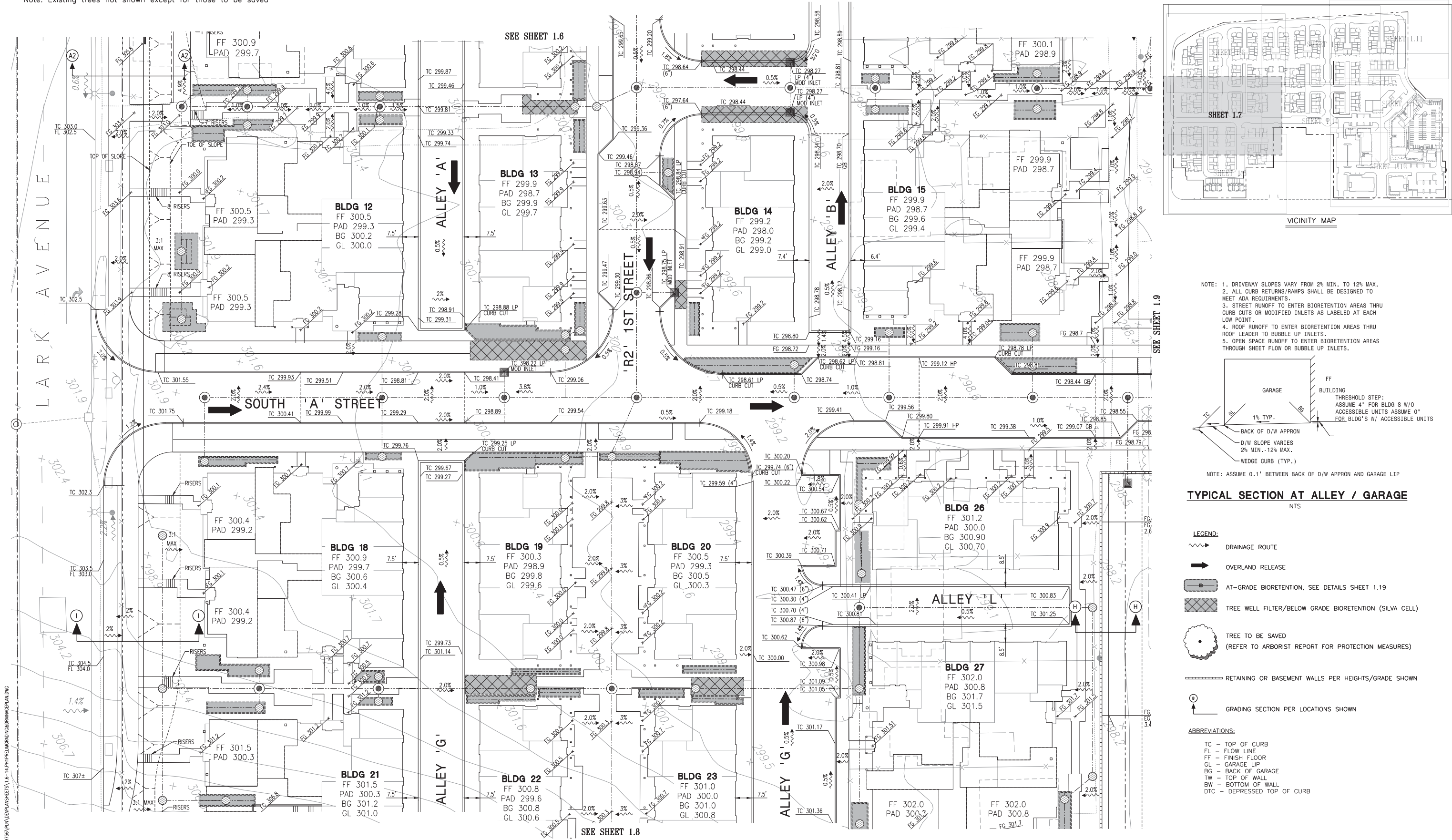
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03.18.2016



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Note: Existing trees not shown except for those to be saved



NORTH FORTY

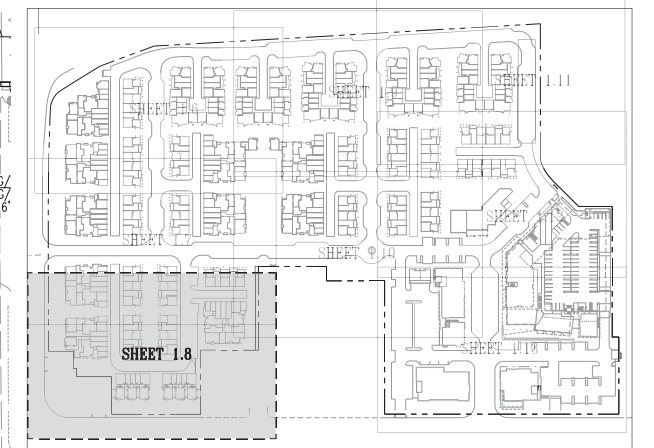
LOS GATOS, CA

Phase I
Preliminary Grading Plan

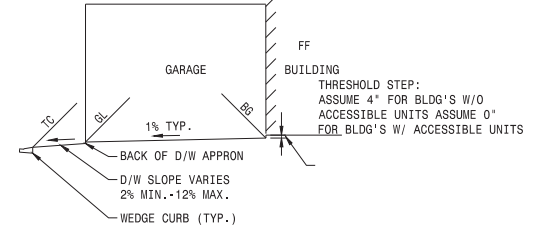
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03-17-2016 9:18am



SEE SHEET 1.7











NOTE: 1. DRIVEWAY SLOPES VARY FROM 2% MIN. TO 12% MAX.
2. ALL CURB RETURNS/RAMPS SHALL BE DESIGNED TO MEET ADA REQUIREMENTS.
3. STREET RUNOFF TO ENTER BIORETENTION AREAS THRU CURB CUTS OR MODIFIED INLETS AS LABELED AT EACH LOW POINT.
4. ROOF RUNOFF TO ENTER BIORETENTION AREAS THRU ROOF LEADER TO BUBBLE UP INLETS.
5. OPEN SPACE RUNOFF TO ENTER BIORETENTION AREAS THROUGH SHEET FLOW OR BUBBLE UP INLETS.



TYPICAL SECTION AT ALLEY / GARAGE

LEGEND:

-  DRAINAGE ROUTE
 OVERLAND RELEASE
 AT-GRADE BIORETENTION, SEE DETAILS SHEET 1.19
 TREE WELL FILTER/BELOW GRADE BIORETENTION (SILVA CELL)
 TREE TO BE SAVED
 (REFER TO ARBORIST REPORT FOR PROTECTION MEASURES)
 RETAINING OR BASEMENT WALLS PER HEIGHTS/GRADE SHOWN

 GRADING SECTION PER LOCATIONS SHOWN

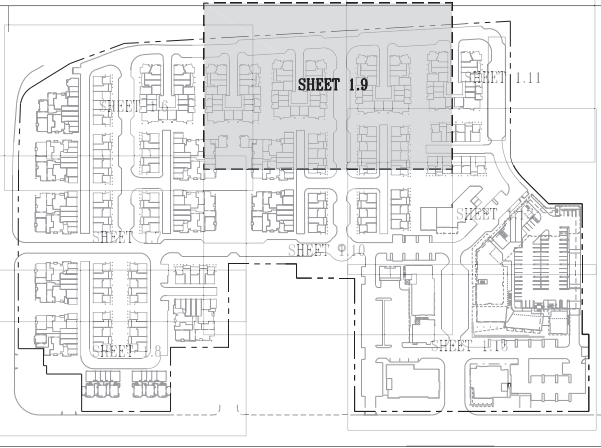
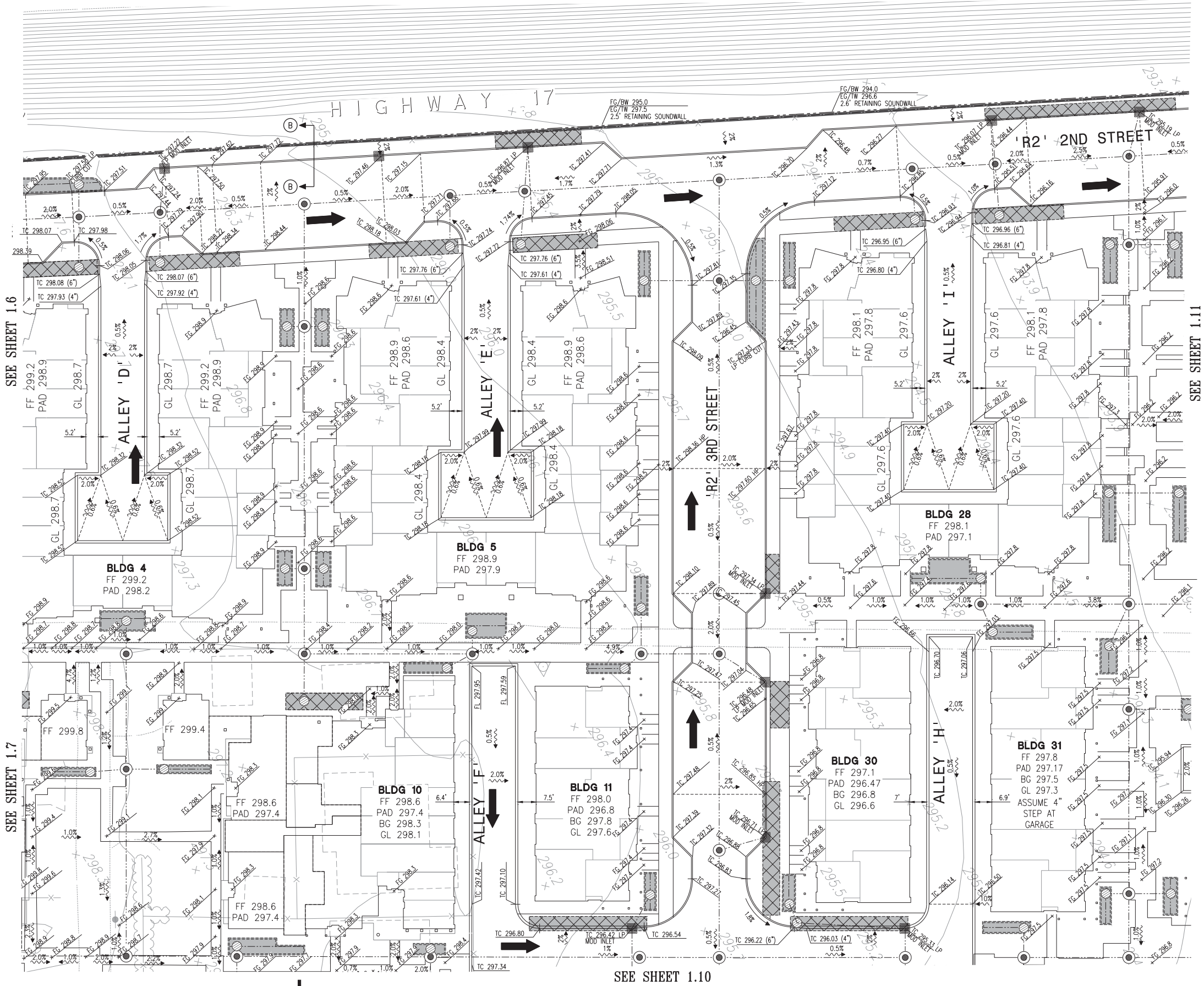
ABBREVIATIONS:

- TC - TOP OF CURB
FL - FLOW LINE
FF - FINISH FLOOR
GL - GARAGE LIP
BG - BACK OF GARAGE
TW - TOP OF WALL
BW - BOTTOM OF WALL
DTC - DEPRESSED TOP OF CURB

LOS GATOS, CA

Phase I Preliminary Grading Plan

(*) 03-17-2016 9:18am Jaquelein Boys P:\19756\PLN\DEV\PLANSHEETS\1.6-14.PHT PRELIM GRADING & DRAINAGE PLAN.DWG



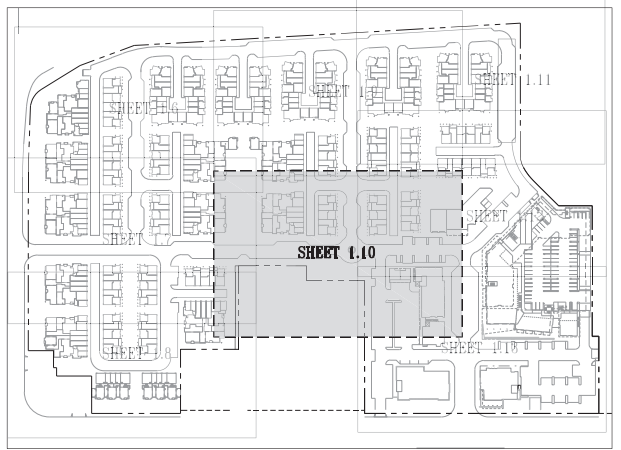
Note: Existing trees not shown except for those to be saved

SEE SHEET 1.9

SEE SHEET 1.7

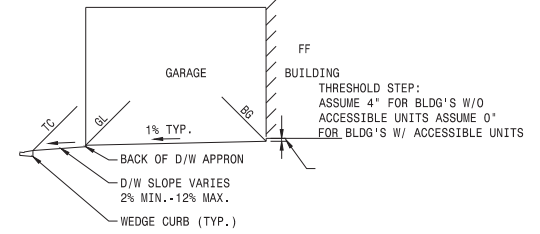
SEE SHEET 1.12

SEE SHEET 1.13



VICINITY MAP

- NOTE: 1. DRIVEWAY SLOPES VARY FROM 2% MIN. TO 12% MAX.
2. ALL CURB RETURNS/RAMPS SHALL BE DESIGNED TO MEET ADA REQUIREMENTS.
3. STREET RUNOFF TO ENTER BIORETENTION AREAS THRU CURB CUTS OR MODIFIED INLETS AS LABELED AT EACH LOW POINT.
4. ROOF RUNOFF TO ENTER BIORETENTION AREAS THRU ROOF LEADER TO BUBBLE UP INLETS.
5. OPEN SPACE RUNOFF TO ENTER BIORETENTION AREAS THROUGH SHEET FLOW OR BUBBLE UP INLETS.



TYPICAL SECTION AT ALLEY / GARAGE
NTS

- LEGEND:**
- DRAINAGE ROUTE
 - OVERLAND RELEASE
 - AT-GRADE BIORETENTION, SEE DETAILS SHEET 1.19
 - TREE WELL FILTER/BELOW GRADE BIORETENTION (SILVA CELL)
 - TREE TO BE SAVED
(REFER TO ARBORIST REPORT FOR PROTECTION MEASURES)
 - RETAINING OR BASEMENT WALLS PER HEIGHTS/GRADE SHOWN
 - GRADING SECTION PER LOCATIONS SHOWN
- ABBREVIATIONS:**
- TC - TOP OF CURB
 - FL - FLOW LINE
 - FF - FINISH FLOOR
 - GL - GARAGE LIP
 - BG - BACK OF GARAGE
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL
 - DTC - DEPRESSED TOP OF CURB

NORTH FORTY

LOS GATOS, CA

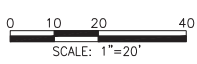
Phase I Preliminary Grading Plan

P:\19756\EN\NEWPLANSETS\1.6-14 PRELIM\GRADING\GRADING PLAN.DWG
Jacquelyn Bays
03-17-2016 9:18am



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03.18.2016



1.10







LOS GATOS, CA



TYPICAL SECTION AT ALLEY / GARAGE

NTS

	DRAINAGE ROUTE
	OVERLAND RELEASE
	AT-GRADE BIORETENTION, SEE DETAILS SHEET 1.19
	TREE WELL FILTER/BELOW GRADE BIORETENTION (SILVA CELL)

 TREE TO BE SAVED
(REFER TO ARBORIST REPORT FOR PROTECTION MEASURES)

RETAINING OR BASEMENT WALLS PER HEIGHTS/GRADE SHOWN

8
↑
GRADING SECTION PER LOCATIONS SHOWN

TC - TOP OF CURB
FL - FLOW LINE
FF - FINISH FLOOR
GL - GARAGE LIP
BG - BACK OF GARAGE
TW - TOP OF WALL
BW - BOTTOM OF WALL
DTC - DEPRESSED TOP OF CURB

Phase I Rolling Plan



(*) 03-17-2016 9:18am Jacquelyn Boys P:\19756\PLN\DEV\PLANSHEETS\1.6-14.PH1 PRELIM GRADING & DRAINAGE PLAN.DWG

SEE SHEET 1.13








LOS GATOS, CA



Diagram illustrating a building entrance detail. The structure consists of a GARAGE and a BUILDING. The threshold step is shown with a 1% TYP. slope. The diagram includes labels for the GARAGE, BUILDING, and THRESHOLD STEP. A note specifies: THRESHOLD STEP: ASSUME 4" FOR BLDG'S W/O ACCESSIBLE UNITS ASSUME 0" FOR BLDG'S W/ ACCESSIBLE UNITS. The diagram also shows the BACK OF D/W APRON, D/W SLOPE VARIES 2% MIN. - 12% MAX., and WEDGE CURB (TYP.).

TYPICAL SECTION AT ALLEY / GARAGE

NTS

	DRAINAGE ROUTE
	OVERLAND RELEASE
	AT-GRADE BIORETENTION, SEE DETAILS SHEET 1.19
	TREE WELL FILTER/BELOW GRADE BIORETENTION (SILVA CELL)
	TREE TO BE SAVED (REFER TO ARBORIST REPORT FOR PROTECTION MEASURES)

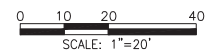
RETAINING OR BASEMENT WALLS PER HEIGHTS/GRADE SHOWN

 GRADING SECTION PER LOCATIONS SHOWN

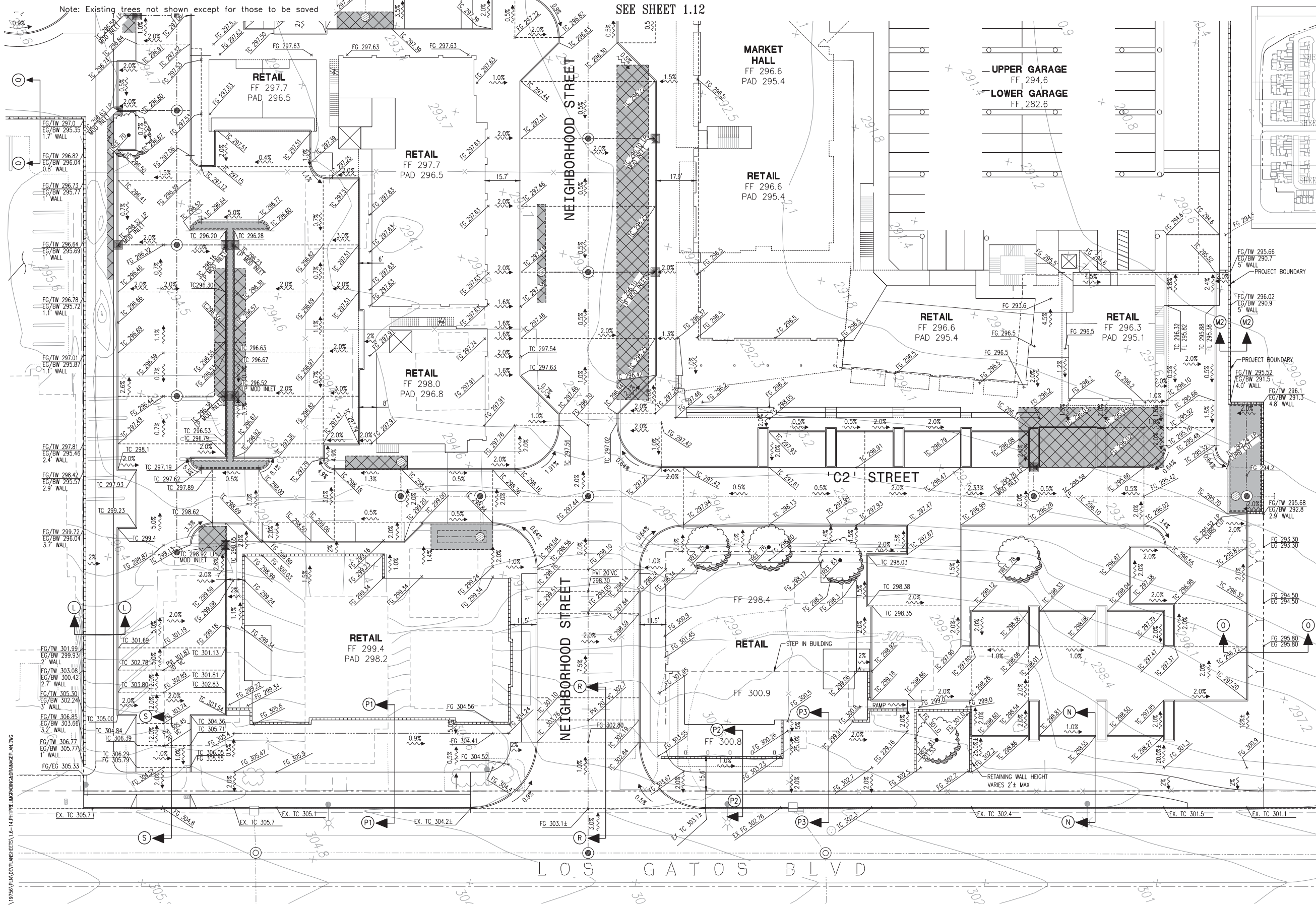
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TW - TOP OF WALL
BW - BOTTOM OF WALL
DTC - DEPRESSED TOP OF CURB

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03.18.2016



1.12



NOTE: 1. DRIVEWAY SLOPES VARY FROM 2% MIN. TO 12% MAX.
2. ALL CURB RETURNS/RAMPS SHALL BE DESIGNED TO MEET ADA REQUIREMENTS.
3. STREET RUNOFF TO ENTER BIORETENTION AREAS THRU CURB CUTS OR MODIFIED INLETS AS LABELED AT EACH LOW POINT.
4. ROOF RUNOFF TO ENTER BIORETENTION AREAS THRU ROOF LEADER TO BUBBLE UP INLETS.
5. OPEN SPACE RUNOFF TO ENTER BIORETENTION AREAS THROUGH SHEET FLOW OR BUBBLE UP INLETS.

FF BUILDING
THRESHOLD STEP:
ASSUME 4" FOR BLDG'S W/O
ACCESSIBLE UNITS ASSUME 0"
FOR BLDG'S W/ ACCESSIBLE UNIT

NOTE: ASSUME 0.1' BETWEEN BACK OF D/W APRON AND GARAGE LIP

TYPICAL SECTION AT ALLEY / GARAGE
NTS

- LEGEND:
- DRAINAGE ROUTE
 - OVERLAND RELEASE
 - AT-GRADE BIORETENTION, SEE DETAILS SHEET 1.19
 - TREE WELL FILTER/BELOW GRADE BIORETENTION (SILVA CELL)
 - TREE TO BE SAVED
(REFER TO ARBORIST REPORT FOR PROTECTION MEASURES)
 - RETAINING OR BASEMENT WALLS PER HEIGHTS/GRADE SHOWN
 - GRADING SECTION PER LOCATIONS SHOWN

ABBREVIATIONS:

- TC - TOP OF CURB
- FL - FLOW LINE
- FF - FINISH FLOOR
- GL - GARAGE LIP
- BG - BACK OF GARAGE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- DTC - DEPRESSED TOP OF CURB

Note: Existing trees not shown except for those to be saved

SEE SHEET 1.12

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Jacquelyn Boys
03-17-2016 9:18am

NORTH FORTY

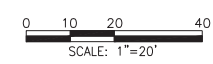
LOS GATOS, CA

Phase I
Preliminary Grading Plan



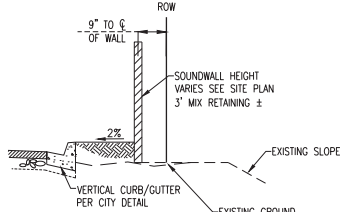
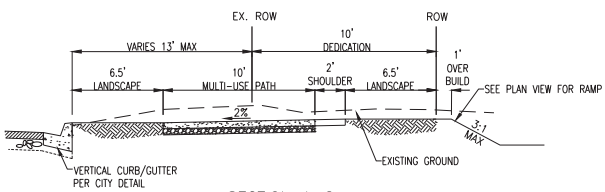
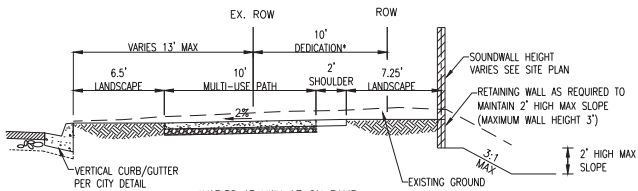
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03.18.2016



1.13

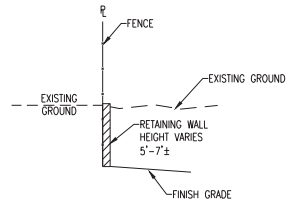
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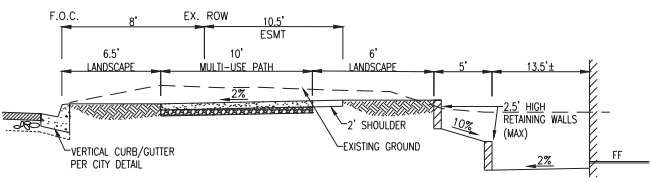
SECTION B (NTS)

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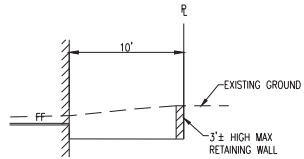
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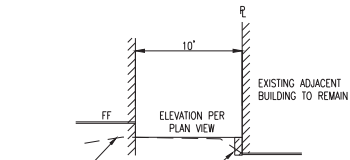
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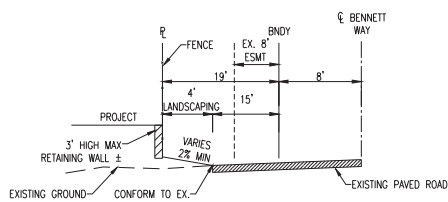
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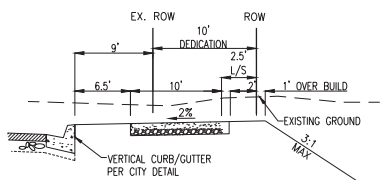
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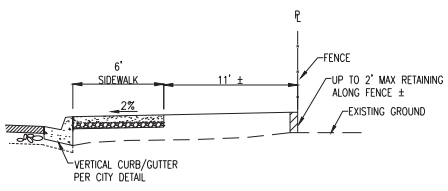
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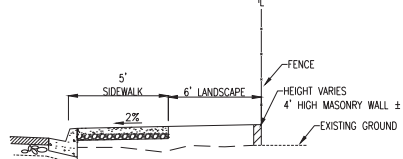
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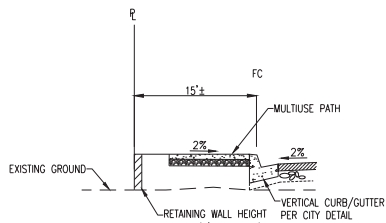
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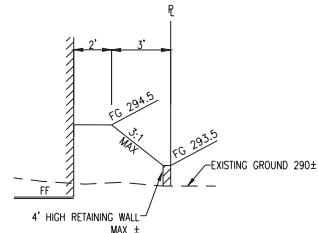
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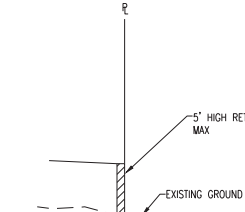
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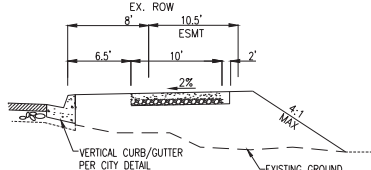
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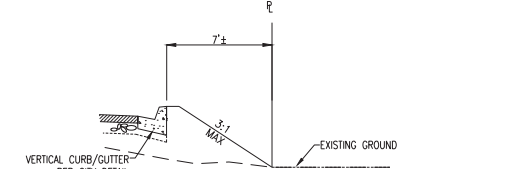
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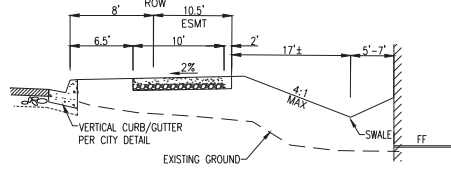
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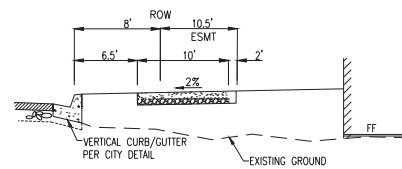
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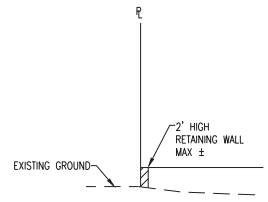
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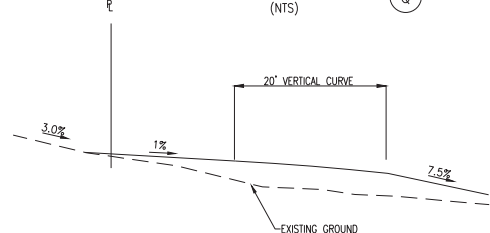
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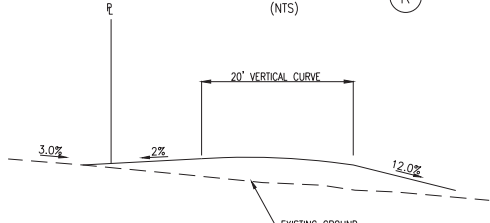
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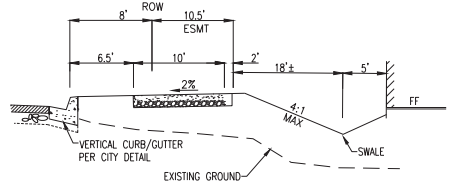
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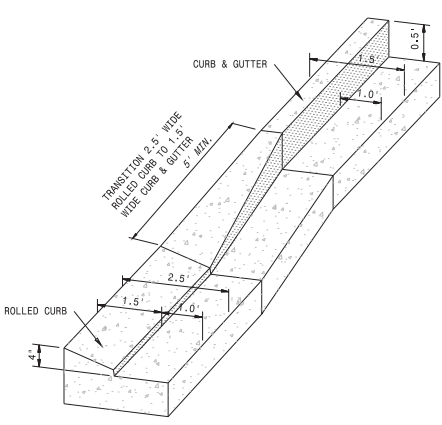
SECTION R (NTS)



SECTION R (NTS)



SECTION P3 (NTS)



TRANSITION WEDGE CURB TO VERTICAL CURB & GUTTER (NTS)

CONCEPTUAL EARTHWORK TABLE

PHASE	RAW CUT (CY)	RAW FILL (CY)	UTILITY TRENCH EXCAVATION (CY)	SHRINK AT 10% (CY)	CONSOLIDATION OVER FILL AREA (CY)	NET (CY)
1	-51,000	25,000	TBD	TBD	TBD	-26,000

NOTE: 1. QUANTITIES ROUNDED TO THE NEAREST THOUSAND.
2. QUANTITIES ILLUSTRATE A DIRT BALANCE IS NOT ACHIEVED AND THAT EXPORT OF MATERIAL WILL BE REQUIRED BASED ON PRELIMINARY GRADING PLAN. EARTHWORK QUANTITIES SUBJECT TO CHANGE WITH FINAL DESIGN.

NORTH FORTY

LOS GATOS, CA

Phase I
Preliminary Grading Plan Details

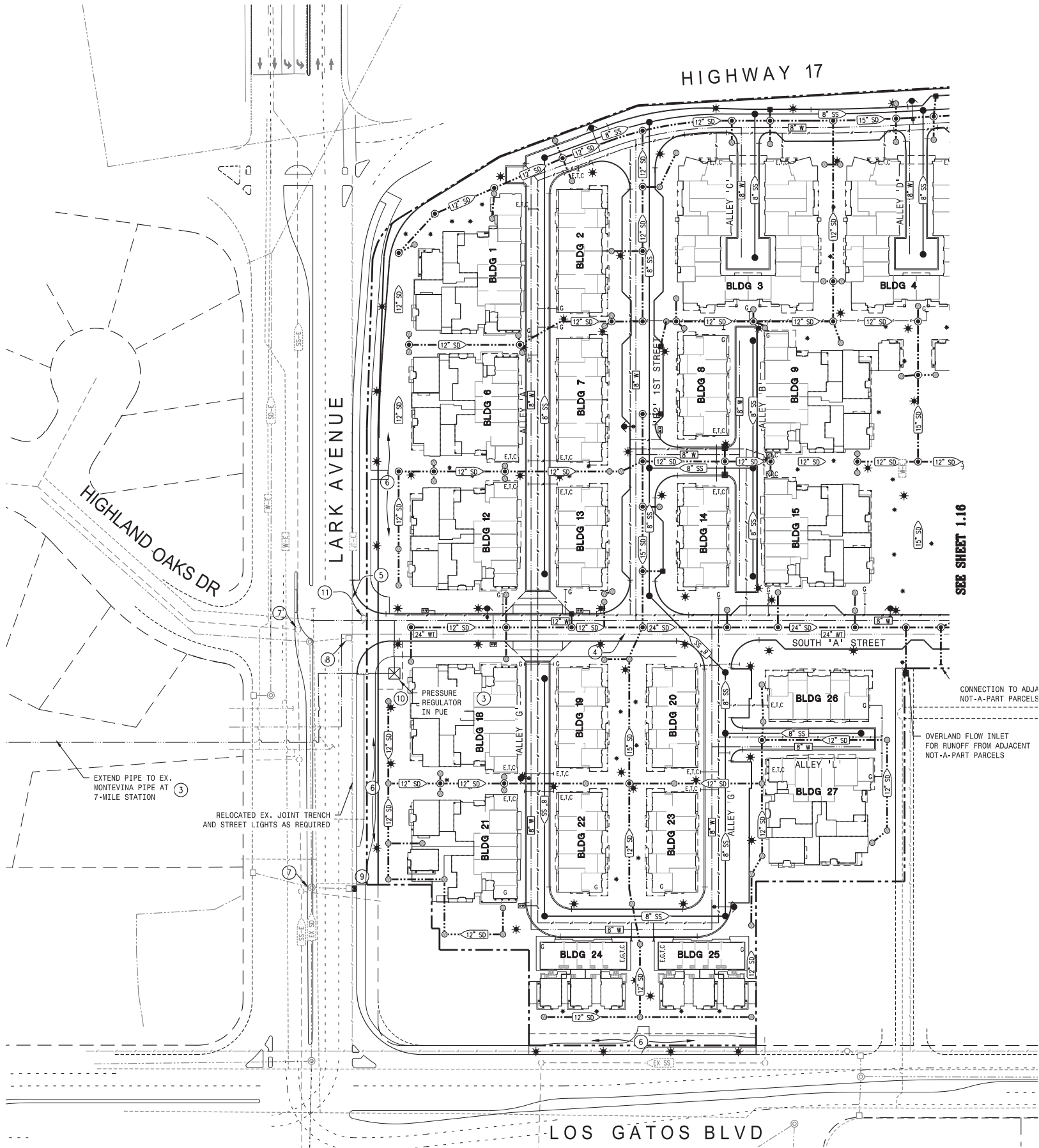
UTILITY PLAN NOTES:

- SEWER: CONNECT TO EX. MANHOLE AS SHOWN ON SHEET 1.16. OFFSITE CONNECTION TO BE MADE AT OKA ROAD AS PREVIOUSLY APPROVED BY TOWN & WWSO. SEE OFFSITE UTILITY SHEET.
- STORM: CONNECT TO EX. MANHOLE AS SHOWN ON SHEET 1.16. OFFSITE CONNECTION TO BE MADE FROM OKA ROAD TO EX. LOS GATOS CREEK OUTFALL AS PREVIOUSLY APPROVED BY TOWN. SEE OFFSITE UTILITY SHEET.
- WATER DISTRIBUTION: EXTEND PIPE ACROSS LARK AVE. TO MONTEVINA PIPE AT SJWC 7-MILE STATION (420' +/-). INSTALL PRESSURE REGULATOR ONSITE AS SHOWN. EMERGENCY CONNECTION TO BE MADE IN LOS GATOS BLVD TO GREENRIDGE PIPE.
- WATER TRANSMISSION: RELOCATE AS SHOWN ON THIS SHEET. EXTEND PIPE NORTHWARD TO GRECO R/W (440' +/- FROM PROJECT BOUNDARY)
- JOINT TRENCH: CONNECT TO EXISTING JOINT TRENCH IN LOS GATOS BLVD. AND LARK AVE.
- ALL EX. UTILITY BOXES SHALL BE RELOCATED AND/OR ADJUSTED TO GRADE.
- ADJUST EX. MANHOLE RIM WITHIN NEW MEDIAN.
- CONVERT EX. INLET TO MANHOLE
- EXTEND LATERAL AND CONSTRUCT NEW INLET
- PRESSURE REGULATOR SHALL BE CONSTRUCTED BELOW GRADE WITH ACCESS FROM THE MULTI-USE PATH
- RELOCATE FIRE HYDRANT

LEGEND		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	FACE OF CURB
---	---	BUILDING SETBACK LINE PER SPECIFIC PLAN
---	---	SIDEWALK
---	---	MULTIUSE PATH
---	---	TURF BLOCK OR OTHER ACCEPTABLE SURFACE PER SCCFD REFER TO LANDSCAPE PLAN
---	---	ROAD STRIPING
---	---	HANDICAP SPACE STRIPING
---	---	SANITARY SEWER & MANHOLE
---	---	STORM DRAIN & INLET
---	---	STORM MANHOLE
---	---	WATER LINE
---	---	WATER TRANSMISSION LINE
---	---	JOINT TRENCH (E=ELECTRIC, G=GAS, T=TELEPHONE, C=CABLE)
---	---	ELECTRIC TRANSFORMER
---	---	FIRE HYDRANT
---	---	EASEMENT LINE SEE CALL OUTS FOR TYPE
---	---	PROPOSED LIGHTING

GENERAL NOTES:

- ALL UTILITIES AND SIZES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE AT FINAL DESIGN.
- REFER TO STORMWATER QUALITY SHEET FOR STORMWATER QUALITY IMPROVEMENTS.
- UTILITY IMPROVEMENTS SHALL BE OWNED & MAINTAINED BY THE FOLLOWING.
WATER: SAN JOSE WATER COMPANY
SEWER: PUBLIC AND PRIVATE SYSTEMS. PUBLIC PORTION BY WEST VALLEY SANITATION DISTRICT
STORM DRAIN: PUBLIC AND PRIVATE SYSTEMS. PUBLIC PORTION BY TOWN OF LOS GATOS
- MINIMUM 8" STORM DRAIN. ANY LINES NOT LABELED ASSUMED 8".
- PROPOSED UTILITIES TO BE DESIGNED TO CONFORM WITH TOWN OF LOS GATOS STANDARDS INCLUDING VERTICAL AND HORIZONTAL CLEARANCE, MIN COVER AND MINIMUM RADII FOR CURVATURE.
- EXISTING UTILITIES ON LOS GATOS BLVD SHOWN FOR PLANNING PURPOSES. ACTUAL LOCATIONS TO BE CONFIRMED WITH DESIGN.
- UTILITY CABINETS/CLOSETS SHOWN AS APPROXIMATE SERVICE AREA TO INDIVIDUAL BUILDINGS. ACTUAL LOCATIONS MAY VARY WITH DESIGN.



NORTH FORTY

LOS GATOS, CA

Phase I
Preliminary Utility Plan

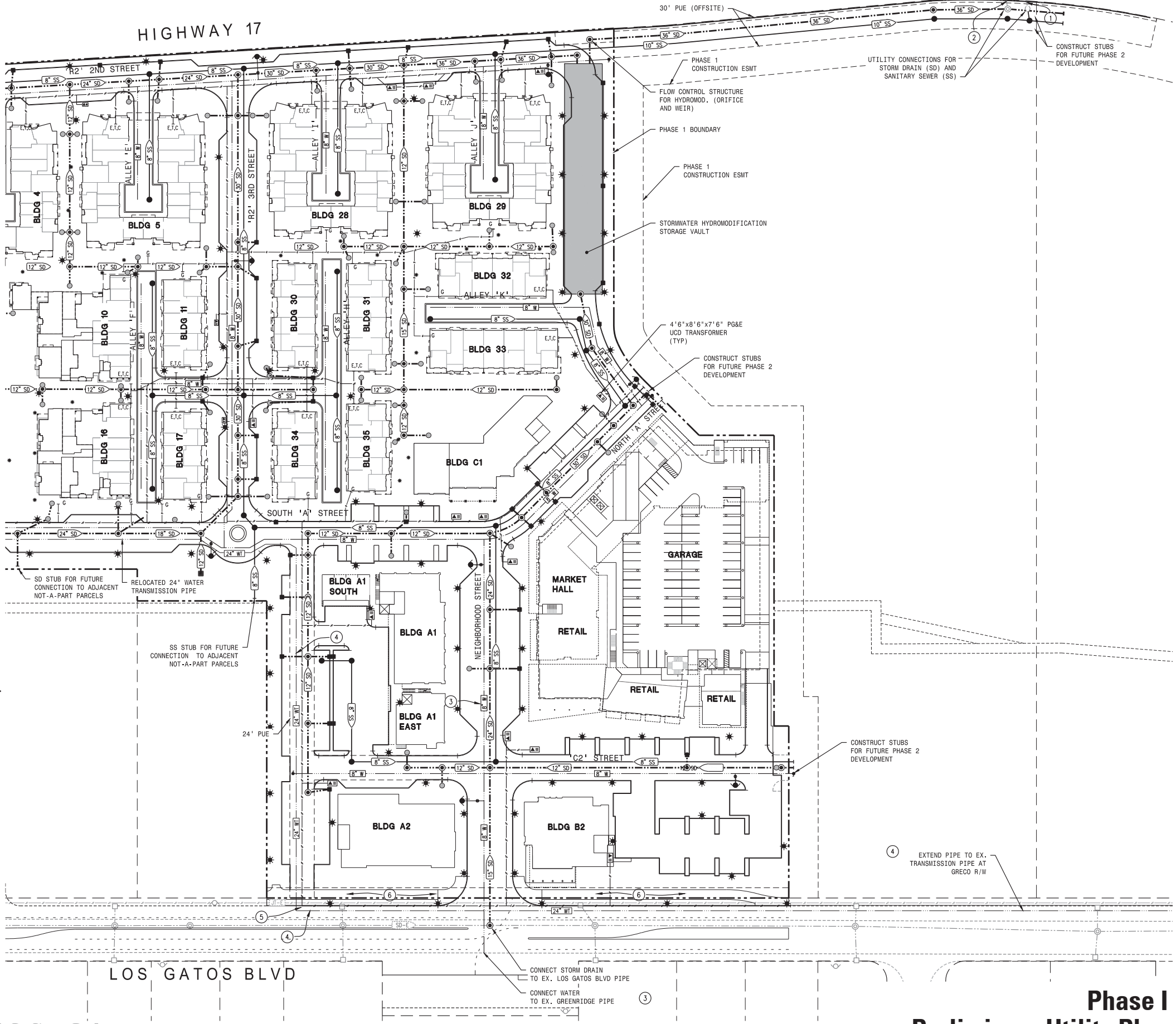
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- RELOCATE FIRE HYDRANT

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	FACE OF CURB
---	---	BUILDING SETBACK LINE PER SPECIFIC PLAN
---	---	SIDEWALK
---	---	MULTIUSE PATH
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---	---	HANDICAP SPACE STRIPING
---	---	SANITARY SEWER & MANHOLE
---	---	STORM DRAIN & INLET
---	---	STORM MANHOLE
---	---	WATER LINE
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---	---	JOINT TRENCH (E=ELECTRIC, G=GAS, T=TELEPHONE, C=CABLE)
---	---	ELECTRIC TRANSFORMER
---	---	FIRE HYDRANT
---	---	EASEMENT LINE SEE CALL OUTS FOR TYPE
---	---	PROPOSED LIGHTING

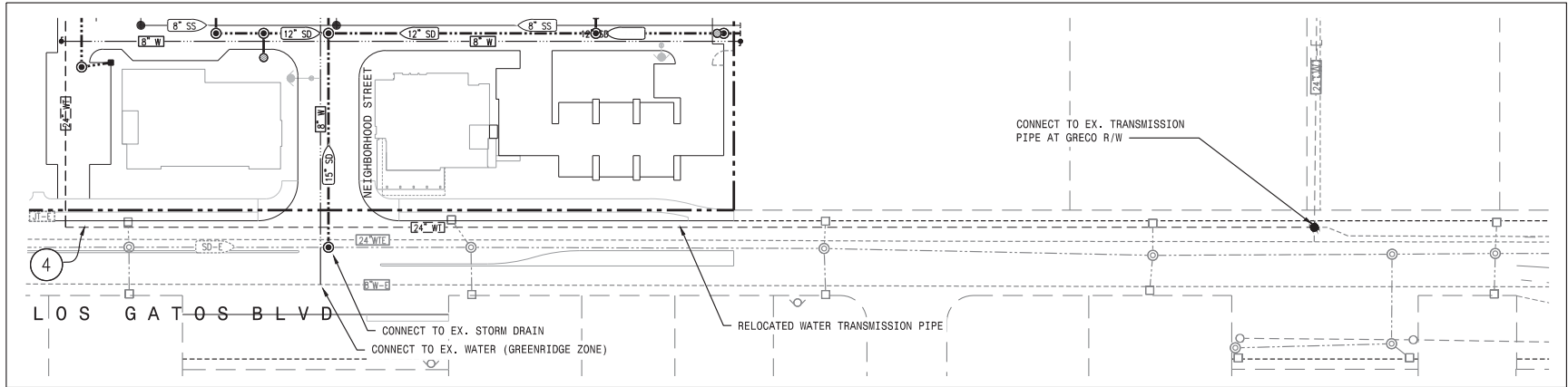
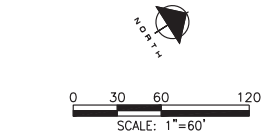
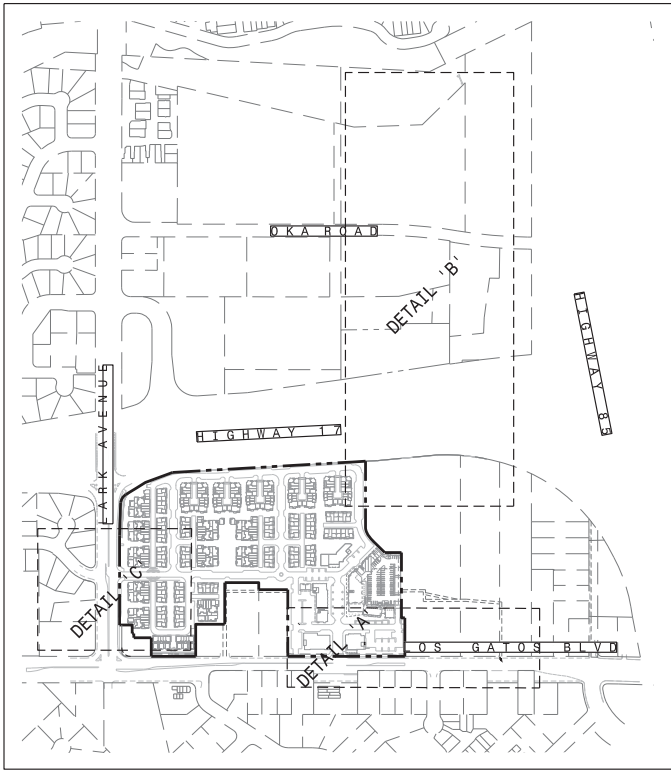
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- PROPOSED UTILITIES TO BE DESIGNED TO CONFORM WITH TOWN OF LOS GATOS STANDARDS INCLUDING VERTICAL AND HORIZONTAL CLEARANCE, MIN COVER AND MINIMUM RADII FOR CURVATURE.
- EXISTING UTILITIES ON LOS GATOS BLVD SHOWN FOR PLANNING PURPOSES. ACTUAL LOCATIONS TO BE CONFIRMED WITH DESIGN.
- UTILITY CABINETS/CLOSETS SHOWN AS APPROXIMATE SERVICE AREA TO INDIVIDUAL BUILDINGS. ACTUAL LOCATIONS MAY VARY WITH DESIGN.

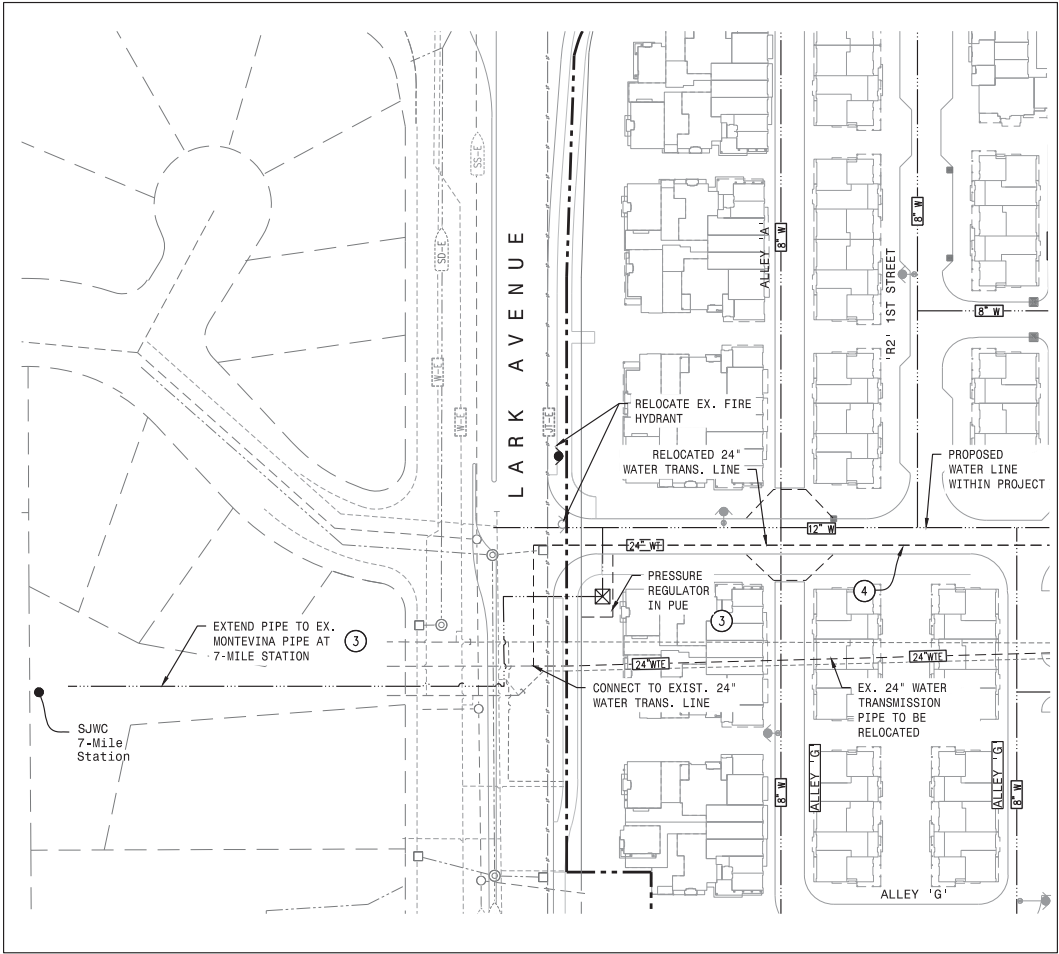


NORTH FORTY | LOS GATOS, CA

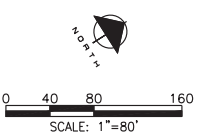
Phase I Preliminary Utility Plan



DETAIL 'A'



DETAIL 'C'

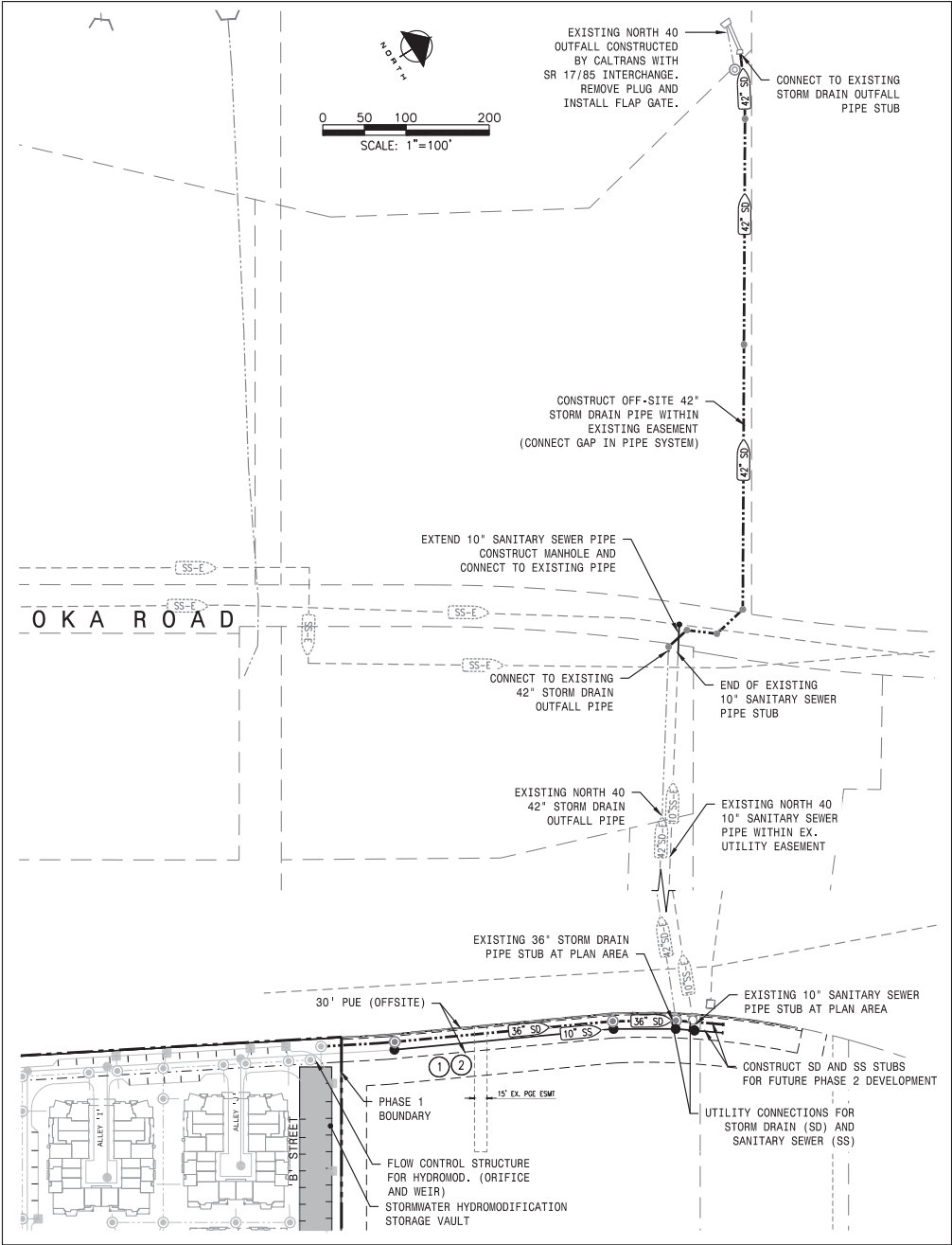


PLAN NOTES:

- 1 SEWER: CONNECT TO EX. MANHOLE AS SHOWN ON THIS SHEET. OFFSITE CONNECTION TO BE MADE AT OKA ROAD AS PREVIOUSLY APPROVED BY TOWN & WYSD.
- 2 STORM: CONNECT TO EX. MANHOLE AS SHOWN ON THIS SHEET. OFFSITE CONNECTION TO BE MADE FROM OKA ROAD TO EX. LOS GATOS CREEK OUTFALL AS PREVIOUSLY APPROVED BY TOWN. ALL MANHOLES SHALL BE BOLTED DOWN TO MANHOLE STRUCTURE.
- 3 WATER DISTRIBUTION: EXTEND PIPE ACROSS LARK AVE. TO MONTEVINA PIPE AT SJWC 7-MILE STATION (420' +/-). INSTALL PRESSURE REGULATOR ONSITE AS SHOWN. EMERGENCY CONNECTION TO BE MADE IN LOS GATOS BLVD TO GREENRIDGE PIPE.
- 4 WATER TRANSMISSION: RELOCATE AS SHOWN ON THIS SHEET. EXTEND PIPE NORTHWARD TO GRECO R/W (440' +/- FROM PROJECT BOUNDARY)
- 5 JOINT TRENCH: CONNECT TO EXISTING JOINT TRENCH IN LOS GATOS BLVD. AND LARK AVE.

LEGEND:

	SANITARY SEWER
	EXISTING SANITARY SEWER
	STORM DRAIN
	EXISTING STORM DRAIN
	WATER DISTRIBUTION
	EXISTING WATER DISTRIBUTION
	WATER TRANSMISSION
	EXISTING WATER TRANSMISSION
	BLDG SETBACK
	EASEMENT LINE (SEE PLAN FOR DETAIL CALLOUTS)
	PROJECT BOUNDARY



DETAIL 'B'

NORTH FORTY | LOS GATOS, CA

Phase I Preliminary Offsite Utility Plan

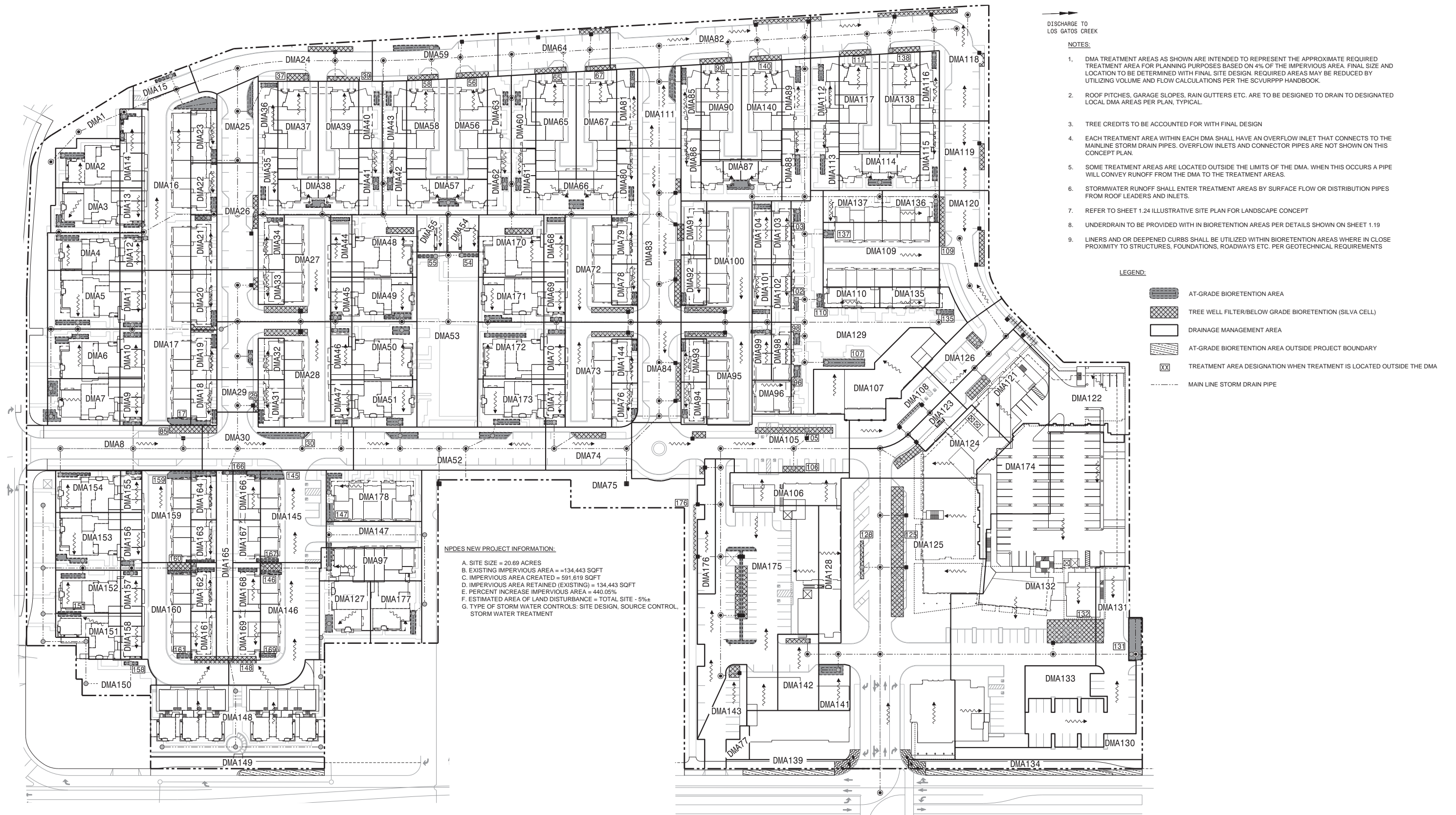
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03-17-2016 10:23am jacquelyn_bays P:\19756\EN\PLANS\DRS\1.18-19.PLT STORMWATER MANAGEMENT PLAN.DWG

NORTH FORTY

LOS GATOS, CA

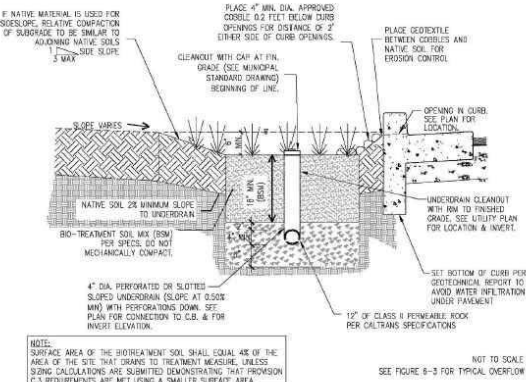


Phase I Stormwater Management Concept Plan

BIORETENTION CELL DETAILS:

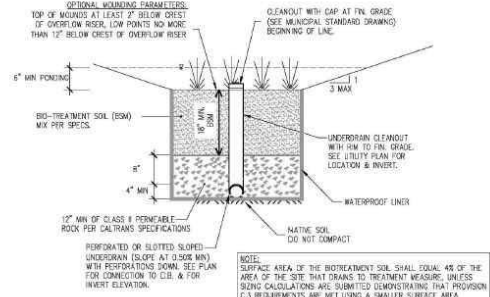
SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM

Figure 6-5: Cross Section of a Linear Bioretention Area (with Maximized Infiltration)



AT GRADE BIORETENTION AREA ADJACENT TO STREET

Figure 6-6: Cross Section of a Lined Bioretention Area (Infiltration Not Allowed)



AT GRADE SLOPE SIDE BIORETENTION AREA

AT GRADE VERTICAL WALLED BIORETENTION AREA

CONCEPTUAL DETAILS PER SCVURPPP HANDBOOK

Area ID	Surface Type	Area (SqFt)	Pervious Area (SqFt)	Impervious Area (SqFt)	Required Surface Area	Surface Area Provided	BMP Used
DMA1	OpenSpace	11122	11122	0	0	0	Self Treating
DMA2	Roof/OpenSpace	4011	138	3887	138	138	At-Grade Vertical walled Bioretention Area
DMA3	Roof/OpenSpace	4083	843	3240	130	147	At-Grade Vertical walled Bioretention Area
DMA4	Roof/OpenSpace	3664	774	2890	116	120	At-Grade Vertical walled Bioretention Area
DMA5	Roof/OpenSpace	5732	1366	4366	175	175	At-Grade Vertical walled Bioretention Area
DMA6	Roof/OpenSpace	4849	1241	3608	144	180	At-Grade Vertical walled Bioretention Area
DMA7	Roof/OpenSpace	4570	1256	3314	133	135	At-Grade Sloped Side Bioretention Area
DMA8	Roadway	10607	1037	9570	383	385	Silva Cell
DMA9	Roof/OpenSpace	1383	180	1203	48	63	At-Grade Vertical walled Bioretention Area
DMA10	Roof/OpenSpace	1468	180	1288	68	68	At-Grade Vertical walled Bioretention Area
DMA11	Roof/OpenSpace	1736	180	1556	62	70	At-Grade Vertical walled Bioretention Area
DMA12	Roof/OpenSpace	1109	180	929	37	50	At-Grade Vertical walled Bioretention Area
DMA13	Roof/OpenSpace	1330	180	1150	46	48	At-Grade Vertical walled Bioretention Area
DMA14	Roof/OpenSpace	2135	195	1940	65	65	At-Grade Vertical walled Bioretention Area
DMA15	Roadway/OpenSpace	1856	275	1581	55	66	At-Grade Vertical walled Bioretention Area
DMA16	Roadway/OpenSpace	12353	2079	10275	411	470	At-Grade Vertical walled Bioretention Area
DMA17	Roadway/Roof/OpenSpace	10231	1177	9054	362	365	At-Grade Vertical walled Bioretention Area
DMA18	Roof/OpenSpace	1613	238	1375	55	60	At-Grade Vertical walled Bioretention Area
DMA19	Roof/OpenSpace	1751	238	1513	61	66	At-Grade Vertical walled Bioretention Area
DMA20	Roof/OpenSpace	2129	238	1891	76	85	At-Grade Vertical walled Bioretention Area
DMA21	Roof/OpenSpace	1935	238	1697	68	89	At-Grade Vertical walled Bioretention Area
DMA22	Roof/OpenSpace	1933	238	1695	64	80	At-Grade Vertical walled Bioretention Area
DMA23	Roof	1856	0	1856	74	75	At-Grade Vertical walled Bioretention Area
DMA24	Roadway/OpenSpace	8759	1017	7742	310	315	At-Grade Vertical walled Bioretention Area
DMA25	Roadway/OpenSpace	316	402	180	48	48	At-Grade Vertical walled Bioretention Area
DMA26	Roadway/OpenSpace	5954	391	5563	223	230	Silva Cell
DMA27	Roof/Roadway/OpenSpace	10205	1289	8916	357	375	Silva Cell
DMA28	Roof/Roadway/OpenSpace	10411	1289	9121	365	375	Silva Cell
DMA29	Roadway/OpenSpace	1907	48	1859	70	75	Silva Cell
DMA30	Roadway/OpenSpace	9663	1369	8293	332	335	At-Grade Vertical walled Bioretention Area
DMA31	Roof/OpenSpace	1666	480	1186	47	67	At-Grade Vertical walled Bioretention Area
DMA32	Roof/OpenSpace	1457	252	1205	48	50	At-Grade Vertical walled Bioretention Area
DMA33	Roof	1220	0	1220	49	50	At-Grade Vertical walled Bioretention Area
DMA34	Roof/OpenSpace	1929	591	1338	54	55	At-Grade Vertical walled Bioretention Area
DMA35	Roof/OpenSpace	1772	480	1292	52	67	At-Grade Vertical walled Bioretention Area
DMA36	Roof/OpenSpace	1780	446	1334	53	70	At-Grade Vertical walled Bioretention Area
DMA37	Roof/OpenSpace	5340	310	5030	201	220	Silva Cell
DMA38	Roof/OpenSpace	3891	491	3400	136	145	At-Grade Vertical walled Bioretention Area
DMA39	Roof/Road/OpenSpace	5340	304	5036	201	222	Silva Cell
DMA40	Roof/OpenSpace	2125	514	1610	64	72	At-Grade Vertical walled Bioretention Area
DMA41	Roof/OpenSpace	2116	383	1732	69	72	At-Grade Vertical walled Bioretention Area
DMA42	Roof/OpenSpace	2195	383	1812	72	72	At-Grade Vertical walled Bioretention Area
DMA43	Road/Roof/OpenSpace	2216	514	1702	68	75	At-Grade Vertical walled Bioretention Area
DMA44	Roof/OpenSpace	1790	175	1615	65	65	At-Grade Vertical walled Bioretention Area
DMA45	Roof/OpenSpace	1276	178	1100	44	46	At-Grade Vertical walled Bioretention Area
DMA46	Roof/OpenSpace	1667	175	1492	60	65	At-Grade Vertical walled Bioretention Area
DMA47	Roof/OpenSpace	1337	175	1162	47	50	At-Grade Vertical walled Bioretention Area
DMA48	Roof/OpenSpace	5475	0	5475	219	220	Silva Cell
DMA49	Roof/OpenSpace	3968	585	3313	133	150	At-Grade Vertical walled Bioretention Area
DMA50	Roof/OpenSpace	5059	1147	3952	158	158	At-Grade Vertical walled Bioretention Area
DMA51	Roof/OpenSpace	4150	750	3400	136	177	At-Grade Vertical walled Bioretention Area
DMA52	Roadway/OpenSpace	10551	1177	9374	405	405	At-Grade Vertical walled Bioretention Area
DMA53	OpenSpace	14459	14459	0	0	0	Self Treating
DMA54	Roof/OpenSpace	1591	371	1220	49	50	At-Grade Vertical walled Bioretention Area
DMA55	Roof/OpenSpace	1511	264	1247	50	50	At-Grade Vertical walled Bioretention Area
DMA56	Road/Roof/OpenSpace	5522	304	5218	208	225	Silva Cell
DMA57	Roof/OpenSpace	3850	491	3359	136	140	At-Grade Vertical walled Bioretention Area
DMA58	Roof/OpenSpace	5419	310	5109	204	212	Silva Cell
DMA59	Roadway/OpenSpace	7164	1473	5691	228	230	At-Grade Vertical walled Bioretention Area

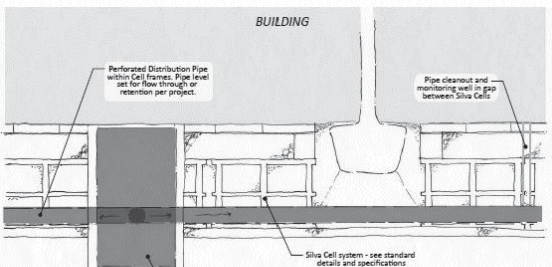
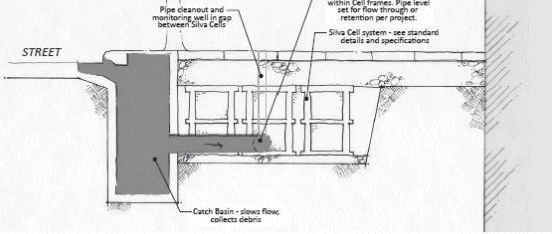
Area ID	Surface Type	Area (SqFt)	Pervious Area (SqFt)	Impervious Area (SqFt)	Required Surface Area	Surface Area Provided	BMP Used
DMA60	Roof/OpenSpace	2428	514	1914	77	77	At-Grade Vertical walled Bioretention Area
DMA61	Roof/OpenSpace	614	383	2357	73	75	At-Grade Vertical walled Bioretention Area
DMA62	Roof/OpenSpace	2146	383	1763	71	75	At-Grade Vertical walled Bioretention Area
DMA63	Roof/OpenSpace	2319	514	1804	72	75	At-Grade Vertical walled Bioretention Area
DMA64	Roadway/OpenSpace	6501	1699	4802	192	212	Silva Cell
DMA65	Roof/OpenSpace	5797	310	5487	219	220	Silva Cell
DMA66	Roof/OpenSpace	3688	491	3197	136	140	At-Grade Vertical walled Bioretention Area
DMA67	Roof/OpenSpace	5924	310	5614	225	225	Silva Cell
DMA68	Roof/OpenSpace	1790	175	1615	65	65	At-Grade Vertical walled Bioretention Area
DMA69	Roof/OpenSpace	1289	175	1114	45	46	At-Grade Vertical walled Bioretention Area
DMA70	Roof/OpenSpace	1633	175	1458	58	65	At-Grade Vertical walled Bioretention Area
DMA71	Roof/OpenSpace	1357	175	1182	47	50	At-Grade Vertical walled Bioretention Area
DMA72	Roof/OpenSpace	7334	1289	6044	242	250	Silva Cell
DMA73	Road/Roadway/OpenSpace	7174	1289	5884	235	250	Silva Cell
DMA74	Roadway/OpenSpace	5015	577	4438	178	250	Silva Cell
DMA75	OpenSpace	16420	16420	0	0	0	Self Treating
DMA76	Roof	1451	0	1451	58	60	At-Grade Vertical walled Bioretention Area
DMA77	OpenSpace	804	804	0	0	0	Self Treating
DMA78	Roof	1443	0	1443	58	60	At-Grade Vertical walled Bioretention Area
DMA79	Roof/OpenSpace	1724	591	1133	45	55	At-Grade Vertical walled Bioretention Area
DMA80	Roof/OpenSpace	1889	480	1409	56	67	At-Grade Vertical walled Bioretention Area
DMA81	Roof/OpenSpace	2250	487	1763	71	72	At-Grade Vertical walled Bioretention Area
DMA82	Roadway/OpenSpace	11600	1820	9781	391	391	At-Grade Vertical walled Bioretention Area
DMA83	Roadway/OpenSpace	10189	766	9423	377	380	At-Grade Vertical walled Bioretention Area
DMA84	Roadway/OpenSpace	5910	400	5510	220	240	At-Grade Vertical walled Bioretention Area
DMA85	Roof/OpenSpace	1729	400	1329	51	72	At-Grade Vertical walled Bioretention Area
DMA86	Roof/OpenSpace	1952	480	1472	58	60	At-Grade Vertical walled Bioretention Area
DMA87	Roof/OpenSpace	4503	481	4012	160	211	At-Grade Vertical walled Bioretention Area
DMA88	Roof/OpenSpace	2777	480	2297	92	98	At-Grade Vertical walled Bioretention Area
DMA89	Roof/OpenSpace	2699	487	2212	89	69	At-Grade Vertical walled Bioretention Area
DMA90	Roof/OpenSpace	5251	310	4941	198	220	Silva Cell
DMA91	Roof/OpenSpace	1862	542	1319	53	100	At-Grade Vertical walled Bioretention Area
DMA92	Roof/OpenSpace	1723	265	1458	58	65	At-Grade Vertical walled Bioretention Area
DMA93	Roof	1483	0	1483	59	59	At-Grade Vertical walled Bioretention Area
DMA94	Roof/OpenSpace	1457	300	1157	48	65	At-Grade Vertical walled Bioretention Area
DMA95	Road/Roadway/OpenSpace	6872	1289	5583	223	250	Silva Cell
DMA96	Roof/OpenSpace	1782	0	1782	71	80	At-Grade Vertical walled Bioretention Area
DMA97	Roof/OpenSpace	4534	1019	3515	138	138	At-Grade Vertical walled Bioretention Area
DMA98	Roof/OpenSpace	1527	0	1527	61	75	At-Grade Vertical walled Bioretention Area
DMA99	Roof/OpenSpace	1518	0	1518	61	63	At-Grade Vertical walled Bioretention Area
DMA100	Roof/Road/OpenSpace	8051	1818	6233	249	250	Silva Cell
DMA101	Roof/OpenSpace	1300	412	1088	44	75	At-Grade Vertical walled Bioretention Area
DMA102	Roof/OpenSpace	1512	260	1252	50	55	At-Grade Vertical walled Bioretention Area
DMA103	Roof/OpenSpace	1685	0	1685	67	85	At-Grade Vertical walled Bioretention Area
DMA104	Roof/OpenSpace	1671	220	1451	57	80	At-Grade Vertical walled Bioretention Area
DMA105	Roof/OpenSpace	15699	0	15699	628	630	Silva Cell
DMA106	Roof	4993	0	4993	200	200	Silva Cell
DMA107	Roof	8219	0	8219	329	330	Silva Cell
DMA108	Roof/OpenSpace	4817	0	4817	193	193	Silva Cell
DMA109	Roof/OpenSpace	10119	778	9341	374	395	Silva Cell
DMA110	Roof/OpenSpace	1587	0	1587	63	75	At-Grade Vertical walled Bioretention Area
DMA111	Roadway/OpenSpace	4759	508	4251	170	180	At-Grade Vertical walled Bioretention Area
DMA112	Roof/OpenSpace	2456	514	1941	78	90	At-Grade Vertical walled Bioretention Area
DMA113	Roof/OpenSpace	2687	684	2003	72	99	At-Grade Vertical walled Bioretention Area
DMA114	Road/Roadway/OpenSpace	4237	490	3747	150	150	At-Grade Vertical walled Bioretention Area
DMA115	Road/Roadway/OpenSpace	1822	480	1342	54	67	At-Grade Vertical walled Bioretention Area
DMA116	Roof/OpenSpace	1624	487	1136	53	70	At-Grade Vertical walled Bioretention Area
DMA117	Roof/OpenSpace	5251	310	4941	198	220	Silva Cell
DMA118	Roof/OpenSpace	15110	4104	11006	440	480	Silva Cell
DMA119	Roof/OpenSpace	4645	404	4241	170	180	Silva Cell

SILVA CELL DETAILS:

Drawing is for schematic purposes only. Project designer must determine Silva Cell system and pipe sizing, location, overflow design, and slopes to meet project requirements.

Stormwater shall be pre-treated as needed prior to distribution through the Silva Cell system.

Please refer to the Silva Cell standard details and specifications for more information.

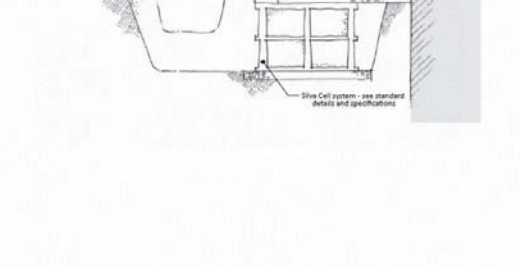
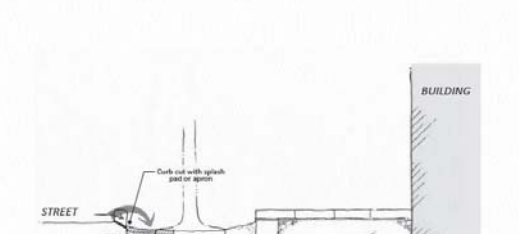


Stormwater and the Silva Cell System
Catch Basin Schematic

Drawing is for schematic purposes only. Project designer must determine Silva Cell system and pipe sizing, location, overflow design, and slopes to meet project requirements.

Stormwater shall be pre-treated as needed prior to distribution through the Silva Cell system.

Please refer to the Silva Cell standard details and specifications for more information.

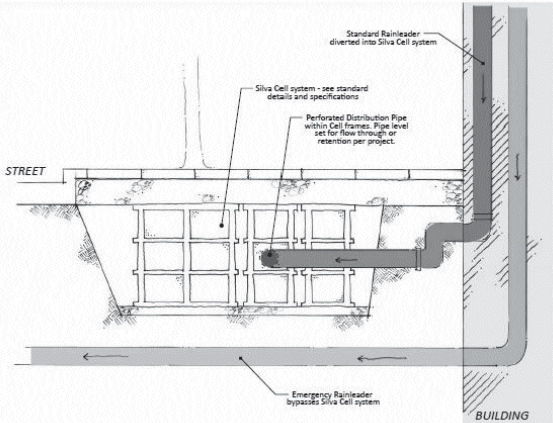


Stormwater and the Silva Cell System
Curb Cut Schematic

Drawing is for schematic purposes only. Project designer must determine Silva Cell system and pipe sizing, location, overflow design, and slopes to meet project requirements.

Stormwater shall be pre-treated as needed prior to distribution through the Silva Cell system.

Please refer to the Silva Cell standard details and specifications for more information.

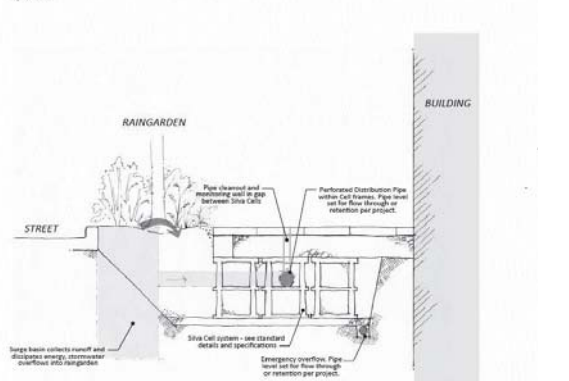


Stormwater and the Silva Cell System
Rainleader Schematic

Drawing is for schematic purposes only. Project designer must determine Silva Cell system and pipe sizing, location, overflow design, and slopes to meet project requirements.

Stormwater shall be pre-treated as needed prior to distribution through the Silva Cell system.

Please refer to the Silva Cell standard details and specifications for more information.



Stormwater and the Silva Cell System
Raingarden Schematic

CONCEPTUAL DETAILS PER SILVA CELL STORM WATER SCHEMATICS

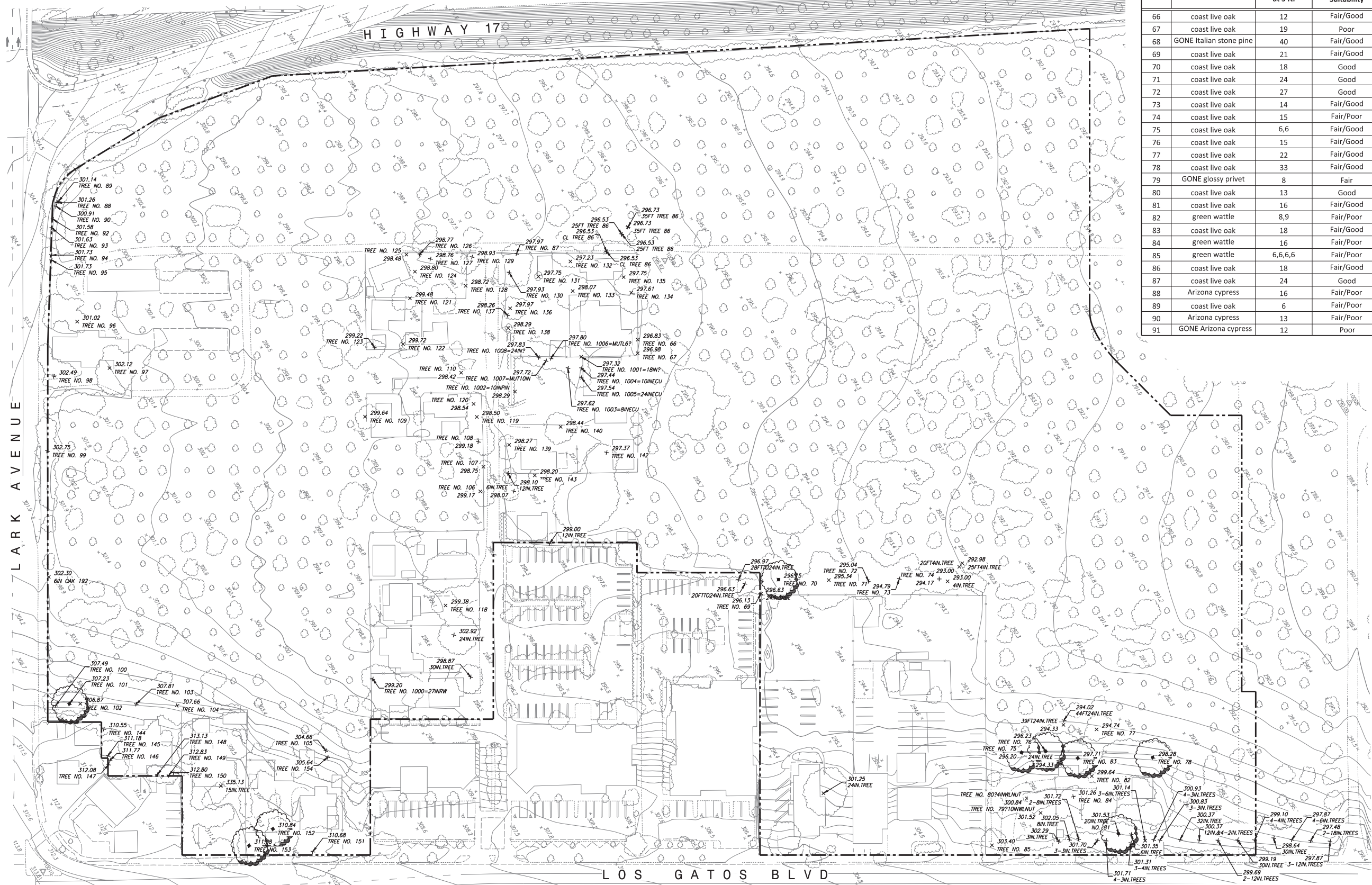
NOTES:

- SILVA CELL SCHEMATIC DESIGN SHALL BE MODIFIED TO LOCATE THE DISTRIBUTION PIPE OF THE TOP OF THE BIORETENTION SOIL MIX
- UNDER DRAINS SHALL BE DESIGNED WITH AN UPWARD ELBOW BEND IN THE PIPE IN ORDER TO MAXIMIZE INFILTRATION AND MINIMIZE DISCHARGE TO THE MAINLINE STORM DRAIN PIPE

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Stormwater Management Concept Plan Details

03-17-2016 10:30am Jacquelyn Bays P:\19756\ENV\UPLANS\SETS\20PH\THREES\BUILDING



Tree #	Common Name	Trunk Diameter at 3 ft.	Preservation Suitability
66	coast live oak	12	Fair/Good
67	coast live oak	19	Poor
68	GONE Italian stone pine	40	Fair/Good
69	coast live oak	21	Fair/Good
70	coast live oak	18	Good
71	coast live oak	24	Good
72	coast live oak	27	Good
73	coast live oak	14	Fair/Good
74	coast live oak	15	Fair/Poor
75	coast live oak	6,6	Fair/Good
76	coast live oak	15	Fair/Good
77	coast live oak	22	Fair/Good
78	coast live oak	33	Fair/Good
79	GONE glossy privet	8	Fair
80	coast live oak	13	Good
81	coast live oak	16	Fair/Good
82	green wattle	8,9	Fair/Poor
83	coast live oak	18	Fair/Good
84	green wattle	16	Fair/Poor
85	green wattle	6,6,6,6	Fair/Poor
86	coast live oak	18	Fair/Good
87	coast live oak	24	Good
88	Arizona cypress	16	Fair/Poor
89	coast live oak	6	Fair/Poor
90	Arizona cypress	13	Fair/Poor
91	GONE Arizona cypress	12	Poor

Tree #	Common Name	Trunk Diameter at 3 ft.	Preservation Suitability
92	Arizona cypress	12,5	Poor
93	coast live oak	14 (2)	Fair/Good
94	Arizona cypress	9	Fair/Good
95	Chinese elm	6	Fair/Good
96	coast live oak	15	Fair/Good
97	Calif. pepper	51 (4)	Unacceptable
98	London plane	15	Fair/Good
99	Chinese elm	7,6,6	Fair/Poor
100	pistache (fruiting)	8,10	Fair
101	coast live oak	13	Fair/Good
102	coast live oak	16 (2,5)	Fair
103	coast live oak	33	Good
104	coast live oak	19	Good
105	coast live oak	20	Fair
106	Calif. pepper	29	Fair/Good
107	black acacia	6	Fair
108	Calif. pepper	40	Fair
109	coast live oak	20	Good
110	toyon	10,8	Fair/Good
118	incense cedar	25	Fair/Poor
119	fruitless mulberry	9 (4)	Fair
120	glossy privet	13	Fair
121	glossy privet	10	Fair
122	incense cedar	23	Good
123	coast live oak	15	Good
124	glossy privet	18*3-5	Fair/Poor
125	glossy privet	12,8,5*4	Fair/Poor
126	glossy privet	4,6,4*3,2	Fair/Poor
127	olive	18 (2,5)	Fair/Poor
128	green wattle	7,6,6,4,4	Fair
129	redwood	28	Fair/Poor
130	coast live oak	16	Good/Excellent
131	Calif. fan palm	19	Good
132	Calif. fan palm	23	Good
133	camphor	33	Fair/Poor
134	deodar cedar	26	Fair
135	black locust	23	Poor
136	coast live oak	15	Fair/Good
137	Calif. fan palm	13	Fair
138	Calif. fan palm	23	Good
139	chinaberry	19	Fair/Good
140	black walnut	19	Poor
141	GONE Monterey pine	0	Fair
142	black walnut	26	Poor
143	coast live oak	10	Fair/Good
144	Arizona cypress	9	Fair/Poor
145	Arizona cypress	8	Fair/Poor
146	Arizona cypress	12	Fair
147	Arizona cypress	8	Fair/Poor
148	Arizona cypress	4	Fair/Poor
149	Arizona cypress	7,6	Fair/Poor
150	Arizona cypress	6	Fair
151	deodar cedar	37	Fair
152	deodar cedar	19	Fair/Good
153	coast live oak	13,6	Fair/Good
154	GONE Calif. pepper	31	Fair/Good
180	blue gum	13	Poor
181	blue gum	9,9,8	Fair/Poor
182	coast live oak	18	Good
183	glossy privet	60*1-8	Fair/Poor
184	juniper	10	Fair
185	glossy privet	4,4,4,3,3	Fair/Good
186	glossy privet	9	Fair
187	bigleaf maple	19	Good
188	Crape myrtle	8,6,4,3,3,4,5,4	Fair
189	incense cedar	31	Good
190	glossy privet	8,6,4	Fair/Poor
191	coast live oak	8 (1,5)	Fair/Good
192	coast live oak	5	Good
193	Hollywood juniper	13	Fair/Poor
194	Hollywood juniper	16	Fair/Poor
195	coast live oak	18	Fair

NOTES:

1. ARBORIST REPORT BY DEBORAH ELLIS, MS CONSULTING ARBORIST AND HORTICULTURIST DATED 10/14/20131. ALL TREES WILL BE REMOVED UNLESS NOTED OTHERWISE.
2. ALL TREES NOTED WITHOUT A TREE NUMBER WERE LOCATED BY MACKAY & SOMPS BUT NEED TO BE REVIEWED BY THE CITY ARBORIST.
3. ALL TREES TO BE REMOVED UNLESS OTHERWISE INDICATED (TREE 70 75, 76, 78, 81, 83, 101, 152, 153 TO BE SAVED)

TREE TO BE SAVED (REFER TO ARBORIST REPORT FOR PROTECTION MEASURES)

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Phase I
Tree Disposition Plan



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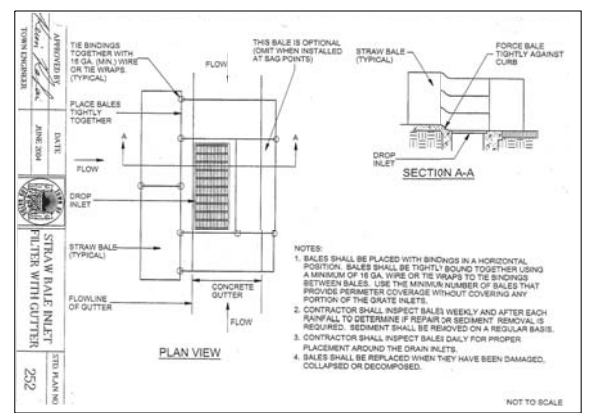
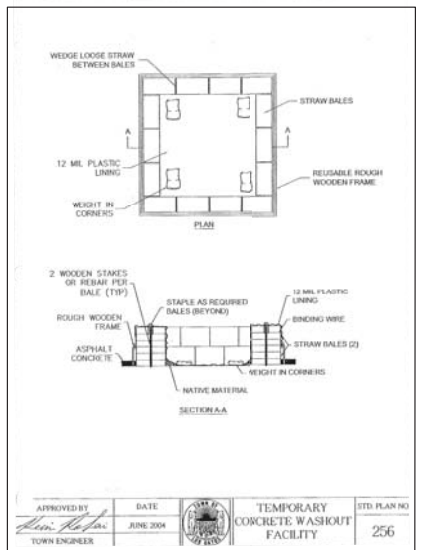
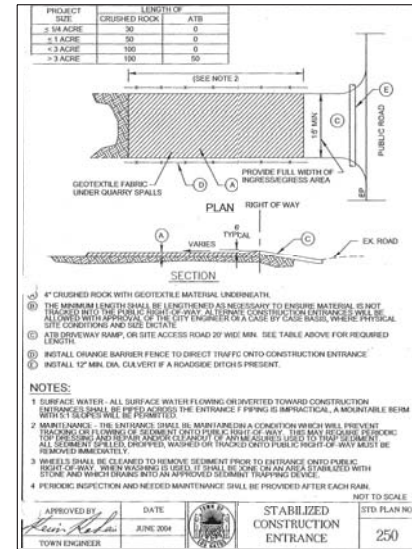
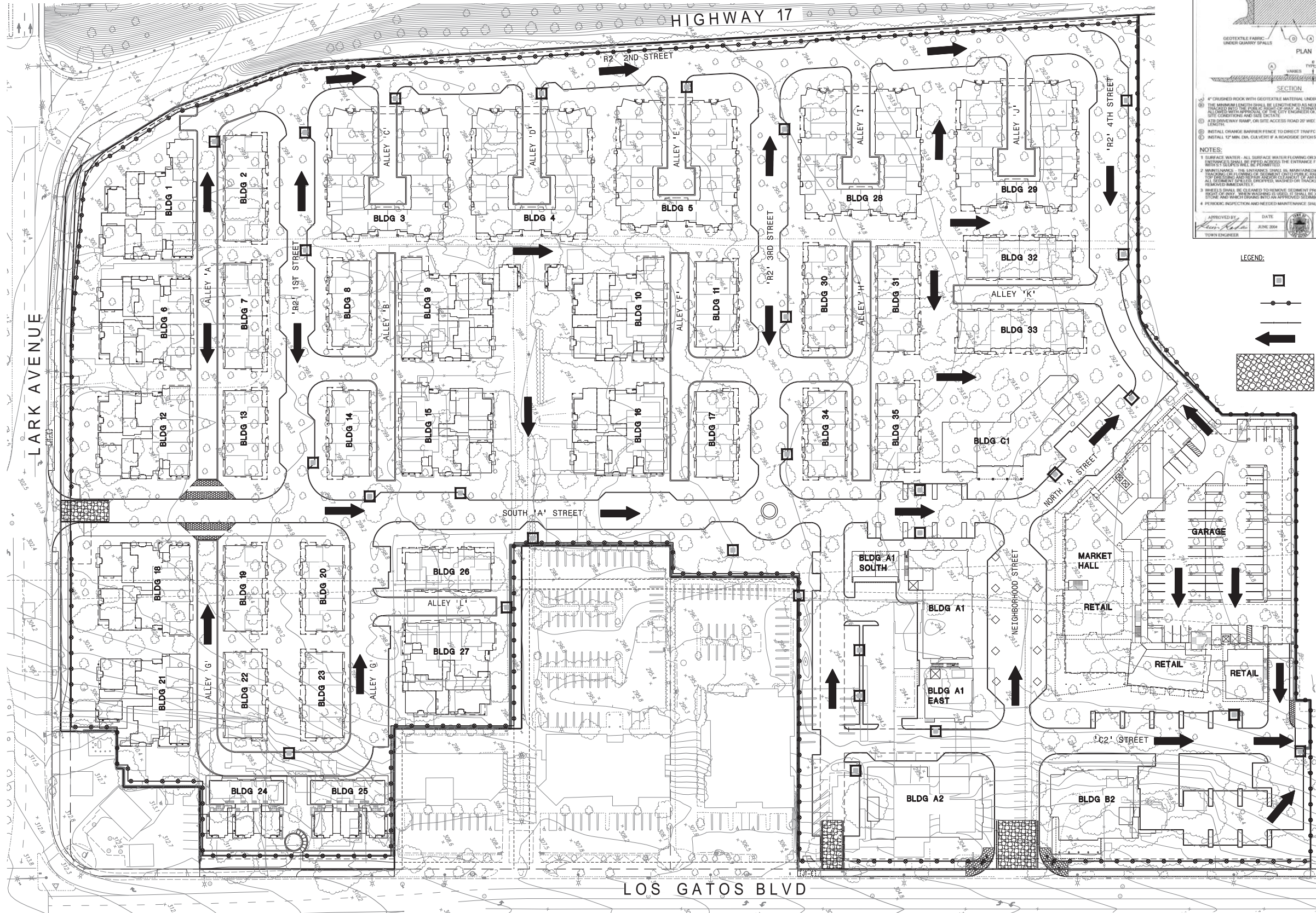
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03-17-2016 10:26am jacquelyn_bays P:\19756\ENV\PLANS\SECTIONS\21 PHASE I\INTERIM EROSION.DWG



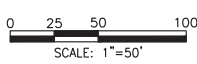
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Phase I Interim Erosion Control Plan



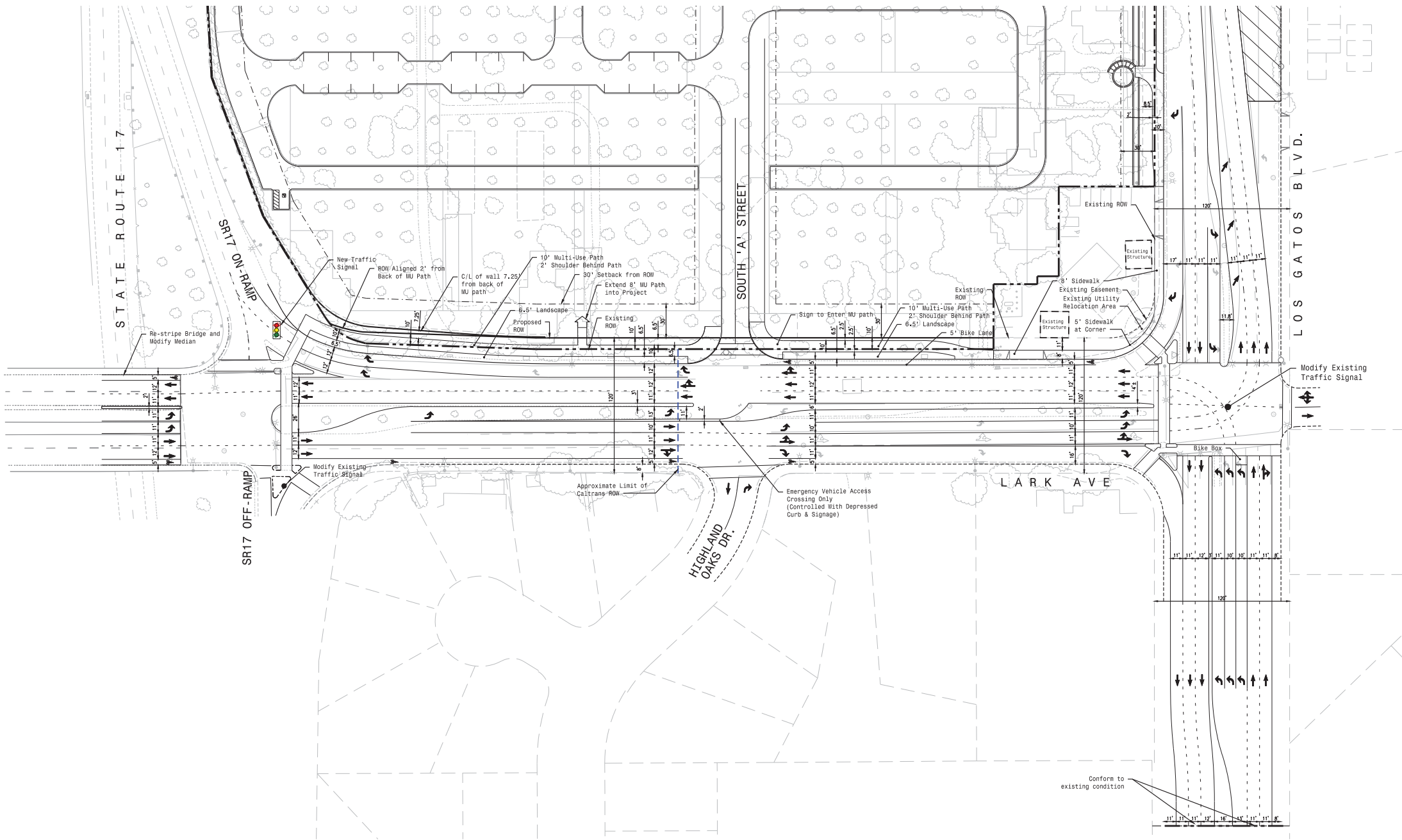
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PROPOSED LARK AVE. IMPROVEMENTS

1. Add third left turn lane from eastbound Lark Ave. to northbound Los Gatos Blvd.
2. Add left turn lane into project at South 'A' Street
3. Modify median to prevent left-in/left-out at Highland Oaks Dr. (allow for EVA crossing).
4. Add 10' multi-use path along Phase 1 frontage.
5. Add westbound bike lane between LGB and South 'A' Street
6. Add eastbound bike lane between SR 17 off-ramp and Highland Oaks Dr.
7. Add new traffic signal at right-turn lanes on to SR17 northbound on-ramp and modify existing Lark/SR17 ramp signal.
8. Add third westbound thru lane between LGB and South 'A' Street
9. Add second right turn lane from westbound Lark to northbound SR17 on-ramp.
10. Green bike box and lane striping as directed by Town Engineer (to be determined with construction drawings).

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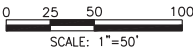
LOS GATOS, CA

Phase I
Offsite Roadway Improvements - Lark Ave

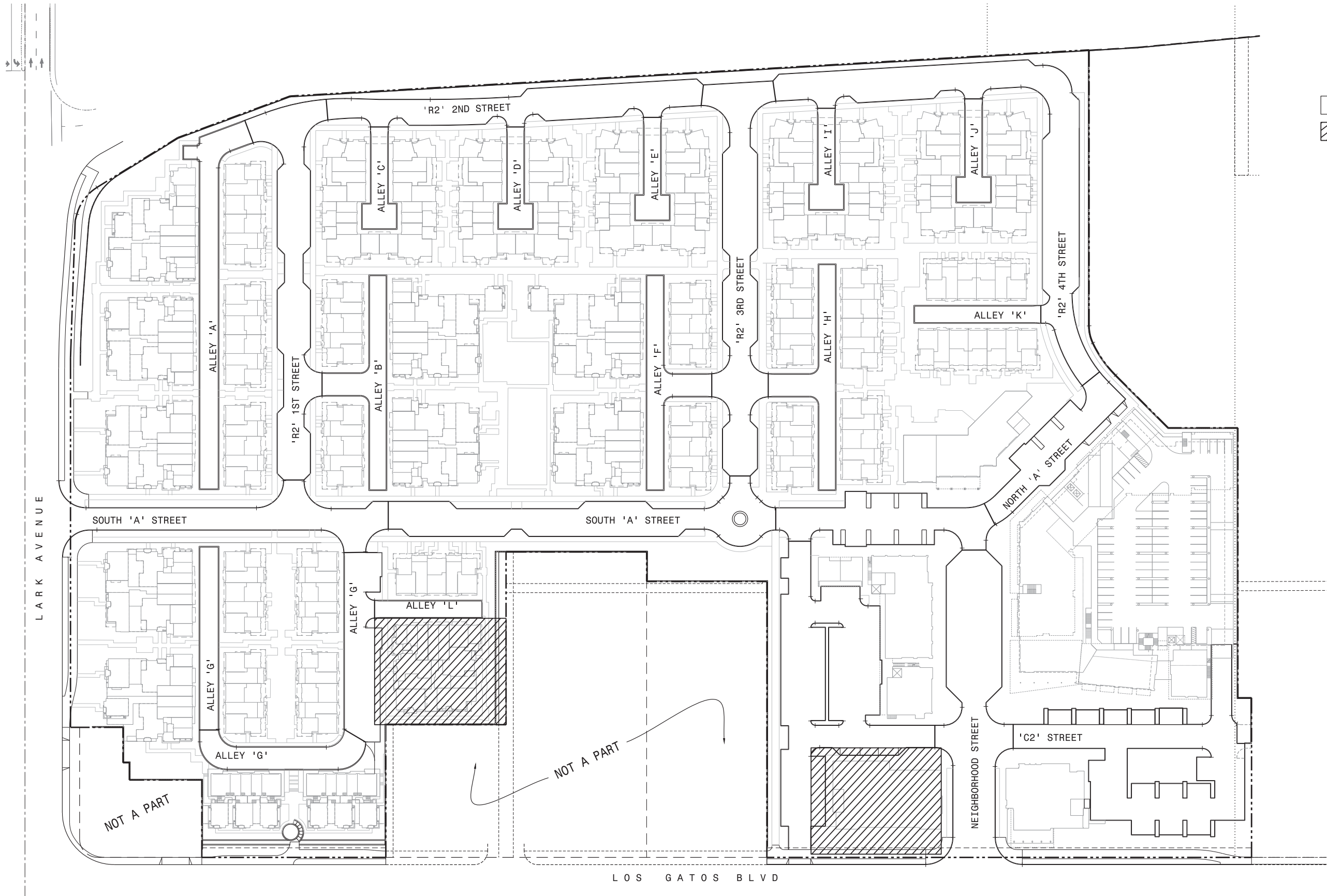


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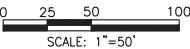
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Phase I
Preliminary Phasing Plan



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03.18.2016



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LOS GATOS, CA

Phase I
Illustrative Site Plan