



**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
SEPTEMBER 27, 2023
TOWN COUNCIL CHAMBERS
110 EAST MAIN STREET
LOS GATOS, CA
4:00 PM**

Barry Cheskin, Chair
Susan Burnett, Vice Chair
Steve Raspe, Planning Commissioner
Martha Queiroz, Committee Member
Lee Quintana, Committee Member

MEETING CALLED TO ORDER

ROLL CALL

VERBAL COMMUNICATIONS *(Members of the public are welcome to address the Committee on any matter that is not listed on the agenda. To ensure all agenda items are heard and unless additional time is authorized by the Chair, this portion of the agenda is limited to 30 minutes and no more than three (3) minutes per speaker. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment.)*

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Items appearing on the Consent Calendar are considered routine and may be approved by one motion. Unless there are separate discussion and/or actions requested by the Committee, staff, or a member of the public, it is requested that items under the Consent Calendar be acted on simultaneously. Any member of the Committee or public may request to have an item removed from the Consent Calendar for comment and action.)*

1. Approval of Minutes – [August 23, 2023](#)

PUBLIC HEARINGS *(Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested or recommended for continuance are subject to the Committee's consent at the meeting.)*

2. 63 Highland Avenue

Request for Review PHST-23-013

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned HR-2 1/2. APN 529 36 044. Exempt Pursuant to CEQA Guidelines Section 15061(b)(3).

Property Owner/Applicant: Minghuang Ma

Project Planner: Savannah Van Akin

(Continued from August 23, 2023)

- [Staff Report and Attachments](#)

3. 17035 Pine Avenue

Request for Review PHST-23-005

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 529-20-010. Exempt Pursuant to CEQA Guidelines Section 15061(b)(3).

Property Owners/Applicants: Garrett and Alive Brown

Project Planner: Jocelyn Shoopman

(Continued from August 23, 2023)

- [Staff Report and Attachments](#)

4. 26 Ashler Avenue

Request for Review Application PHST-23-011

Preliminary Review for Exterior Alterations and Construction of an Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. Located at 26 Ashler Avenue. APN 410-14-042. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owners: Fernando Saenz and Maria Dolores Stacey

Applicant: Clara G. Portillo

Project Planner: Sean Mullin

(Continued from August 23, 2023)

- [Staff Report and Attachments](#)

5. 112 Wilder Avenue

Architecture and Site Application S-23-017

Requesting Approval for Construction of an Addition to a Single-Family Residence to Exceed the Floor Area Ratio Standards on Property Located in the Almond Grove Historic District Zoned R-1D:LHP. APN 510-17-103. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owners: Andrea Grant and Tarek Robbiati

Applicant: Jay Plett

Project Planner: Jocelyn Shoopman

- [Staff Report and Attachments](#)

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

None.

ADJOURNMENT

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104].

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 09/27/2023

ITEM: 1

**DRAFT
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING
AUGUST 23, 2023**

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on August 23, 2023, at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Vice Chair Susan Burnett, Planning Commissioner Steve Raspe, Committee Member Martha Queiroz, and Committee Member Lee Quintana.

Absent: Chair Barry Cheskin.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – July 26, 2023

MOTION: **Motion by Commissioner Raspe to approve the Consent Calendar.
Seconded by Member Queiroz.**

VOTE: **Motion passed unanimously.**

PUBLIC HEARINGS

2. 385 Bella Vista Avenue
Request for Review PHST-23-007

Requesting Approval for Construction of Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 529-21-009. Categorically Exempt Pursuant to CEQA Guidelines Section 15301 Existing Facilities.

Property Owner: Anthony Masterson

Applicant: Sherman Lee

Project Planner: Maria Chavarin/Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Jimmy Turner, Designer

- They have responded to all the requests. They looked at different windows and brought in samples for comparison. The existing windows are vinyl and are already warping. The originally proposed windows were the Anderson A100 Series. After the discussion about wood windows, they looked at the Marvin Elevate line of wood fiberglass clad windows. These have an articulated grid system, mitered corners, and can be painted a dark bronze brown.

Committee members asked questions of the applicant.

Jimmy Turner, Designer

- The two front windows are bedroom windows that require egress. There are also two smaller bathroom windows.
- They would try to use a similar front door style. There is no proof that the existing side door is or is not an original door.

Closed Public Comment.

Committee members discussed the matter.

- They responded to our suggestions.
- Vast improvement on what is currently there.
- Don't know what was originally there but the improvements follow the style flavor.
- Like the divisions in the window.
- Like using the original door on the side, in the front.
- Foam window trim revised to wood trim.

MOTION: **Motion by Commissioner Raspe** to approve Construction of Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 529-21-009. Categorically Exempt Pursuant to CEQA Guidelines Section 15301 Existing Facilities. This includes an Amendment Consider That the Door Currently Being Used on the Side be Used in the Front Doorway. **Seconded by Member Queiroz.**

VOTE: **Motion passed 3-1. Committee Member Quintana opposed.**

Appeal rights were recited.

3. 63 Highland Avenue

Request for Review PHST-23-013

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned HR-2 1/2. APN 529 36 044. Exempt Pursuant to CEQA Section 15061(b)(3).

Property Owner/Applicant: Minghuang Ma

Project Planner: Savannah Van Akin

Savannah Van Akin, Assistant Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Minghuang Ma, Owner

- They bought the property last year and are available for questions.
- The addition was done in 1982. It consisted of enlarging the kitchen area, adding a bathroom, removing two porches, and changing the front of the structure.

Closed Public Comment.

Committee members discussed the matter.

- The only reason this property is on the Historic Inventory is because it was built in 1915. It is not in an overlay zone, not in the Bloomfield Survey, nor on the Sanborn map.
- There was a significant remodel in the 1980's.
- Was it located so far back from the road that it was missed being on the survey or map?
- It no longer has any original characteristics, except for the window openings.
- The Town is losing the character of its smaller homes.
- There are no redeeming qualities to keep it on the Historic Inventory.
- If taken off the inventory, they could change the size and look of the house. But it should still fit in with the look of the neighborhood.
- It is the purview of the HPC to maintain the small cottages of the Town.
- The second structure retains character.
- Are there two houses on the property?

Committee members asked questions of the applicant.

Minghuang Ma, Owner

- They don't know why there is a second address. There is only one parcel and one dwelling unit. Address 65 is a garage. The address 63 first appeared in the 1940's.

MOTION: **Motion by Committee Member Quintana** to Continue the Item for the Applicant to Clarify What Structures Are at the Addresses of 63 and 65 Highland Avenue. **Seconded by Commissioner Raspe.**

VOTE: **Motion passed unanimously.**

4. 18 Oak Hill Way
Request for Review PHST-23-014

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1D. APN 529-34-052. Exempt Pursuant to CEQA Section 15061(b)(3).

Property Owner/Applicant: Vanessa Young
Project Planner: Ryan Safty

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Vanessa Young, Owner

- Did not find much on the typical lists. It is not on the Sanborn maps.
- The house is 780 square feet. They cannot see what was remodeled. According to one neighbor, maybe one room was expanded.
- It is not in a historic district.
- The surrounding neighbors were taken off the inventory.

Closed Public Comment

Committee members discussed the matter.

- The neighboring homes may have been taken off the inventory because they had been significantly altered.
- The windows look original. The structure maintains the feeling of a typical Los Gatos cottage and early California bungalow.
- It is possible to remodel while keeping its façade and character.
- A feature of the shingle style beach cottage is the lack of details and wall cladding of continuous shingles.
- In favor of it being kept on the inventory due to the finding that the property is of a distinctive characteristic type, time period and method of construction.

MOTION: **Motion by Commissioner Raspe** to Deny the Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1D. APN 529-34-052. Exempt Pursuant to CEQA Section 15061(b)(3). The Finding Made is That the Property is of a Distinctive Characteristic Type, Time Period and Method of Construction. **Seconded by Committee Member Quintana.**

VOTE: **Motion passed unanimously.**

Appeal rights were recited.

5. 17035 Pine Avenue
Request for Review PHST-23-005

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 529-20-010. Exempt Pursuant to CEQA Section 15061(b)(3).

Property Owner/Applicant: Garrett and Alive Brown

Project Planner: Jocelyn Shoopman

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Garrett Brown, Owner/Applicant

- Portions of the building was built in the 1920's. It was remodeled in the 1960's. The windows were replaced. Nothing of historical character has been left.

Closed Public Comment.

Committee members discussed the matter.

- Additions were made in the 1960's. Whatever was there is no longer there. Even though it was built in 1920's there is no discernable style.
- Has features like shiplap siding and the wood windows that have been maintained in the back of the house.
- The front and side show changes but the rest exhibit the 1920's style of a Craftsman type house. The garage, carport, storage room and windows can be remodeled within the style without removal from the inventory.
- From the street it doesn't look like a 1920 house. But at least 2/3 of the house has the original siding and window type.

- Can it be remodeled to look like the original side?
- Wish to preserve it on the inventory.

Committee members asked questions of staff.

Staff: Jocelyn Shoopman, Project Planner

- Being on the Historic Inventory provides differing limitations to the demolition rules for the structure.
- There are no photos of the house taken during the 1920's.

MOTION: **Motion by Vice Chair Burnett** to Deny the Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 529-20-010. Exempt Pursuant to CEQA Section 15061(b)(3).
Seconded by Committee Member Quintana.

VOTE: **Motion failed, 2-2. Commissioner Raspe and Committee Member Queiroz opposed.**

Staff: Jennifer Armer, Planning Manager

- Applicant may resubmit with more information or when there are five Committee Members present.

6. 327 University Avenue

Minor Development in a Historic District Application HS-23-022

Requesting Approval for Construction of Exterior Alterations (Front Door Replacement) to an Existing Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-060. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.
Property Owners/Applicants: Johan Back and Vibha Rao
Project Planner: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Applicant presented the project.

Johan Back and Vibha Rao, Owner/Applicant

- He is available for questions.

Committee members asked questions of the applicant.

Johan Back and Vibha Rao

- The door will be wood and painted burgundy to match the trim on the house.
- They looked at the doors of nearby Queen Ann properties.
- They considered doors that had windows with less details, but they looked modern.
- The existing door functions but was damaged during a break-in.

Closed Public Comment.

Committee members discussed the matter.

- Recommend choosing a different door than what is proposed.
- Like the door's rectangular feature. But the glass feature looks more art deco.
- The door at the 231 University is a closer match to the style of the house.
- The clear half glass can be made opaque for privacy.
- Applicant can work with staff for the final door choice.

MOTION: **Motion by Commissioner Raspe** to Approve the Request for Construction of Exterior Alterations (Front Door Replacement) to an Existing Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-060. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. This includes direction that the door will resemble the door at 231 University or be the chosen style with less ornate glass.
Seconded by Committee Member Quintana.

VOTE: **Motion passed unanimously.**

OTHER BUSINESS (*Up to three minutes may be allotted to each speaker on any of the following items.*)

7. 46 Los Gatos Boulevard
Request for Review PHST-23-015

Preliminary Review for Exterior Alterations and Construction of a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 532-29-016. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Kathleen and Morgan Magid

Applicant: Michelle Kusanovich

Project Planner: Erin Walters

Erin Walters, Associate Planner, presented the staff report.

Opened public comment.

Applicant presented the project.

Michelle Kusanovich, Architect

- The goal is to create a functioning and accessible bedroom suite upstairs within an existing attic space.
- An addition at the front of the house and a back hall was completed by different architect in 1991.
- The floor plan stays the same.
- The addition is slightly over 500 square feet resulting in 2,491 square feet for the house.
- The proposed elevator will be in a closet space at the back of the house.
- Exterior materials will match the existing roof, siding, dentil edging, corbels, etc.
- No windows will be added to the sides to retain neighbors' privacy.
- No new windows on one side.

Committee members asked questions of the applicant.

Michelle Kusanovich, Architect

- Will check the sightline from the front to see if the windows look balanced.
- Can change the sliding doors to be, or look like, French doors.
- One kitchen skylight will be removed, and new ones added elsewhere.
- Enlarging the kitchen window size for more natural light.
- Chimneys were added to the side at some point. They are not original.

Committee members provided the following comments:

- Mimic ground floor with detailing, to simplify.
- Add French doors to the rear.
- Extending the house makes it look like the Stick architecture and corrects the previous addition.
- Stick style has steep roofs, and the proposed back elevation and porch does not reflect the style.
- The addition seems out of proportion.
- Get feedback from the neighbors regarding adding the bulk to the rear.
- Similar style windows at the rear.

Closed public comment.

8. 44 Broadway

Minor Development in a Historic District Application HS-23-021.

Preliminary Review for Exterior Alterations and Construction of a Second-Story Addition Exceeding 100 Square Feet to an Existing Contributing Single-Family Residence and Exterior Modifications of an Existing Detached Garage Located in the Broadway Historic District on Property Zoned R-1D:LHP. APN 510-45-018. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Roberta Scott

Applicant: Gordon K. Wong

Project Planner: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened public comment.

Applicant presented the project.

Gordon K. Wong, Architect, Kevin Yu, Designer, and Roberta Scott, Owner

- It is a Victorian house built in 1890. Some of the exterior is dilapidated.
- Guardrails are too low (24 inches) and need to be retrofitted.
- Main scope of work is in the rear of the house that contains interior stairs.
- The interior stairs have steep measurements (9-inch rise, 10-inch run) with no handrails.
- Exterior siding will not be made of wood, but the profile will match the existing siding.
- Batten boards, and roofing materials will match the existing house.
- Using Heritage brand windows with no lite dividers, 8 feet, and double hung.
- Adding a rear deck to match the style of the house. It will be symmetrical to the house.
- Using French doors and a triple slider door.
- Windows in the stairwell are fixed and rear facing.
- Windows are double hung with no lites.

Committee members provided the following comments as summarized by staff:

Staff: Sean Mullin, Project Planner

- Transoms and scissor trusses appear too modern.
- Rear doors look for Victorian style and consider side lites.
- Massing seems appropriate.
- Railings appear odd with mis-alignment gaps. Applicant will bring in a better model.
- Siding will appear as wood and match the profile. Suggest that applicant bring in samples of the material and possibly the profile.
- Windows are double hung and consider adding side lights to the door.
- Bring 3D model to show that the porch is not too deep.

Closed public comment.

9. 26 Ashler Avenue

Request for Review Application PHST-23-011

Preliminary Review for Exterior Alterations and Construction of an Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. APN 410-14-042.

Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Fernando Saenz and Maria Dolores Stacey

Applicant: Clara G. Portillo

Project Planner: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened and close public comment.

Committee members provided the following comments:

- Window sliders are not consistent with the style of the house.
- Reserve comments until the applicant is present with plans, recommend full sized plans.
- The current front design is not original.
- Consider centering the front door for symmetry.
- The style is 1920 Bungalow Craftsman.
- Prefer the French style accordion door.

ADJOURNMENT

The meeting adjourned at 5:56 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the August 23, 2023 meeting as approved by the Historic Preservation Committee.

Jennifer Armer, AICP, Planning Manager



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 9/27/2023

ITEM NO: 2

DATE: September 22, 2023
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned HR-2 1/2. **Located at 63 Highland Avenue.** APN 529-36-044. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-23-005. Property Owner/Applicant: Minghuang Ma
Project Planner: Savannah Van Akin

BACKGROUND:

On August 23, 2023, the Committee considered a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned HR-2 1/2 located at 63 Highland Avenue. The Committee was supportive of removing 63 Highland Avenue (the primary residence) from the Historic Resources Inventory but had questions regarding a detached structure addressed as 65 Highland Avenue located on the same property. The Committee continued the review to a later date, requesting additional materials on 65 Highland Avenue be provided and that the applicant return for additional review and a formal vote.

DISCUSSION:

Additional materials have now been provided for 65 Highland Avenue, which is shown as a garage on the same lot on 63 Highland Avenue (Attachment 4). The applicant submitted slides outlining the other structures found on 63 Highland Avenue with elevation images and record information found for the structure listed as 65 Highland Avenue (Attachments 4). The applicant found a record showing a construction date of 1946, six years after the Town would consider the structure historic. Attachment 5 is a site map from a building permit from 2010, showing the structure labeled as 65 Highland Avenue as a garage.

PREPARED BY: SAVANNAH VAN AKIN
Assistant Planner

CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, the property would be removed from the Historic Resources Inventory and any proposed alterations would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENT:

Previously received with the August 23, 2023 Staff Report:

1. Applicant's Submittal Packet
2. Property Pictures
3. Town Records

Received with this Staff Report:

4. 65 Highland Ave Report
5. Site Map

Purpose

- This report is supplementary to the 63 Highland Ave research report.
- 63 & 65 Highland Ave are located on the same parcel.

Property History Research

Accessory Buildings on 63 Highland Ave

Property Intro - 2023 buildings (63 & 65 Highland ave)



63 Highland Ave - shed 1



63 Highland Ave - shed 1

- This structure was poorly maintained and previously used as greenhouse.
- No record was found about construction date.



63 Highland Ave - shed 2



63 Highland Ave - shed 2

- This structure was previously used as a dwelling unit.
- It was poorly maintained and now unsafe to enter.
- No record was found about construction date.



63 Highland Ave - accessory buildings conclusion

- One structure was a greenhouse, the other was used a dwelling unit.
- Both structures were poorly maintained. The dwelling unit is unsafe to enter.
- Neither of the structures show any historic characteristics or significance.
- No records were found specifically for these two structures.

Property History Research

65 Highland Ave

65 Highland Ave - intro



65 Highland Ave - intro



North side



East side



West side



South side

65 Highland Ave - intro



65 Highland Ave - intro



65 Highland Ave - history

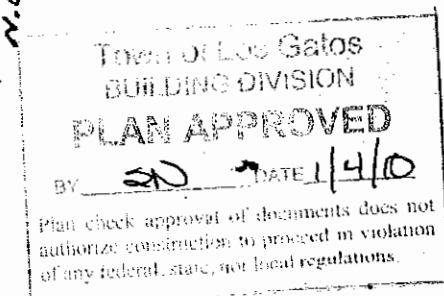
- The building was constructed in 1946.
- No record was found about who designed or built the structure.
- From 1960s to early 70s, Polk’s directory showed three residents:
 - Askevics Jababs, Tada Shin, Narciso Michl C Jr
 - No records show that those residents were famous or made significant contribution to the town.

SANTA CLARA COUNTY RESIDENTIAL UNIT PROPERTY RECORD															RECORD DATA		
ADDRESS															20	MULTIPLE REC.	
#124 Rev 9/70 DISTRICT No. TRACT No. LOT BLOCK															21	CO-OP	CONDOMINIUM
DESCRIPTION OF BUILDING															22	TRACT No.	
ROOM AND FINISH DETAIL															23	AREA	
															24	SUB-AREA	
															25	EMPLOYEE No.	
															26	BUILDING DATA	
															27	APR. 529-36-299	
															28	COST DATE 171	
															29	CONSTRUCTION DATE 1946	
															30	DECISION 001	
															31	EFFECTIVE YEAR 1946	
															32	LIFE TABLE 55	
															33	DEPREC. TABLE 1255	
															34		
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															21	CO-OP	CONDOMINIUM
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															23	AREA	
															24	SUB-AREA	
															25	EMPLOYEE No.	
															26	BUILDING DATA	
															27	APR. 529-36-299	
															28	COST DATE 171	
															29	CONSTRUCTION DATE 1946	
															30	DECISION 001	
															31	EFFECTIVE YEAR 1946	
															32	LIFE TABLE 55	
															33	DEPREC. TABLE 1255	
															34		

65 Highland Ave - conclusion

- The building was constructed in 1946.
- The building was vacant since 1970s.
- The building was poorly maintained.
- The building is not associated with any significant persons (occupants in 1960s-1970s).
- Records were very limited: construction date in county record and reroofing permit in 2010s.

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TOWN OF LOS GATOS
BUILDING DIVISION
B10-0002

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63 Highland Ave

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 09/27/2023

ITEM NO: 3

DATE: September 22, 2023
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. **Located at 17035 Pine Avenue.** APN 529-20-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-23-005. Property Owner/Applicant: Garrett and Alive Brown. Project Planner: Jocelyn Shoopman.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:8 located at 17035 Pine Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1925 per County Assessor's Database
2. Town of Los Gatos Historic Status Code: N/A
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

BACKGROUND:

A request to remove the pre-1941 property from the Historic Resources Inventory was reviewed by the Committee on August 23, 2023. A motion to deny the request to remove the structure from the Historic Resources Inventory failed with a 2-2 vote.

PREPARED BY: Jocelyn Shoopman
Associate Planner

DISCUSSION:

The applicant is requesting approval to remove the presumptive pre-1941 residence from the Historic Resources Inventory. The Santa Clara County Assessor's Database lists a construction date of 1925. The property is not within a historic district or LHP overlay and is not included in the 1990 Anne Bloomfield Survey.

The property is included in the Sanborn Fire Insurance maps beginning in 1928; however, the maps for this portion of Pine Avenue are not clear as to which structure is located on the subject parcel due to the present configurations of property lines having since been modified. Staff has estimated the location of the current parcel outlined in red (Attachment 1). The 1944 and 1956 maps are identical to the 1928 map in the configurations of structures along this portion of Pine Avenue. Based on a comparison of present Google Earth aerial views and the Sanborn maps, it appears that the main residence has been in its current location since at least 1928.

The applicant has provided an informational packet with their application, which includes a summary of the history of the residence, and the research conducted as a part of this request (Attachment 2). Based on the summary letter provided, the estimated construction date based on the research conducted in the 1920's. The original residence had 2 bedrooms and one bath. The applicant states that a primary bedroom and carport/garage/storage area was added to the residence in either the 1950's or 1960's based on the mismatched finishes and features.

In response to comments provided by Committee members at the August 23, 2023, meeting regarding the existing windows, the applicant has provided additional pictures and descriptions in Attachment 3, stating that these features are not original to the structure, given the proposed materials, such as double pane vinyl windows.

The applicant believes that the required findings for removal from the Historic Resources Inventory can be made for this property as the residence is not in its original condition and there is nothing significant or remarkable about it.

The applicant has provided additional pictures and descriptions of each picture of the current residence, provided as Attachment 3. Town records are minimal: inspections for an Accessory Dwelling Unit in 1985, a roofing permit in 1997, a remodel permit in 1998, and mechanical work in 1998 (Attachment 4).

CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, the structure would be removed from the Historic Resources Inventory and any proposed alterations would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

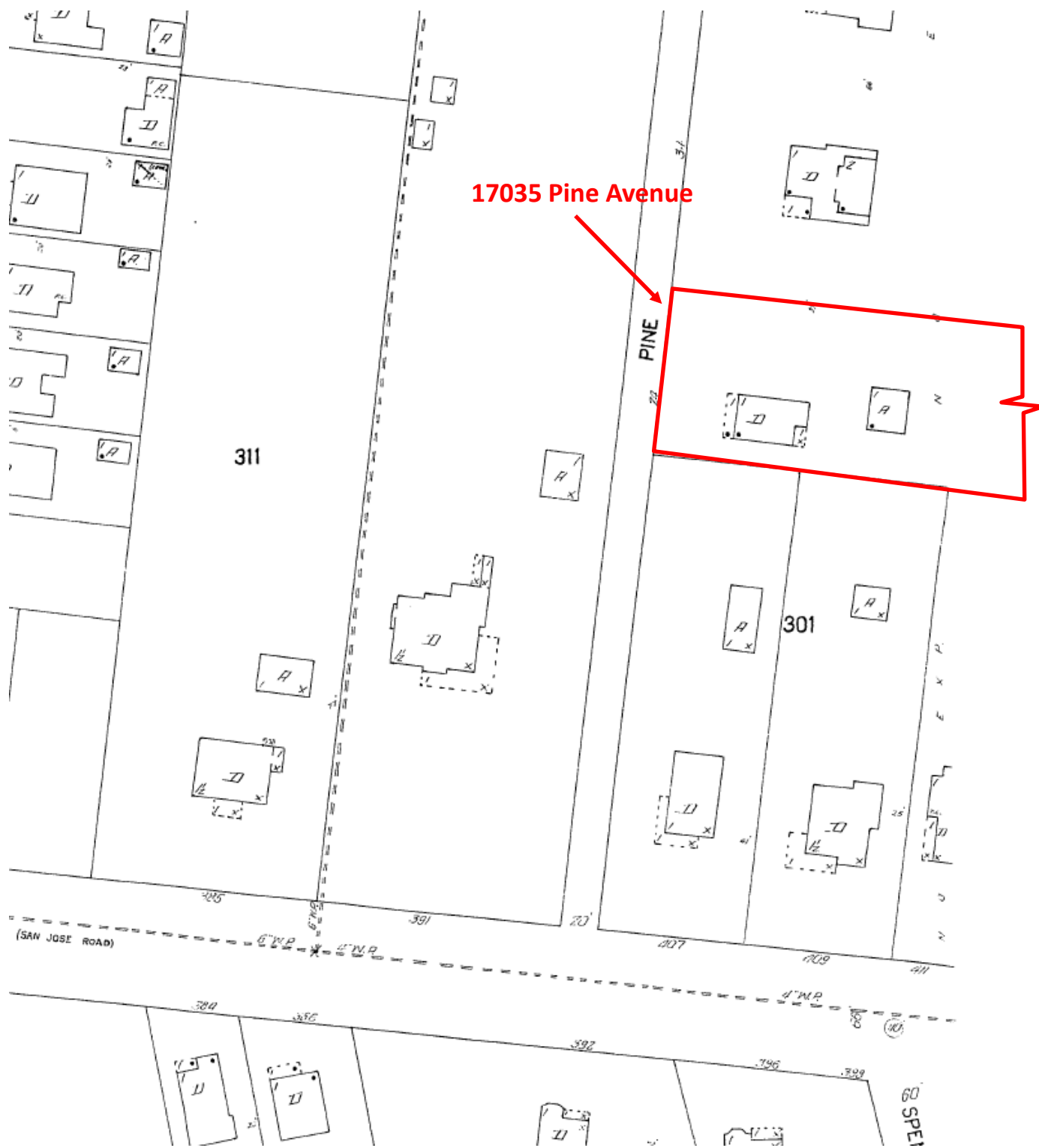
In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENT:

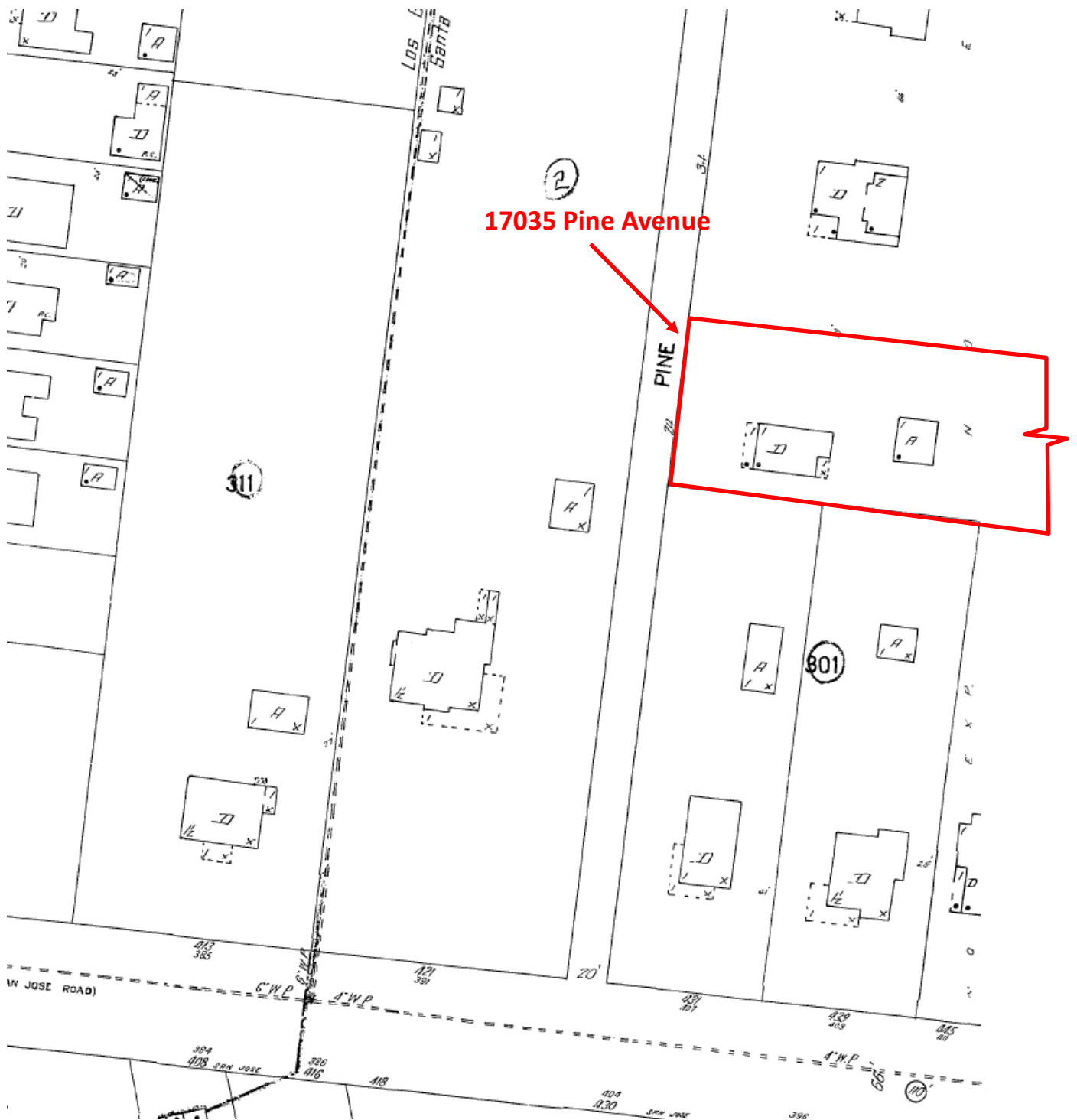
1. Sanborn Maps
2. Applicant's Submittal Packet
3. Property Pictures and Descriptions
4. Town Permit Records

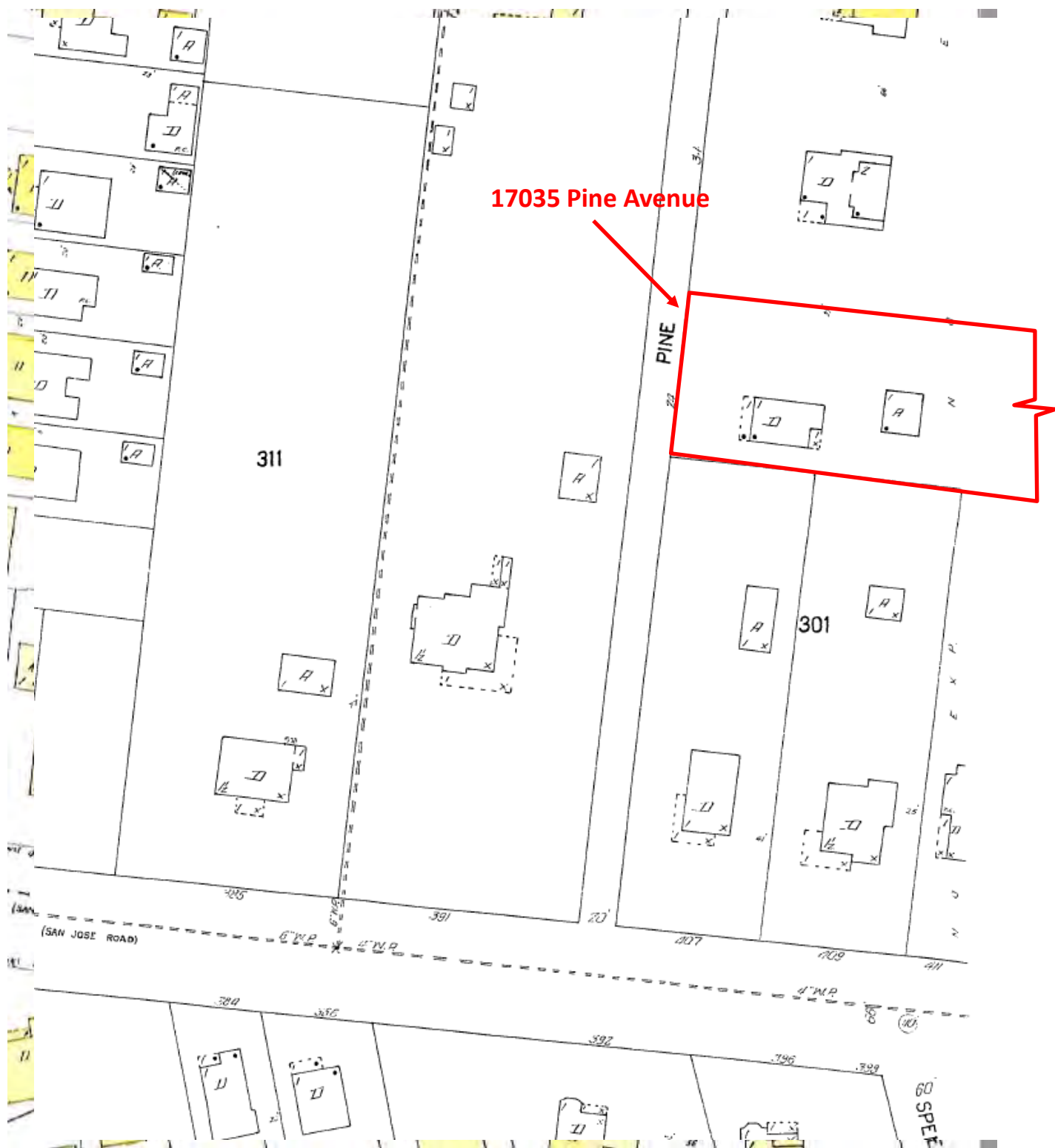
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1928

ATTACHMENT 1





1956

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
HISTORIC RESEARCH WORKSHEET**



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of the historical and architectural characteristics, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The Historic Preservation Committee reviews the application using the Town's Historic District Ordinance requirements. Copies of the ordinance(s) are available at Town Hall. The Committee meets the fourth Wednesday of every month. The filing deadline is 20 days prior to the meeting by 11:00 AM.

The applicant shall research the following (please check the box once you complete your research):

1. Los Gatos Public Library (see How to Research the History of a House in Los Gatos):

- ☒ Sanborn Maps *only partial map found, just first 1/5 of parcel shows.*
- ☒ 1941 Tax Assessment *no record*
- ☒ 1989 Anne Bloomfield Historic Resource Survey forms *not present / no record.*
- ☒ Polk's Directories *no record*
- ☒ Telephone Directories *none found*
- ☒ Other

2. Santa Clara County Resources (especially helpful for properties previously located in the county's jurisdiction):

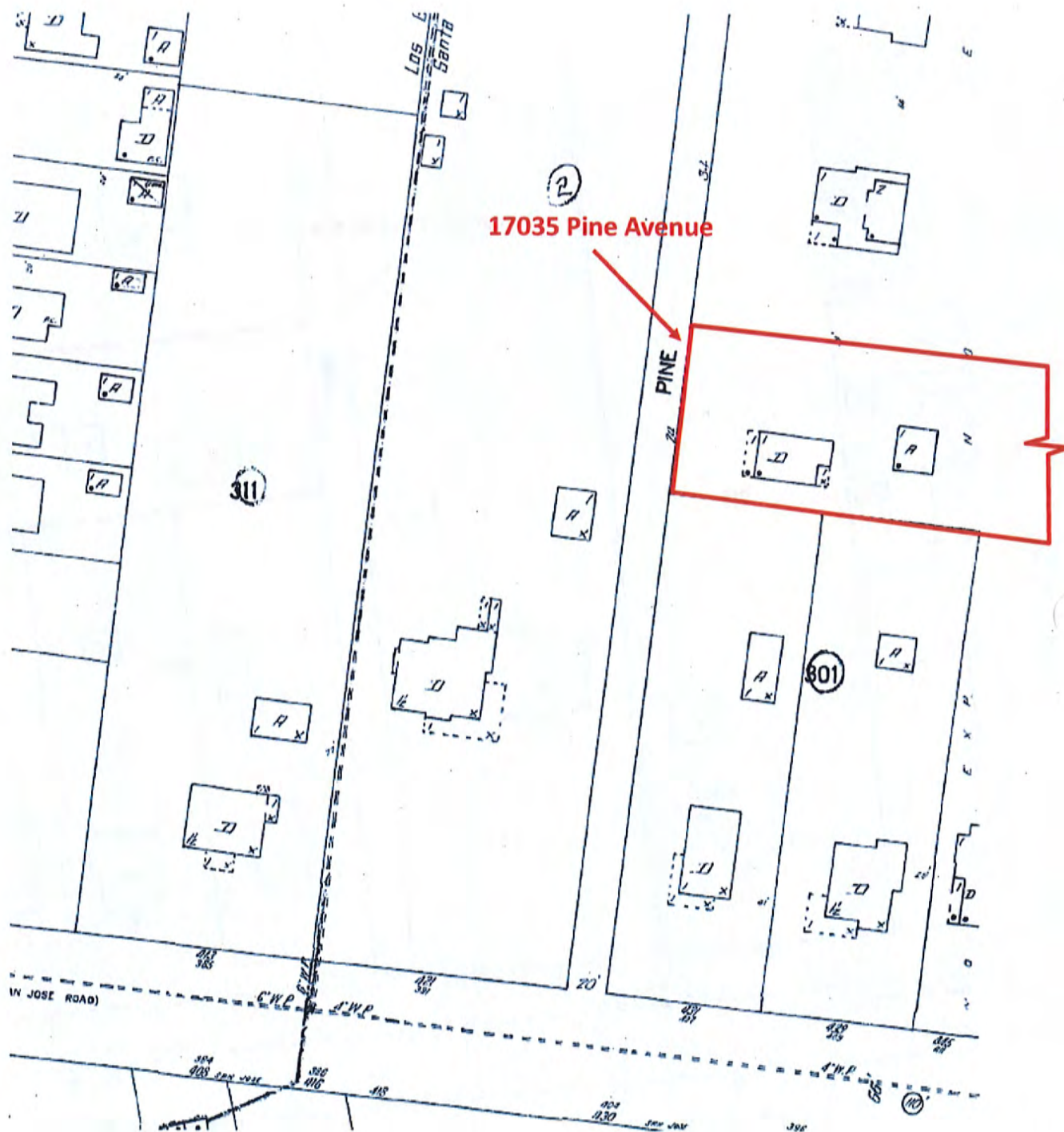
- ☒ Santa Clara County Planning Department records *no record*
- ☒ San Jose Public Library (California Room) *no records*

3. Community Development Department Resources:

- ☒ Sanborn Maps *no records*
- ☒ 1989 Anne Bloomfield Historic Resource Survey forms *no records*
- ☒ Community Development Department property files (permit history) *no records*

Research was conducted on (please enter date): 7/28/23 - 8/1/23

Records and Documents found (please attach copies): _____



Picture descriptions of 17035 Pine that help illustrate why it should be removed from 'historic house status list.'

Overview. This house has seen many modifications over the years. We do believe the original structure is from the late 20's, but we also know that large portions and modifications have been added on in the 50's, 60's and 70's. The original house had a kitchen, two bedrooms with one "Jack and Jill" bathroom, living/dining room, and a 8'x8' root cellar under the NE corner of the house. We believe (by style of materials used) that a master bedroom was grafted on the house in the 50's or 60's which included a carport/garage/storage area, but was never fully enclosed or had a 'garage door.' Aside from its age, there is nothing special about this house that we can find that would denote it is, or was, historic aside from the 1925 build date on record.

Photo 1: view from the street. It can be seen that the front siding is a 60's style, craftsman like, 8" plank siding. The two windows adjacent to the large main window are sash style, but have metal wire mechanisms indicative of replacement sometime around the 60's. The window on the left is the master bathroom window, and it too is of that era and has wire counterweight mechanisms. You can see the roofline flatten out in the left side of the photo where the roof for the master was added.

Photo 2: different angle, but show more of the left side of the house.

Photo 3: shows the addition of the master, again with the 60's style wide plank siding. You can see a crawl space hatch, because the foundation of the house separates the crawl space of the master from the rest of the house, further proving this is an addition to the house long after the original house was there.

Photo 4: this shows the 'carport/garage/storage area' and denotes the NW corner of the house. You can see the roofline of the original house and how this carport was grafted on to the main house long ago.

Photo 5: Closer picture of carport area and scabbed on overhang comprised of corrugated vinyl sheeting.

Photo 6: showing close up of old roofline as it meets newer carport roof added on when master bedroom was grafted on.

Photo 7: back of house. North side, furthest from street. You'll note the older 3" "shiplap siding" that we believe was original to the house. Also shows an overhang scabbed on at some point to protect the back entrance from sun and rain. Plastic corrugated sheeting is obviously not original.

Photo 8: shows modern, double pane large windows inserted between the roof line supports. Guessing it's a wind break or attempt to conceal the area. Double pane windows obviously are not original to the home.

Photo 9: shows back door and back of house. More shiplap siding. Door and door's window hardware suggest the door is not original to the home.

Photo 10: shows the back door hardware. This door has a drop-down glass insert (aluminum framed) within it. This feature would not have been available until the 50's, further evidence this door is not original.

Photo 11: shows the entrance to the 8x8 root cellar. Currently the hot water heater and forced air handler for the heater take up about half the space in the area.

Photo 12: this is the NE corner of the home. Shows shiplap siding.

Photo 13: Shows a modern vinyl window with internal grid design. This window is above the kitchen sink. Obviously not original to the home... likely 90's or later.

Photo 14: shows side door from the Kitchen to the side yard. This is East side of home.

Photo 15: shows SE corner of home looking down the living room and kitchen side of the house. You can see the front corner of the house has the large plank siding and the side has the shiplap. We believe that the shiplap was hard to get or expensive when the master was grafted on and the old owners decided to wrap half the exterior in the plank siding to blend the two sidings as best they could. Just over half of all siding on the house is not original.

Photo 16: Master bedroom window (1960's) showing 60's era window hardware (metal plate and wire retraction mechanism- no counterweights as in 1920's construction.)

Photo 17: Living room (20's construction) windows also have the 60's era window hardware- (Metal wire and retraction mechanism)

Photo 18: shows master bath window that also uses 60's style window hardware. Further evidence that this is not original to the home.

Photo 19: shows a Despard light switch. These arrived on the scene in the late 40's. More evidence of not being original to the home.

Photo 20: Shows popular door styles and when they became popular. Photo 1-2 show the front door. Furthers the evidence that the front door is also not original to the home.

Photo 21: google search of 1950's exterior window shades. Numerous similar pictures of window treatments to further evidence window treatments on exterior are not original to the home.

For the reasons of: obvious additions in the 60's and mismatches in many of the finishes and features that exist, newer double pane windows installed in multiple locations, scabbed on overhangs and carport roofs, separate foundations that do not give access to the opposite side of the crawlspace, zero historical relevance or importance of past owners, and current physical conditions, we feel that this house does not hold any real importance in the way of being considered a historical home. It's not specifically craftsman style, nor farmhouse, nor midcentury modern, but does contain handfults of each. It has no distinct personality, but does show of numerous changes over the years that irretrievably eroded the bulk of the original look and charm. No research we've done shows any trace back to a person or group of relevance or significance to the overall history of Los Gatos or it's early industrial history. It is our belief that this home was a small, ordinary farm type house built in the 20's (with multiple, humble upgrades scattered over the decades) and that it has little to no historical story other than portions of it were constructed in the 20's. Further consider that this house does not match the 'look' of the street at this point. The vast majority of build dates on the street are from the 60's till current (including massive facelifts & additions to some of the older homes on the street.) We could understand the desire to keep it in the registry if this was a street that was brimming with historical background. However, one drive up this street will easily show that there is very little evidence that much of anything would qualify as historical in general. This is my factual and honest evaluation of the home after performing the research the city requires.

Thank you for your time and consideration in this matter,

Respectfully,
Garrett and Alice Brown,







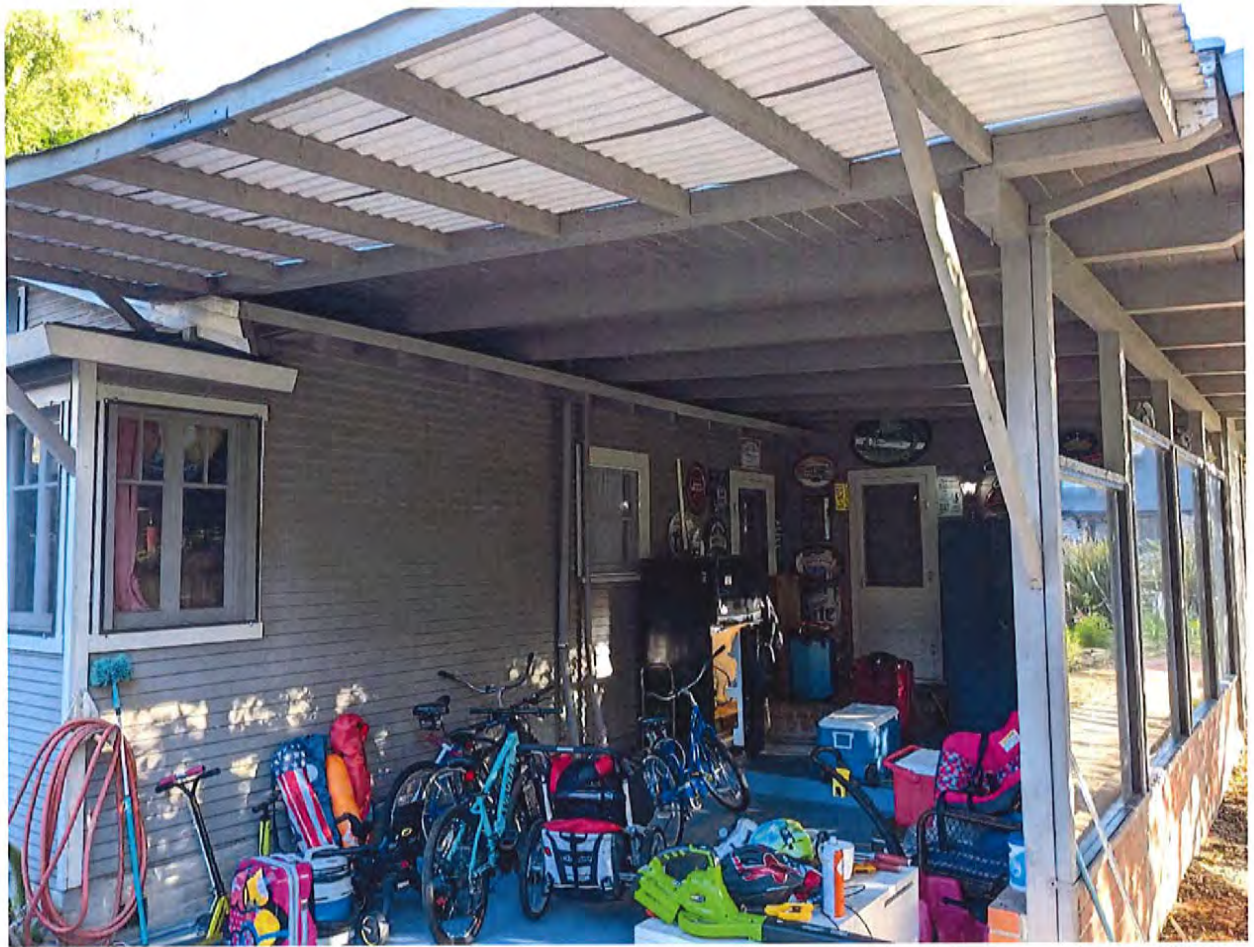
2



3



4





6















13



14



15









©

Default sorting

Showing all 5 results



UNIT 6

Post War Style Hardwood
Timber Door
Z Panel with Quad Profile
KDFHW Vic Ash Timber
Construction
Glass Panels

Post War Style MDF Door
2 Panel with Lambs Tongue
MDF Solid Core Construction

LMT1

1940's / Post War Period Typical Combinations

[Please click here to view all products.](#)

Send message

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1950's vintage aluminum awnings

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mid century century modern window awning vintage window retractable awnings awning ideas front door awning patio house aluminum window patio awning porch

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Related searches

- vintage window awnings
- vintage awnings
- residential aluminum awnings

11:26 AM 9/5/2023

21

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TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT

Permit Number: B98-000002

Work Description: REPLACE 2 BEAMS AND NEW WALL

Building Address: 17035 PINE AV	Status...: ISSUED
Owner.....: BROWN JUDITH & JACK	Applied.: 01/05/1998
Address.....: 17035 PINE AVE	Approved: 01/14/1998
City.....: LOS GATOS CA	Issued...: 01/14/1998
Contractor.....: OWNER/BUILDER	Expires..: 07/13/1998

License.....: 000000
Address.....: SAME
City.....:
Business Lic...: Also is Applicant

Arch\Eng\Design..

License.....:

Address.....:

City.....:

Valuation.....: 250.00

Total Sq.Ft.....: Livable Sq.Ft.:

Class Code.....: 434 Bldg Count: 001 Unit Count: 000

***** PERMIT FEES *****

Permit Issuance..	25.00	Park Tax.....:	.00
Building Permit..	22.00	Planning Plan Ck..	.00
Title-24.....:	.00	Micro Planning...	.00
Seismic Tax.....	.50	Storm Drain Eng..	.00
Plan Check.....	14.30	Road Impact Fee..	.00
Micro Building..	2.00	Computer Services:	1.00
Construction Tax:	.00	Electrical Fee...	
Utility Tax.....	.00	Plumbing Fee.....	
Gen Pln Updt....	.00	Mechanical Fee...	

Total Calculated Fees:	64.80
Total Additional Fees:	.00
Total Fees Due.....:	64.80
Total Payments.....:	.00
BALANCE DUE.....:	64.80

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X _____

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X _____

TOWN OF LOS GATOS

OWNER-BUILDER VERIFICATION

ATTENTION OWNER-BUILDERS!

IF YOU PLAN TO IMPROVE YOUR PROPERTY AND EMPLOY PERSONS OTHER THAN YOUR IMMEDIATE FAMILY, THE FOLLOWING INFORMATION WILL BE OF BENEFIT TO YOU. STATE AND FEDERAL LAWS REQUIRE THAT YOU:

1. REGISTER WITH THE STATE AND FEDERAL GOVERNMENTS AS AN EMPLOYER.
2. WITHHOLD AND REMIT INCOME TAX FOR EACH EMPLOYEE.
3. PAY SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
4. WITHHOLD AND REMIT SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
5. PAY WORKER'S COMPENSATION INSURANCE COSTS ON EACH EMPLOYEE.
6. WITHHOLD AND REMIT DISABILITY INSURANCE COSTS FOR EACH EMPLOYEE.
7. PAY UNEMPLOYMENT INSURANCE COSTS ON EACH EMPLOYEE.

YOU MAY CONSTRUCT IMPROVEMENTS FOR SALE ONLY UNDER SPECIFIC, LIMITED CONDITIONS.

YOU MAY CONSTRUCT IMPROVEMENTS FOR RENTAL-OCCUPANCY ONLY UNDER SPECIFIC, LIMITED CONDITIONS.

YOU MAY SUBCONTRACT PORTIONS OF THE CONSTRUCTION TO ANY PERSON OR FIRM, BUT THEY MUST BE LICENSED BY THE STATE OF CALIFORNIA.

INFORMATION ABOUT INSURANCE, LIEN LAWS, AND OTHER CONSTRUCTION MATTERS MAY BE OBTAINED FROM THE CONTRACTORS STATE LICENSE BOARD AND VARIOUS BUSINESS AND TRADE ASSOCIATIONS.

Please complete and return this information at your earliest opportunity to avoid unnecessary delay in processing and issuing your Building Permit.

1. I personally plan to provide the major labor and materials for construction of the proposed property improvement: ✓ or .
(yes) (no)
2. I have signed an application for a Building permit for the proposed work: ✓ or .
(yes) (no)

I AGREE TO CHECK THAT EACH SUBCONTRACTOR HAS A VALID TOWN OF LOS GATOS BUSINESS LICENSE BEFORE THEY BEGIN WORK. (YOU MAY VERIFY BUSINESS LICENSE STATUS WITH THE FINANCE DEPARTMENT AT 394-6835).

Alice Brown 1/5/98
(SIGNATURE) (DATE)

Property Owner: 17035 Pine Ave
Address: Brown
(Of job site)

0401:FOAMS\OWNER

1798-000002
B98-000002

Permit Number: M98-000002

Work Description: MECH FOR NEW DRYER VENT

Building Address: 17035 PINE AV
Owner..... BROWN JUDITH & JACK
Address..... 17035 PINE AVE
City..... LOS GATOS CA
Zip..... 95032
Contractor..... OWNER/BUILDER
License..... 000000
Address..... SAME
City.....
Zip.....
Business Lic... Also is Applicant

Status...: ISSUED
Applied.: 01/05/1998
Approved: 01/05/1998
Issued...: 01/05/1998
Expires.: 07/04/1998

New Residence:

--Square Footage--
Remodel:

Commercial:

***** PERMIT FEES *****

Permit Issuance.....	25.00
Plan Check Fee.....	1.50
New Residential.....	.00
Remodel.....	.00
Commercial.....	.00
Detail Mechanical Fee:	6.00

Total Calculated Fees:	32.50
Total Additional Fees:	.00
Total Fees Due.....	32.50
Total Payments.....	.00
BALANCE DUE.....	32.50

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature _____

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

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Signature _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation laws of the State of California.

Signature _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above named and property for inspection purposes.

Signature _____

NOTICE: All new mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.30.025 of the Town of Los Gatos Code.

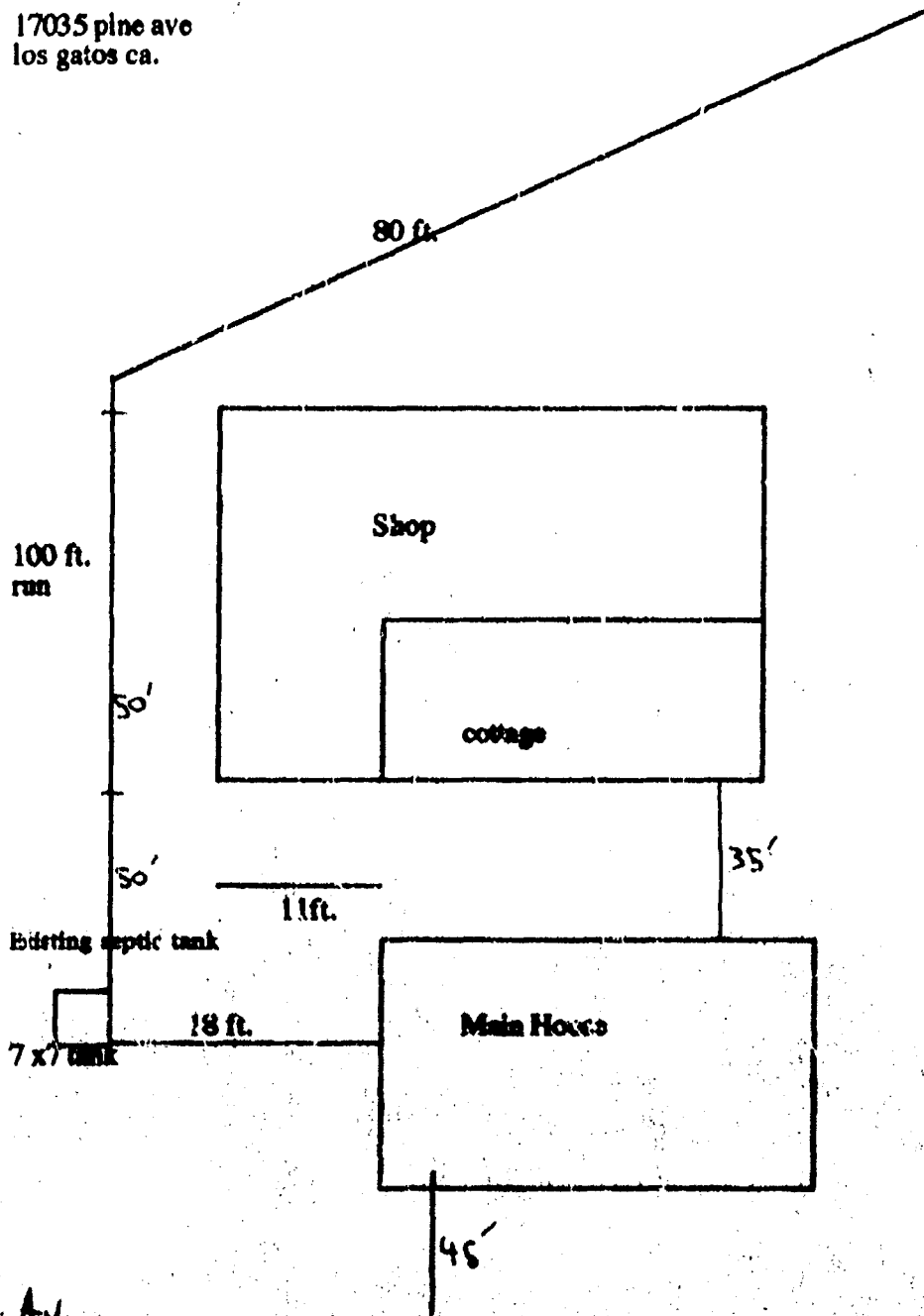
P98-000154

Town of Los Gatos
BUILDING DEPARTMENT
PLAN APPROVED
BY *R. Mason* DATE *4/15/98*
THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO BE A
TO BE AN APPROVAL OF THE VALIDATION OF ANY TOWN OR
STATE LAW.

Office Copy

Existing clean-out to Los Gatos Blvd.

17035 pine ave
los gatos ca.



Pine Av

TOWN OF LOS GATOS

OWNER-BUILDER VERIFICATION

ATTENTION OWNER-BUILDERS!

IF YOU PLAN TO IMPROVE YOUR PROPERTY AND EMPLOY PERSONS OTHER THAN YOUR IMMEDIATE FAMILY, THE FOLLOWING INFORMATION WILL BE OF BENEFIT TO YOU. STATE AND FEDERAL LAWS REQUIRE THAT YOU:

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2. WITHHOLD AND REMIT INCOME TAX FOR EACH EMPLOYEE.
3. PAY SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
4. WITHHOLD AND REMIT SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
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INFORMATION ABOUT INSURANCE, LIEN LAWS, AND OTHER CONSTRUCTION MATTERS MAY BE OBTAINED FROM THE CONTRACTORS STATE LICENSE BOARD AND VARIOUS BUSINESS AND TRADE ASSOCIATIONS.

Please complete and return this information at your earliest opportunity to avoid unnecessary delay in processing and issuing your Building Permit.

1. I personally plan to provide the major labor and materials for construction of the proposed property improvement: Yes or (no).

2. I have signed an application for a Building permit for the proposed work: Yes or (no).

I AGREE TO CHECK THAT EACH SUBCONTRACTOR HAS A VALID TOWN OF LOS GATOS BUSINESS LICENSE BEFORE THEY BEGIN WORK. (YOU MAY VERIFY BUSINESS LICENSE STATUS WITH THE FINANCE DEPARTMENT AT 354-6835).

(SIGNATURE)

(DATE)

Property Owner:

Address:

(Of job site)

01-01 FORM OWNER

**WEST VALLEY SANITATION DISTRICT
SANTA CLARA COUNTY**

100 E. Sunnyoaks Ave., Campbell, CA 95008
(408) 378-2407

SEWER CONNECTION
PERMIT NUMBER

32781

Issue Date

3/02/18

By

FMS

LOCATION:

A.P.N. 529-20-010
Sewer Location: Bk. 8 Pg. 125
Tract _____ Lot _____
Proj. _____ Assmt. _____
Address: 13025
PINE AVE
Jurisdiction LA

BUILDING TYPE:

☒ Single Family
☐ Condominium/Town House
☐ Multiple Dwelling
Number of Units _____
☐ Commercial
☐ Industrial
Other Information: KA
Change in Status: _____

FEES:

Acceage \$ _____
Frontage _____
Service Advance _____
Processing 10.00
Other: _____
Capacity _____

TOTAL

Disposition:

GO	Zone	RL	SJ	

INSTRUCTIONS:

- Street encroachment permit required from _____
- Permit invalid if not connected within 12 months of issue.
- Do not connect until main sewer is accepted by District.
- Obtain a building or plumbing permit from the jurisdiction listed above.

BUILDING SEWER CONNECTION:

_____ Feet _____ of _____ Property
line _____ feet from Main Sewer
and _____ feet deep.
Connection to Main Sewer _____
Feet upstream from M.H. _____
Using _____

BACKFLOW PROTECTION:

_____ Field Check Required
_____ Call District for foundation survey

Device Required: Yes _____ No ☒
Type: _____

KA REPLACES # 28029

Permit Number: P98-000154

Work Description: HOOK UP SEWER 4" LATERAL FRM PROP LN CLN OUT 198'

Building Address: 17035 PINE AV
Owner.....: BROWN JUDITH & JACK
Address.....: 17035 PINE AVE
City.....: LOS GATOS CA
Zip.....: 95032
Contractor.....: OWNER/BUILDER
License.....: 000000
Address.....: SAME
City.....:
Zip.....:
Business Lic...:

Status...: ISSUED
Applied..: 04/15/1998
Approved: 04/15/1998
Issued...: 04/15/1998
Expires..: 10/12/1998

New Residence: --Square Footage--
Remodel: Commercial:

***** PERMIT FEES *****

Permit Issuance.....	25.00
Plan Check Fee.....	.00
New Residential.....	.00
Remodel.....	.00
Commercial.....	.00
Detail Plumbing Fee..	15.00

Total Calculated Fees:	40.00
Total Additional Fees:	.00
Total Fees Due.....	40.00
Total Payments.....	.00
BALANCE DUE.....	40.00

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X _____

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation insurance. A certified copy of that insurance is herewith furnished, and on file with the Town. I further affirm that I will keep the insurance in effect throughout the job.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT INSURANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X _____

PINE AVENUE - 17035



TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS DEPARTMENT

PHONE (408) 354-6881 FAX (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
P.O. BOX 949
LOS GATOS, CA 95031

NOTICE OF EXPIRATION ON PLAN REVIEW APPLICATION

July 10, 1998

Mr. and Mrs. Jack Brown
17035 Pine Avenue
Los Gatos, CA 95030

Expired

JOB ADDRESS: 17035 Pine Avenue

APPLICATION NUMBER: P97-000502 & M98-000002 (Washer & Dryer)

APPLICATION DATE: 12/10/97

EXPIRATION DATE: 07/14/98

Dear Mr. and Mrs. Brown:

We are concerned about the status of your plan review application/permit(s). Your application/permit(s) shall expire if progress on the application and an inspection is not made within 180 days following the date of application (1994 Uniform Building Code Section 107.4). One extension may be granted by the Director of Parks and Public Works Department upon written request.

If you wish to extend your application, please complete the attached form and return it to the Public Works Department. Your request for extension must be received by this department prior to the **EXPIRATION DATE** indicated above. In order to renew action on a plan review application/permit(s) after expiration, the applicant shall resubmit plans and pay a new plan review fee.

Department policy is to dispose of plans and submittal 30 days after the application is voided. If you do not wish to pursue the project or have any questions, please contact Ms. Cherle Strand or Mr. Gary Chao, Counter Technicians at (408)354-6881 of this office within the specified time period to make the appropriate arrangements.

Very truly yours,

Bill Bruckart

Bill Bruckart
Senior Building Inspector

SPR CHER:cher

N:\BAE\CHER\N\HALEXPR\PINE WPD

★REV 8/12/97★



— PINE AVENUE - 17035 —

TOWN OF LOS GATOS
110 E. Main Street
Los Gatos, CA 95030

CORRECTION NOTICE

B.P. No. 197-000002

Work
Location: 17055 17th Av.
Type of
Inspection: S.R. MAIL

Date: 1/2/11

This work has been inspected and the following items do not meet the Town and/or State laws governing the construction of same.

Failed to submit 4 sets of plans
(floor plans) for kitchen remodel
& bedroom upgrade. All work is
interior only.

You are hereby notified that no more work shall be done (unless specifically authorized) upon this structure until the above items are corrected. When corrections are completed, call Building Inspection for a reinspection. Phone: 354-6877.

[Signature]

Inspector

TOWN of LOS GATOS

CIVIC CENTER • 110 EAST MAIN STREET • P.O. BOX 949 • LOS GATOS, CALIFORNIA 95031

SECONDARY DWELLING UNIT PERMIT

GRANTED TO: JUDITH LARKER

PROPERTY OWNER AT: 17035 PINE STREET

PURSUANT TO CHAPTER 3.96 OF THE LOS GATOS ZONING ORDINANCE, APPROVAL IS GRANTED SUBJECT TO CONDITIONS FOR AN EXISTING SECONDARY DWELLING UNIT LOCATED AT, AND DESCRIBED AS FOLLOWS:

APN: 529-20-010

THIS APPROVAL IS SUBJECT TO THE COMPLETION OF CONDITIONS ATTACHED TO THIS PERMIT AS REQUIRED BY THE BUILDING OFFICIAL AND THE TOWN OF LOS GATOS. FAILURE TO COMPLETE ANY OF THESE CONDITIONS WITHIN THEIR RESPECTIVE TIME FRAMES, MAY RESULT IN THE REVOCATION OF THE SECONDARY DWELLING UNIT PERMIT.

DATE ISSUED: OCTOBER 22, 1985

ALL CONDITIONS MUST BE COMPLETED WITHIN 30 DAYS UNLESS SPECIFIED OTHERWISE.

AFFIDAVIT FILED WITH PLANNING DIRECTOR.

APPROVAL DATE

N/A

DECLARATION OF RESTRICTION FILED WITH PLANNING DIRECTOR

N/A

APPROPRIATE BUILDING PERMITS FILED WITH BUILDING OFFICIAL

COMPLETED

FINAL APPROVAL: 11/14/20, 1987

[Signature]
PLANNING DIRECTOR

[Signature]
BUILDING OFFICIAL

SECONDARY DWELLING UNIT PERMIT

REQUEST FOR TIME EXTENSION

Applicant: JUDITH WALKER

Address: 17035 PINE STREET

City, State, Zip: LOS GATOS, CA 95030

Address of Project: 17035 PINE

Building Official's Req: 1. ADD LAVATORY AND FAN FOR VENTILATION IN BATH
2. PRESSURE TEMP. VALVE ON WATER HEATER
3. SMOKE DETECTOR

Reason For Request: ILLNESS

Amount of Time Requested: NOT SPECIFIED

Amount of Time Approved: 6 MONTHS

APPROVED: ☒

DENIED: ☐

Lee E. Bowman
LEE E. BOWMAN
Planning Director

Archie Watson
ARCHIE WATSON
Building Official

Hannington Sept.
Los Gatos, Cal

17438 Pine Ave.
Los Gatos, Calif

Mr. Joe L. Zimmerman

Some problems in obtaining necessary
size road basin for the 'cottage' job
is required by your dept; this may
continue it may not being
able to be finished by July 1st. The
pressure this is putting me under
is not easily handled. May I please
be granted our situation?

Sincerely

Frederick V. Fisher

JUNE 1, 1986

Judith Walker

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS GATOS CA 95030

RE: 17035 PINE ST
579-20-010 / Secondary Dwelling Unit

Dear Property Owner:

A review of department records indicate that final inspection approval has not been made on your application for a secondary dwelling unit.

Please contact the Building Inspection Office at (408) 354-6876 between 4 p.m. and 5 p.m., Monday through Friday, to arrange for reinspection if corrections have been completed.

Section 3.96.040 of the Zoning Ordinance provides that an extension from the July 1, 1986 deadline may be granted for good cause shown. Requests for extensions must be submitted no later than 5:00 p.m., Monday, June 23, 1986.

Very truly yours,

ARCHIE WATSON
Building Official

M:cl

PLANNING DEPARTMENT
(408) 354-6872

February 3, 1986

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS BATOS CA 95030

RE: 17035 PINE ST/529-20-010
Appeal Process of Housing Code Requirements for Secondary
Dwelling Units

Dear Property Owner:

In an effort to clarify any discrepancy or misunderstanding of your appeal rights as a result of previous notices sent to you, this notice is to inform you that any housing code provisions required by the Building Official prior to issuance of a Secondary Dwelling Unit Permit may be appealed to the Town Council under Section 7.01.065 of the Town Code.

Pursuant to Section 7.01.066 of the Town Code, any person wanting to appeal the decision of the Building Official must do so in writing not more than thirty (30) days after the decision is rendered (in this case, not more than thirty (30) days from the date of this notice). The appeal notice shall state clearly the requirement or matter being appealed.

If you have any questions, please contact Kirk Heinrichs of this office.

Very truly yours,

LEE E. DOWMAN
Planning Director

LEB:KEH:c1

PLANNING DEPARTMENT
(408)354-6872

December 17, 1985

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS GATOS CA 95030

RE: 17035 PINE ST
Deed Restriction

Dear Property Owner:

The Town has recently been informed by the County Recorder's office that all property restriction documents must be notarized. You are, therefore, required to have the "Declaration of Deed Restriction" on your secondary dwelling unit notarized.

When these documents are completed, signed and notarized, please return them to this office.

If you have any questions, please contact Kirk Heinrichs of this office.

Thank you for your cooperation.

Very truly yours,

LEE E. GOMBAH
Planning Director

LEB:KH:c1

Enclosure

PLANNING DEPARTMENT
(408)354-6872

October 22, 1985

Judith Walker
17035 Pine Street
Los Gatos, CA 95030

RE: 17035 Pine Street/APN529-20-010/D-85-246
Secondary Dwelling Unit Permit

Dear Property Owner:

A Secondary Dwelling Unit permit will be approved and issued for 17035 Pine Street when the following conditions are completed.

1. The completion of the attached list of housing code requirements to the satisfaction of the Building Official by no later than July 1, 1986.
2. Completion of the enclosed Deed Restriction including the signatures of all property owners and a copy of the property deed, filed with the Planning Director by no later than thirty (30) days after the date of this notice.
3. Completion of the enclosed Affidavit including the signature of the owner residing principally on the property, and filed with the Planning Director by no later than thirty (30) days after the date of this notice.

Failure to complete any of these conditions by their respective times may result in the revocation of your Secondary Dwelling Unit Permit.

At such time when all required conditions are completed to the satisfaction of the Planning Director and the Building Official of the Town of Los Gatos, a permit with final date of approval will be issued.

Per Chapter 3.26 of the Los Gatos Zoning Ordinance, this approval may be appealed to the Planning Commission within ten (10) days of issuance.

If you have any questions regarding this matter, please contact Kirk Heinrichs of this office between the hours of 1:00 and 5:00 p.m.

Very truly yours,

LEE E. BOWMAN
Planning Director

LEB:KH:c1

cc: Sanitation District #4, 100 Sunnyside Avenue, Campbell, CA 95008
PLN01 (J.WALKER)

RECORDING REQUESTED BY:

Town of Los Gatos

WHEN RECORDED MAIL TO:

Planning Director
Town of Los Gatos
P.O. Box 949
Los Gatos, CA 95030

NO FEE - GOV. CODE SEC. 6103

DECLARATION OF RESTRICTIONS

The undersigned, being the owners of the property shown in the Santa Clara County Assessor's Roll and identified as parcel 529-20-010, commonly known as 17035 Pine Street, Los Gatos, California, hereby agree(s) that the property henceforth be subject to the following restrictions:

1. THAT upon such time when title to this property is transferred, owner occupancy is required of either the primary or secondary dwelling unit;
2. THAT upon transfer of that title, the owner occupancy requirement of the Los Gatos Zoning Ordinance, Section 3.96.050, is met in that an owner of the property is residing principally on said property and that he/she shall sign an affidavit declaring this fact under penalty of perjury. Such affidavit shall be filed with the Planning Director annually on October 1;
3. THAT this Declaration of Restrictions is binding on successors and assigns of the owner(s).

Date: _____

Property Owner(s): _____

Approved by the Town of Los Gatos: _____
LEE E. BOWMAN, PLANNING DIRECTOR

TOWN of LOS GATOS

CIVIC CENTER • 110 EAST MAIN STREET • P.O. BOX 949 • LOS GATOS, CALIFORNIA 95031

AFFIDAVIT

I, the undersigned, am an owner of the property commonly known as 17035 Pine St.,
Los Gatos, California, and identified in the Santa Clara County Assessor's Roll as
529-20-010, and that I am currently, and will continue to live on said
property for as long as I own it.

I declare under penalty of perjury that the foregoing is true and correct, executed
this _____ day of _____, 19____ at _____.

Property Owner: _____



TOWN of LOS GATOS
P.O. BOX 949
LOS GATOS, CALIFORNIA 95030
BUILDING DEPARTMENT

October 11, 1985

Judith Walker
17035 Pine Street
Los Gatos, California 95030

RE: Secondary Unit, APN# 529-20-010

In response to your application, an inspection was made to determine requirements for approval of an existing secondary dwelling unit as provided in Section 3.96.010 of the Town Zoning Ordinance.

Attached is the Building Department's report indicating code corrections required for approval. Correction work does require permits from the Building Department and re-inspection. Application for permits may be made through the Building Department.

In addition, it is required that a deed restriction and/or affidavit be recorded with the County Assessor concerning owner occupancy of one of the dwelling units on the property. Once building permit requirements have been finalized, see Kirk Heinrichs in the Planning Department.

Sincerely,

Archie Watson
Building Official

AW:sam
cc: Kirk Heinrichs, Planning Department
Encl.:

TOWN OF LOS GATOS

BUILDING DEPARTMENT

INSPECTION REPORT

Address: 17035 Pine Street, Los Gatos APN# 529-20-010
Date: October 3, 1985
By: M. DOINE
HOUSING INSPECTOR

Inspection of the secondary unit at the above address was made and was found to satisfy minimum housing code requirements except for the following:

1. Add lavatory and fan for ventilation in bath.
2. Add a pressure-temperature relief valve on water heater.
3. Add a smoke detector in bedroom area at ceiling.

Item one requires a plumbing permit.

Also, permits must be obtained for the enclosing "warehouse" structure; these, specifically, are: Building permit, plumbing permit, and electrical permit. Plans must be submitted with these permits, and work is to be completed according to code. When permits have been issued and work has commenced, call the Building Department, 354-6876, for necessary inspections.

APPLICATION FORM

TOWN OF LOS GATOS PLANNING DEPARTMENT
P.O. BOX 949 - LOS GATOS, CA 95030
PHONE: (408) 354-0872

(PLEASE TYPE OR PRINT)

Name of Property Owner JUDITH I. McCOLLUM WALKER		Address 17035 Pine Street	
City Los Gatos, CA 95030	Zip Code 95030	Telephone [REDACTED]	
Name of Business Owner/Agent (if applicable) Timothy A. Lundell, Attorney at Law		Address [REDACTED]	
City [REDACTED]	Zip Code [REDACTED]	Telephone [REDACTED]	
Address of Project 17035 Pine Street, Los Gatos, CA		APN 529-20 10	Present Zoning Unknown
Site Area	Existing Use of Property Primary dwelling plus secondary dwelling	Brief Description of Request Secondary dwelling permit	
List all persons or firms involved in the design of the project (architect, engineer, planner, landscape architect, etc.)			
Capacity	Name (Please Print)	Firm & Address (with zip code)	Telephone
Not Applicable			
PROPERTY OWNERS AND BUSINESS OWNERS OR AGENTS ARE REQUIRED TO SIGN THE APPLICATION			
Property Owner(s) Signatures <i>Judith I. McCollum Walker</i>		Date <i>Sept 24, 1988</i>	
Business Owner(s)/Agent Signatures <i>Timothy A. Lundell</i>		Date <i>Sept 24, 1988</i>	
CHECK TYPE OF APPLICATION(S) FILED			
<input type="checkbox"/> ARCHITECTURE & SITE S-	<input type="checkbox"/> DRAFT ENVIRONMENTAL IMPACT REPORT EIR-		
<input type="checkbox"/> CONDITIONAL USE PERMIT U-	<input type="checkbox"/> REZONING OR PLANNED DEVELOPMENT Z-		
<input type="checkbox"/> VARIANCE V-	Rezoning from _____ to _____		
<input type="checkbox"/> TENTATIVE MAP M-	<input checked="" type="checkbox"/> OTHER Secondary Dwelling Unit Permit		
Total # of parcels created _____		Describe D-85-196	

FOR DEPARTMENT USE ONLY

APPLICATION RECEIVED BY	DATE RECEIVED	ENVIRONMENTAL ASSESSMENT	CASH REGISTER RECEIPT
		Cat. Exempt Section	
		Neg. Declaration Req. Yes/No	
RECEIPT NO.	DEC HEARING DATE	TOTAL FEES	
DISTRIBUTION:			
PW	BLOG	FIRE	PARKS
POLICE	HEALTH	SCVMD	PG&E
SANITATION DIST. #4 OTHER			

Rev.

Permit Number: P97-000502

Work Description: PLUM FOR NEW WASHER/DRYER AND REPLACE TOILET

Building Address: 17035 PINE AV
Owner.....: BROWN JUDITH & JACK
Address.....: 17035 PINE AVE
City.....: LOS GATOS CA
Zip.....: 95032
Contractor.....: OWNER/BUILDER
License.....: 000000
Address.....: SAME
City.....:
Zip.....:
Business Lic...: Also is Applicant

Status...: ISSUED
Applied.: 12/10/1997
Approved: 12/10/1997
Issued...: 12/10/1997
Expires.: 06/08/1998

--Square Footage--
New Residence: Remodel: Commercial:

***** PERMIT FEES *****
Permit Issuance.....: 25.00
Plan Check Fee.....: 3.50
New Residential.....: .00
Remodel.....: .00
Commercial.....: .00
Detail Plumbing Fee...: 14.00

Total Calculated Fees: 42.50
Total Additional Fees: .00
Total Fees Due.....: 42.50
Total Payments.....: .00
BALANCE DUE.....: 42.50

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X.....

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X.....

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature *P Alice Brown*.....

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature *P Alice Brown*.....

TOWN OF LOS GATOS

OWNER-BUILDER VERIFICATION

ATTENTION OWNER-BUILDERS!

IF YOU PLAN TO IMPROVE YOUR PROPERTY AND EMPLOY PERSONS OTHER THAN YOUR IMMEDIATE FAMILY, THE FOLLOWING INFORMATION WILL BE OF BENEFIT TO YOU. STATE AND FEDERAL LAWS REQUIRE THAT YOU:

1. REGISTER WITH THE STATE AND FEDERAL GOVERNMENTS AS AN EMPLOYER.
2. WITHHOLD AND REMIT INCOME TAX FOR EACH EMPLOYEE.
3. PAY SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
4. WITHHOLD AND REMIT SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
5. PAY WORKER'S COMPENSATION INSURANCE COSTS ON EACH EMPLOYEE.
6. WITHHOLD AND REMIT DISABILITY INSURANCE COSTS FOR EACH EMPLOYEE.
7. PAY UNEMPLOYMENT INSURANCE COSTS ON EACH EMPLOYEE.

YOU MAY CONSTRUCT IMPROVEMENTS FOR SALE ONLY UNDER SPECIFIC, LIMITED CONDITIONS.

YOU MAY CONSTRUCT IMPROVEMENTS FOR RENTAL-OCCUPANCY ONLY UNDER SPECIFIC, LIMITED CONDITIONS.

YOU MAY SUBCONTRACT PORTIONS OF THE CONSTRUCTION TO ANY PERSON OR FIRM, BUT THEY MUST BE LICENSED BY THE STATE OF CALIFORNIA.

INFORMATION ABOUT INSURANCE, LIEN LAWS, AND OTHER CONSTRUCTION MATTERS MAY BE OBTAINED FROM THE CONTRACTORS STATE LICENSE BOARD AND VARIOUS BUSINESS AND TRADE ASSOCIATIONS.

Please complete and return this information at your earliest opportunity to avoid unnecessary delay in processing and issuing your Building Permit.

1. I personally plan to provide the major labor and materials for construction of the proposed property improvement: ✓ or .
(yes) (no)
2. I have signed an application for a Building permit for the proposed work: ✓ or .
(yes) (no)

I AGREE TO CHECK THAT EACH SUBCONTRACTOR HAS A VALID TOWN OF LOS GATOS BUSINESS LICENSE BEFORE THEY BEGIN WORK. (YOU MAY VERIFY BUSINESS LICENSE STATUS WITH THE FINANCE DEPARTMENT AT 354-6835).

Alice Brown
(SIGNATURE)

12-10-97
(DATE)

Property Owner: Brown

Address: 17035 Pine Ave
(Of job site)

P97-800

**TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT**

Permit Number: B97-000792

Work Description: T/O COMP & TAR/GRAVEL; REPLACE WITH SAME (CLASS C)

Building Address: 17035 PINE AV	Status...: ISSUED
Owner.....: WALKER JUDITH I LIFE ESTATE	Applied.: 09/02/1997
Address.....: 17035 PINE AVE	Approved: 09/03/1997
City.....: LOS GATOS CA	Issued...: 09/03/1997
Contractor.....: OWNER/BUILDER	Expires..: 03/02/1998
License.....: 000000	
Address.....: SAME	
City.....:	
Business Lic..:	
Arch\Eng\Design..:	
License.....:	
Address.....:	
City.....:	

Valuation.....:	1,972.50		
Total Sq.Ft.....:	1,315	Livable Sq.Ft..:	
Class Code.....: 434		Bldg Count: 001	Unit Count: 000

***** PERMIT FEES *****			
Permit Issuance..:	25.00	Park Tax.....:	.00
Building Permit..:	63.25	Planning Plan Ck.:	.00
Title-24.....:	.00	Micro Planning...:	.00
Seismic Tax.....:	.50	Storm Drain Eng..:	.00
Plan Check.....:	.00	Road Impact Fee..:	19.73
Micro Building..:	5.00	Computer Services:	2.53
Construction Tax:	.00	Electrical Fee....:	
Utility Tax.....:	.00	Plumbing Fee.....:	
Gen Pln Updt....:	.00	Mechanical Fee...:	

Total Calculated Fees:	116.01
Total Additional Fees:	.00
Total Fees Due.....:	116.01
Total Payments.....:	.00
BALANCE DUE.....:	116.01

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X _____

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature X Mike Brown

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X Mike Brown

TOWN OF LOS GATOS

OWNER-BUILDER VERIFICATION

ATTENTION OWNER-BUILDERS!

IF YOU PLAN TO IMPROVE YOUR PROPERTY AND EMPLOY PERSONS OTHER THAN YOUR IMMEDIATE FAMILY, THE FOLLOWING INFORMATION WILL BE OF BENEFIT TO YOU. STATE AND FEDERAL LAWS REQUIRE THAT YOU:

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3. PAY SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
4. WITHHOLD AND REMIT SOCIAL SECURITY COSTS ON EACH EMPLOYEE.
5. PAY WORKER'S COMPENSATION INSURANCE COSTS ON EACH EMPLOYEE.
6. WITHHOLD AND REMIT DISABILITY INSURANCE COSTS FOR EACH EMPLOYEE.
7. PAY UNEMPLOYMENT INSURANCE COSTS ON EACH EMPLOYEE.

YOU MAY CONSTRUCT IMPROVEMENTS FOR SALE ONLY UNDER SPECIFIC, LIMITED CONDITIONS.

YOU MAY CONSTRUCT IMPROVEMENTS FOR RENTAL-OCCUPANCY ONLY UNDER SPECIFIC, LIMITED CONDITIONS.

YOU MAY SUBCONTRACT PORTIONS OF THE CONSTRUCTION TO ANY PERSON OR FIRM, BUT THEY MUST BE LICENSED BY THE STATE OF CALIFORNIA.

INFORMATION ABOUT INSURANCE, LIEN LAWS, AND OTHER CONSTRUCTION MATTERS MAY BE OBTAINED FROM THE CONTRACTORS STATE LICENSE BOARD AND VARIOUS BUSINESS AND TRADE ASSOCIATIONS.

Please complete and return this information at your earliest opportunity to avoid unnecessary delay in processing and issuing your Building Permit.

1. I personally plan to provide the major labor and materials for construction of the proposed property improvement: yes or no .
(yes) (no)
2. I have signed an application for a Building permit for the proposed work:
 yes or no .
(yes) (no)

I AGREE TO CHECK THAT EACH SUBCONTRACTOR HAS A VALID TOWN OF LOS GATOS BUSINESS LICENSE BEFORE THEY BEGIN WORK. (YOU MAY VERIFY BUSINESS LICENSE STATUS WITH THE FINANCE DEPARTMENT AT 354-6835).

Alice Brown 9-3-97
(SIGNATURE) (DATE)

Property Owner: Jack and Alice Brown

Address: 17035 Pine Ave Los Gatos
(Of job site)

B97-000792

Permit Number: E97-000469

Work Description: ELEC TWO NEW METERS

Building Address: 17035 PINE AV
Owner.....: WALKER JUDITH I LIFE ESTATE
Address.....: 17035 PINE AVE
City.....: LOS GATOS CA
Zip.....: 95032
Contractor.....: OWNER/BUILDER
License.....: 000000
Address.....: SAME
City.....:
Zip.....:
Business Lic...:

Status...: ISSUED
Applied.: 10/10/1997
Approved:
Issued...: 10/10/1997
Expires.: 04/08/1998

New Residence: --Square Footage--
Remodel: Commercial:

***** PERMIT FEES *****
Permit Issuance.....: 25.00
Plan Check Fee.....: .00
New Resident.....: .00
Remodel.....: .00
Commercial.....: .00
Detail Electrical Fee: 67.00

Total Calculated Fees: 92.00
Total Additional Fees: .00
Total Fees Due.....: 92.00
Total Payments.....: .00
BALANCE DUE.....: 92.00

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X _____

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X _____

NOTICE:

1. Signs are regulated, See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, showstring lighting is not permitted.

APPLICATION FORM

CHAGN0236
TOWN OF LOS GATOS PLANNING DEPARTMENT
P.O. BOX 745 - LOS GATOS, CA 95030
PHONE: (408) 354-4472

(PLEASE TYPE OR PRINT)

Name of Property Owner JUDITH I. McCOLLUM WALKER		Address 17035 Pine Street	
City Los Gatos, CA 95030	Zip Code 95030	Telephone [REDACTED]	
Name of Business Owner/Agent (If applicable) Timothy A. Lundell, Attorney at Law		Address [REDACTED]	
City [REDACTED]	Zip Code [REDACTED]	Telephone [REDACTED]	
Address of Project 17035 Pine Street, Los Gatos, CA		APN 529-20-10	Present Zoning Unknown
Site Area	Existing Use of Property Primary dwelling plus secondary dwelling	Brief Description of Request Secondary dwelling permit	
(List all persons or firms involved in the design of the project (architect, engineer, planner, landscape architect, etc.)			
Capacity	Name (Please Print)	Firm & Address (with zip code)	Telephone
Not Applicable			
PROPERTY OWNERS AND BUSINESS OWNERS OR AGENTS ARE REQUIRED TO SIGN THE APPLICATION			
Property Owner(s) Signatures	<i>Judith I. McCollum Walker</i>		Date Sept 24 '95
Business Owner(s)/Agent Signatures	<i>Timothy A. Lundell</i>		Date Sept 24 '98
CHECK TYPE OF APPLICATION(S) FILED			
<input type="checkbox"/> ARCHITECTURE & SITE S-	<input type="checkbox"/> DRAFT ENVIRONMENTAL IMPACT REPORT EIR-		
<input type="checkbox"/> CONDITIONAL USE PERMIT U-	<input type="checkbox"/> REZONING OR PLANNED DEVELOPMENT Z-		
<input type="checkbox"/> VARIANCE V-	Rezoning from _____ to _____		
<input type="checkbox"/> TENTATIVE MAP M-	<input checked="" type="checkbox"/> OTHER Secondary Dwelling Unit Permit		
Total # of parcels created _____	Describe D-35 246		

FOR DEPARTMENT USE ONLY

APPLICATION RECEIVED BY	DATE RECEIVED	ENVIRONMENTAL AGENCY	PLANNING DEPARTMENT
		Cat. Exempt Section	
		Neg. Declaration Req. Yes/No	
RECEIPT NO.	DATE HEARING DATE	TOTAL FEES	
DISTRIBUTION:			
PW	BLDG	FIRE	PARKS
POLICE	HEALTH	SCWD	PG&E
SANITATION DIST. #4	OTHER		

Rev.

INSPECTION REPORT

Address: 17035 Pine Street, Los Gatos APN# 529-20-010
Date: October 3, 1985
By: H. DOINE
HOUSING INSPECTOR

Inspection of the secondary unit at the above address was made and was found to satisfy minimum housing code requirements except for the following:

1. Add lavatory and fan for ventilation in bath.
2. Add a pressure-temperature relief valve on water heater.
3. Add a smoke detector in bedroom area at ceiling.

Item one requires a plumbing permit.

Also, permits must be obtained for the enclosing "warehouse" structure; these, specifically, are: Building permit, plumbing permit, and electrical permit. Plans must be submitted with these permits, and work is to be completed according to code. When permits have been issued and work has commenced, call the Building Department, 354-6876, for necessary inspections.



TOWN of LOS GATOS
P.O. BOX 949
LOS GATOS, CALIFORNIA 95030
BUILDING DEPARTMENT

October 11, 1985

Judith Walker
17035 Pine Street
Los Gatos, California 95030

RE: Secondary Unit, APN# 529-20-010

In response to your application, an inspection was made to determine requirements for approval of an existing secondary dwelling unit as provided in Section 3.96.010 of the Town Zoning Ordinance.

Attached is the Building Department's report indicating code corrections required for approval. Correction work does require permits from the Building Department and re-inspection. Application for permits may be made through the Building Department.

In addition, it is required that a deed restriction and/or affidavit be recorded with the County Assessor concerning owner occupancy of one of the dwelling units on the property. Once building permit requirements have been finalized, see Kirk Heinrichs in the Planning Department.

Sincerely,

Archie Watson
Building Official

AW:sam
cc: Kirk Heinrichs, Planning Department
Encl.:

SECONDARY DWELLING UNIT PERMIT

REQUEST FOR TIME EXTENSION

Applicant: JUDITH WALKER

Address: 17035 PINE STREET

City, State, Zip: LOS ANGELES, CA 90030

Address of Project: 17035 PINE

Building Official's Req: 1. ADD LAVATORY AND FAN FOR VENTILATION IN BATH
2. PRESSURE TEMP. VALVE ON WATER HEATER
3. SMOKE DETECTOR

Reason For Request: ILLNESS

Amount of Time Requested: NOT SPECIFIED

Amount of Time Approved: 6 MONTHS

APPROVED: ✓

DENIED: _____

Lee E. Bowman
LEE E. BOWMAN
Planning Director

Archie Watson
ARCHIE WATSON
Building Official

TOWN of LOS GATOS

CIVIC CENTER • 110 EAST MAIN STREET • P.O. BOX 949 • LOS GATOS, CALIFORNIA 95031

SECONDARY DWELLING UNIT PERMIT

GRANTED TO: JUDITH LARKER

PROPERTY OWNER AT: 17035 PINE STREET

PURSUANT TO CHAPTER 3.96 OF THE LOS GATOS ZONING ORDINANCE, APPROVAL IS GRANTED SUBJECT TO CONDITIONS FOR AN EXISTING SECONDARY DWELLING UNIT LOCATED AT, AND DESCRIBED AS FOLLOWS:

APN: 529-20-010

THIS APPROVAL IS SUBJECT TO THE COMPLETION OF CONDITIONS ATTACHED TO THIS PERMIT AS REQUIRED BY THE BUILDING OFFICIAL AND THE TOWN OF LOS GATOS, FAILURE TO COMPLETE ANY OF THESE CONDITIONS WITHIN THEIR RESPECTIVE TIME FRAMES, MAY RESULT IN THE REVOCATION OF THE SECONDARY DWELLING UNIT PERMIT.

DATE ISSUED: OCTOBER 22, 1985

ALL CONDITIONS MUST BE COMPLETED WITHIN 30 DAYS UNLESS SPECIFIED OTHERWISE.

APPROVAL DATE

AFFIDAVIT FILED WITH PLANNING DIRECTOR.

N/A

DECLARATION OF RESTRICTION FILED WITH PLANNING DIRECTOR

N/A

APPROPRIATE BUILDING PERMITS FILED WITH BUILDING OFFICIAL

COMPLETED

FINAL APPROVAL: MAY 20, 1987

[Signature]
PLANNING DIRECTOR

[Signature]
BUILDING OFFICIAL

TOWN of LOS GATOS

CIVIC CENTER • 110 EAST MAIN STREET • P.O. BOX 949 • LOS GATOS, CALIFORNIA 95031

AFFIDAVIT

I, the undersigned, am an owner of the property commonly known as 17035 Pina St.,
Los Gatos, California, and identified in the Santa Clara County Assessor's Roll No
529-20-010, and that I am currently, and will continue to live on said
property for as long as I own it.

I declare under penalty of perjury that the foregoing is true and correct, executed
this _____ day of _____, 19____ at _____.

Property Owner: _____

RECORDING REQUESTED BY:

Town of Los Gatos

WHEN RECORDED MAIL TO:

Planning Director
Town of Los Gatos
P.O. Box 949
Los Gatos, CA 95030

NO FEE - GOV. CODE SEC. 6103

DECLARATION OF RESTRICTIONS

The undersigned, being the owners of the property shown in the Santa Clara County Assessor's Roll and identified as parcel 529-20-010, commonly known as 17035 Pino Street, Los Gatos, California, hereby agree(s) that the property henceforth be subject to the following restrictions:

1. THAT upon such time when title to this property is transferred, owner occupancy is required of either the primary or secondary dwelling unit;
2. THAT upon transfer of that title, the owner occupancy requirement of the Los Gatos Zoning Ordinance, Section 3.96.050, is met in that an owner of the property is residing principally on said property and that he/she shall sign an affidavit declaring this fact under penalty of perjury. Such affidavit shall be filed with the Planning Director annually on October 1;
3. THAT this Declaration of Restrictions is binding on successors and assigns of the owner(s).

Date: _____

Property Owner(s): _____

Approved by the Town of Los Gatos: _____

LEE E. BOWMAN, PLANNING DIRECTOR

PLANNING DEPARTMENT
(408)254-6072

October 22, 1985

Judith Walker
17035 Pine Street
Los Gatos, CA 95030

RE: 17035 Pine Street / P 4529-20-010/D-05-246
Secondary Dwelling Unit Permit

Dear Property Owner:

A Secondary Dwelling Unit permit will be approved and issued for 17035 Pine Street when the following conditions are completed.

1. The completion of the attached list of housing code requirements to the satisfaction of the Building Official by no later than July 1, 1986.
2. Completion of the enclosed Deed Restriction including the signatures of all property owners and a copy of the property deed, filed with the Planning Director by no later than thirty (30) days after the date of this notice.
3. Completion of the enclosed affidavit including the signature of the owner residing principally on the property, and filed with the Planning Director by no later than thirty (30) days after the date of this notice.

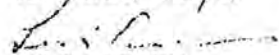
Failure to complete any of these conditions by their respective times may result in the revocation of your Secondary Dwelling Unit Permit.

At such time when all required conditions are completed to the satisfaction of the Planning Director and the Building Official of the Town of Los Gatos, a permit with final date of approval will be issued.

Per Chapter 3.26 of the Los Gatos Zoning Ordinance, this approval may be appealed to the Planning Commission within ten (10) days of issuance.

If you have any questions regarding this matter, please contact Kirk Heinrichs of this office between the hours of 1:00 and 5:00 p.m.

Very truly yours,


LEE E. BIQUINN
Planning Director

LEB:KH:c1

cc: Sanitation District #1, 100 Sunnyoaks Avenue, Campbell, CA 95009
PLN01 (J.WALKER)

PLANNING DEPARTMENT
(408)364-6072

December 17, 1985

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS GATOS CA 95030

RE: 17035 PINE ST
Deed Restriction

Dear Property Owner:

The Town has recently been informed by the County Recorder's office that all property restriction documents must be notarized. You are, therefore, required to have the "Declaration of Deed Restriction" on your secondary dwelling unit notarized.

When those documents are completed, signed and notarized, please return them to this office.

If you have any questions, please contact Kirk Heinrichs of this office.

Thank you for your cooperation.

Very truly yours,

LEE E. DOWMAN
Planning Director

LED:KH:cj

Enclosure

PLANNING DEPARTMENT
(409) 354-6072

February 3, 1986

JUDITH WALKER

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS GATOS CA 95030

RE: 17035 PINE ST/529-20-010
Appeal Process of Housing Code Requirements for Secondary
Dwelling Units

Dear Property Owner:

In an effort to clarify any discrepancy or misunderstanding of your appeal rights as a result of previous notices sent to you, this notice is to inform you that any housing code provisions required by the Building Official prior to issuance of a Secondary Dwelling Unit Permit may be appealed to the Town Council under Section 7.01.065 of the Town Code.

Pursuant to Section 7.01.066 of the Town Code, any person wanting to appeal the decision of the Building Official must do so in writing not more than thirty (30) days after the decision is rendered (in this case, not more than thirty (30) days from the date of this notice). The appeal notice shall state clearly the requirement or matter being appealed.

If you have any questions, please contact Kirk Heinrichs of this office.

Very truly yours,

LEE E. BOWMAN
Planning Director

LEB:KEH:cl

JUNE 1, 1986

Judith Walker

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS GATOS CA 95030

RE: 17035 PINE ST
529-20-010 / Secondary Dwelling Unit

Dear Property Owner:

A review of department records indicate that final inspection approval has not been made on your application for a secondary dwelling unit.

Please contact the Building Inspection Office at (408) 354-6876 between 4 p.m. and 5 p.m., Monday through Friday, to arrange for reinspection if corrections have been completed.

Section 3.96.040 of the Zoning Ordinance provides that an extension from the July 1, 1986 deadline may be granted for good cause shown. Requests for extensions must be submitted no later than 5:00 p.m., Monday, June 23, 1986.

Very truly yours,

ARCHIE WATSON
Building Official

AW:c1

PLANNING DEPARTMENT
(400) 354-6072

February 3, 1986

Jul 1 1986

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS ANGELES CA 90030

RE: 17035 PINE ST/529-20-010
Appeal Process of Housing Code Requirements for Secondary
Dwelling Units

Dear Property Owner:

In an effort to clarify any discrepancy or misunderstanding of your appeal rights as a result of previous notices sent to you, this notice is to inform you that any housing code provisions required by the Building Official prior to issuance of a Secondary Dwelling Unit Permit may be appealed to the Town Council under Section 7.01.065 of the Town Code.

Pursuant to Section 7.01.066 of the Town Code, any person wanting to appeal the decision of the Building Official must do so in writing not more than thirty (30) days after the decision is rendered (in this case, not more than thirty (30) days from the date of this notice). The appeal notice shall state clearly the requirement or matter being appealed.

If you have any questions, please contact Kirk Iwinichs of this office.

Very truly yours,

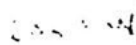
LEE E. BOWMAN
Planning Director

LEB:KEN:cl

1. *Journal of the American Medical Association*, 1997; 277: 1033-1038.

17035 PING ST

Condition	10 years	12 years	14 years
1	~85%	~75%	~65%
2	~75%	~65%	~55%
3	~65%	~55%	~45%
4	~55%	~45%	~35%
5	~45%	~35%	~25%



22.

No. 1 UNIT

17035 Pine St.

TOWN of LOS GATOS

CIVIC CENTER • 110 EAST MAIN STREET • P.O. BOX 949 • LOS GATOS, CALIFORNIA 95031

SECONDARY DWELLING UNIT PERMIT

GRANTED TO: EDWIN LARKER

PROPERTY OWNER AT: 17035 Pine Street

PURSUANT TO CHAPTER 3.96 OF THE LOS GATOS ZONING ORDINANCE, APPROVAL IS GRANTED SUBJECT TO CONDITIONS FOR AN EXISTING SECONDARY DWELLING UNIT LOCATED AT, AND DESCRIBED AS FOLLOWS:

APN. 529-20-010

THIS APPROVAL IS SUBJECT TO THE COMPLETION OF CONDITIONS ATTACHED TO THIS PERMIT AS REQUIRED BY THE BUILDING OFFICIAL AND THE TOWN OF LOS GATOS. FAILURE TO COMPLETE ANY OF THESE CONDITIONS WITHIN THEIR RESPECTIVE TIME FRAMES, MAY RESULT IN THE REVOCATION OF THE SECONDARY DWELLING UNIT PERMIT.

DATE ISSUED: October 22, 1985

ALL CONDITIONS MUST BE COMPLETED WITHIN 30 DAYS UNLESS SPECIFIED OTHERWISE.

	APPROVAL DATE
AFFIDAVIT FILED WITH PLANNING DIRECTOR.	<u>N/A</u>
DECLARATION OF RESTRICTION FILED WITH PLANNING DIRECTOR	<u>N/A</u>
APPROPRIATE BUILDING PERMITS FILED WITH BUILDING OFFICIAL	<u>COMPLETED</u>

FINAL APPROVAL: May 26, 1987

[Signature]
PLANNING DIRECTOR

[Signature]
BUILDING OFFICIAL

COUNTY SANITATION DISTRICT NO. 4
SANTA CLARA COUNTY

1001 - Change of Status, Change of District
-Apply - By Mail

SEWER CONNECTION
PERMIT NUMBER

28029

Issue Date

By

LOCATION:

A.P.N.

Sewer Location: Bk. Pg.

Tract Lot

Proj. Assmt

Address

Jurisdiction

BUILDING TYPE:

Single Family

Condominium/Town Houses

Multiple Dwelling

Number of Units

Commercial

Industrial

Other Information:

Change in Status:

FEE'S:

Acres \$

Frontage

Unit Base

Surcharge

CleanOut Box

Service Advance

Processing

TOTAL

Disposition:

GO	Zone	RI	SI
----	------	----	----

INSTRUCTIONS:

- Street encroachment permit required from
- Permit invalid if not connected within 12 months of issue
- Do not connect until main sewer is accepted by District
- Obtain a building or plumbing permit from the jurisdiction listed above.

BUILDING SEWER CONNECTION:

Feet of Property

line feet from Main Sewer

and feet deep

Connection to Main Sewer

Feet upstream from M.H.

Using

BACKFLOW PROTECTION:

Field Check Required

Call District for foundation survey

Device Required: Yes No

Type:

JURISDICTION BUILDING INSPECTOR'S COPY

17035 PINE AV

APPLICATION FOR PLUMBING PERMIT

FOR APPLICANT TO FILL IN

SIGNATURE

	APPROVALS	INSPECTOR'S SIG.
UNDER FLOOR WORK	<i>[Signature]</i>	
ROUGH PLUMBING		
GAS PIPING		
GAS VENTS		
HOT WATER HEATER		
HOUSE SEWER		
PLUMBING FIXTURES		
GAS TEST		
UTILITY CO. NOTIFIED		
FINAL	<i>[Signature]</i>	

12-5-60

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95030
BUILDING INSPECTION DEPARTMENT - PHONE 354-6876

APPLICATION FOR BUILDING PERMIT

B 10422

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 17035 PIUS ST LOS GATOS

LOT NO.
SECTION
TOWN

OWNER JACK L BROWN

ADDRESS

ARCHITECT SELF

ADDRESS SAGR

CONTRACTOR SELF

ADDRESS

STATE

DESCRIPTION OF WORK

PLAN ZONE AREA SECT TOWN

FEET ACRES

USE OF STRUCTURE

DESCRIPTION OF WORK

CONSTRUCTION TRADING AGENCY

NAME

ADDRESS

IS IT APPLICABLE

CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA AS A CONTRACTOR UNDER THE LAW

X

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKERS COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREBY FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

X

CERTIFICATE OF EXEMPTION FROM WORKERS COMPENSATION INSURANCE

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKERS COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE

BUILDING PERMIT APPROVAL

DATE

PLAN

DEPT

PURPOSE

WORKS

FIRE

DEPT

INSPECTION

DATE

SEAL

CERTIFICATE

TO

THE

PLAN

NO

DEPT

NO

CERTIFICATE

VALIDATION

FEES & TAXES

BUILDING PERMIT

DEMAND TAX

CONSTRUCTION TAX

UTILITY TAX

FLAT CHECK FEE

TOTAL \$

INSPECTION RECORD

VALIDATION

007690 4930 007690

APPROVALS

PROPOSED PROJECT	5-4-83	007690
LOCALS, MATERIALS		
FRAME, FLOORING		
PAINT, FINISHES		
MECHANICAL		
ELECTRICAL		
PLUMBING		
LANDSCAPING		
PAVING AND GRADING		
IMPROVEMENTS		
COMPLETE		
FINAL		

12-5-86

TO ALL OF LOS ANGELES

110 E. MAIN ST., LOS GATOS, CA. 95030
BUILDING INSPECTION DEPARTMENT - PHONE 334-8876

APPLICATION FOR PLUMBING PERMITS

P 12490

FOR APPLICANT TO FILL IN

NO.	ITEM - \$4.00 EA.	NO.	ITEM - \$4.00 EA.
7	WATER CLOSET		LAUNDRY TUB
	BATH TUB		CLOTHES WASHER
1	SHOWER		DISHWASHER
1	LAVATORY		FLOOR DRAIN
	SINK		FLOOR SINK
	DISHWASHER		EXTERIOR SINK
FEE			
ABOVE TOTAL \$104		20 00	
MISCELLANEOUS ITEMS			
	SEWER MAIN	10 00	
	WATER HEATER	5 00	
	WATER SYSTEM	5 00	
	WATER FILTER	5 00	
	WATER SPLITTER	6 00	
	PRIVATE SEWER DISPOSAL	10 00	
	RADIANT WATER SYSTEM DRAIN	2 00	
GAS SYSTEM		5 00	
ADDITIONAL OUTLETS (OVER 5' - \$4 EA)			
PERMIT		10 00	
TOTAL FEE		52 00	

17035 Peric Dr.
USE OF BUILDING
OWNER JACK L. BROWN
MAIL ADDRESS [REDACTED]
CITY [REDACTED] STATE [REDACTED]
DATE 2/4/86
SELF

INSPECTION RECORD
R3 111 04/83
VALIDATION
702534 4929 0035.001

CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTOR'S LICENSE LAW.

X

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

X

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO PLUMBING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE

VALIDATION

APPROVALS		
	DATE	INSPECTOR'S SIGNATURE
UNDER FLOOR WORK	4-28-83	11/73
ROUGH PLUMBING		
GAS PIPING		
GAS VENTS		
HOT WATER HEATER		
HOUSE SEWER		
PLUMBING FIXTURES		
GAS TEST		
UTILITY CO. NOTIFIED		
FINAL	12-5-86	

998-000007

Jack Brown
17035 Pine Ave
Los Gatos

Town of Los Gatos
BUILDING DEPARTMENT
PLAN APPROVED
R.M. Costa MAY 14 1998

THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PROVE OR TO BE AN APPROVAL OF THE VERIFICATION OF ANY OTHER STATE LAW.

Office Copy

Pd varyly Pfg

SECTION DETAILS

FOOTING -DETAILS

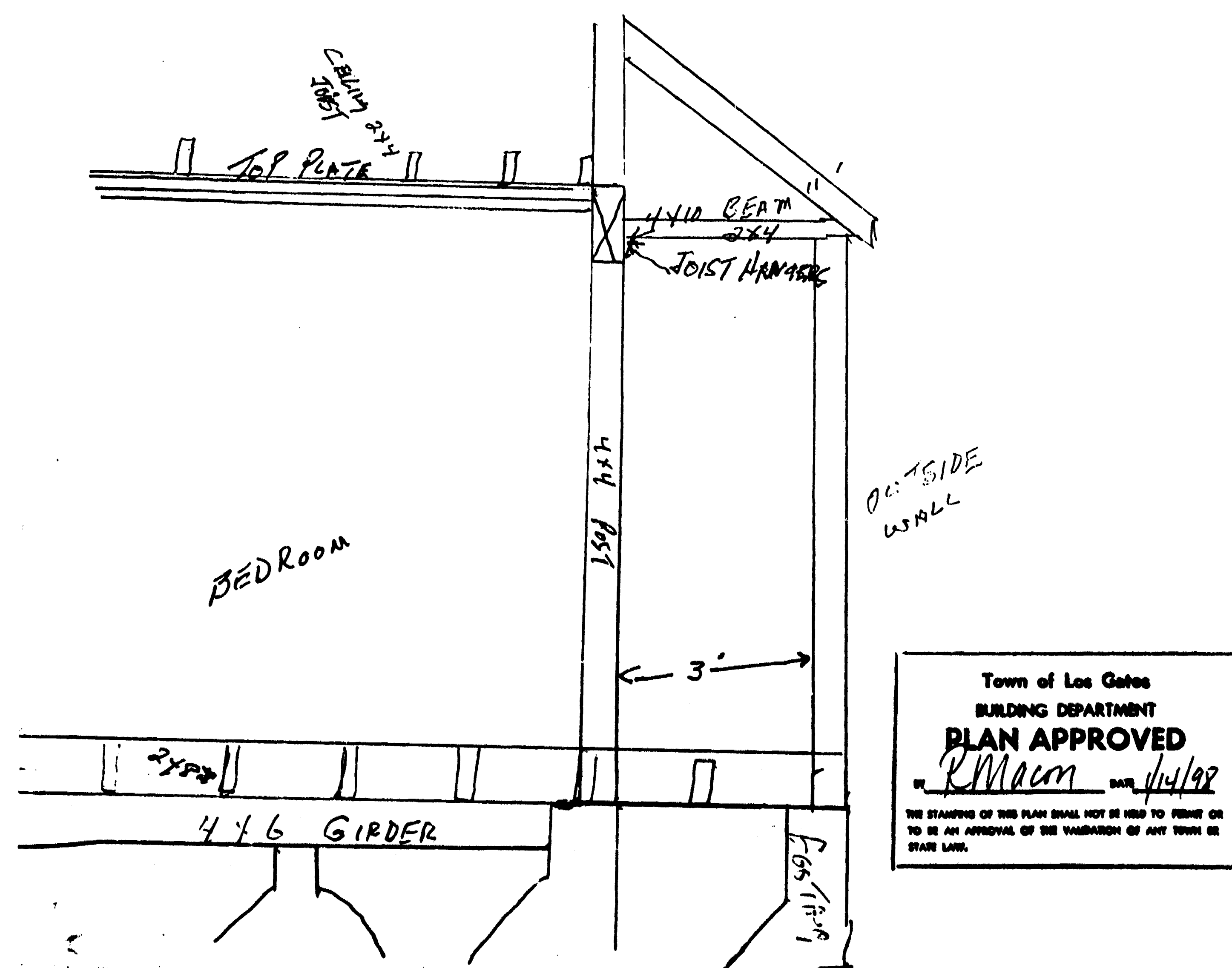
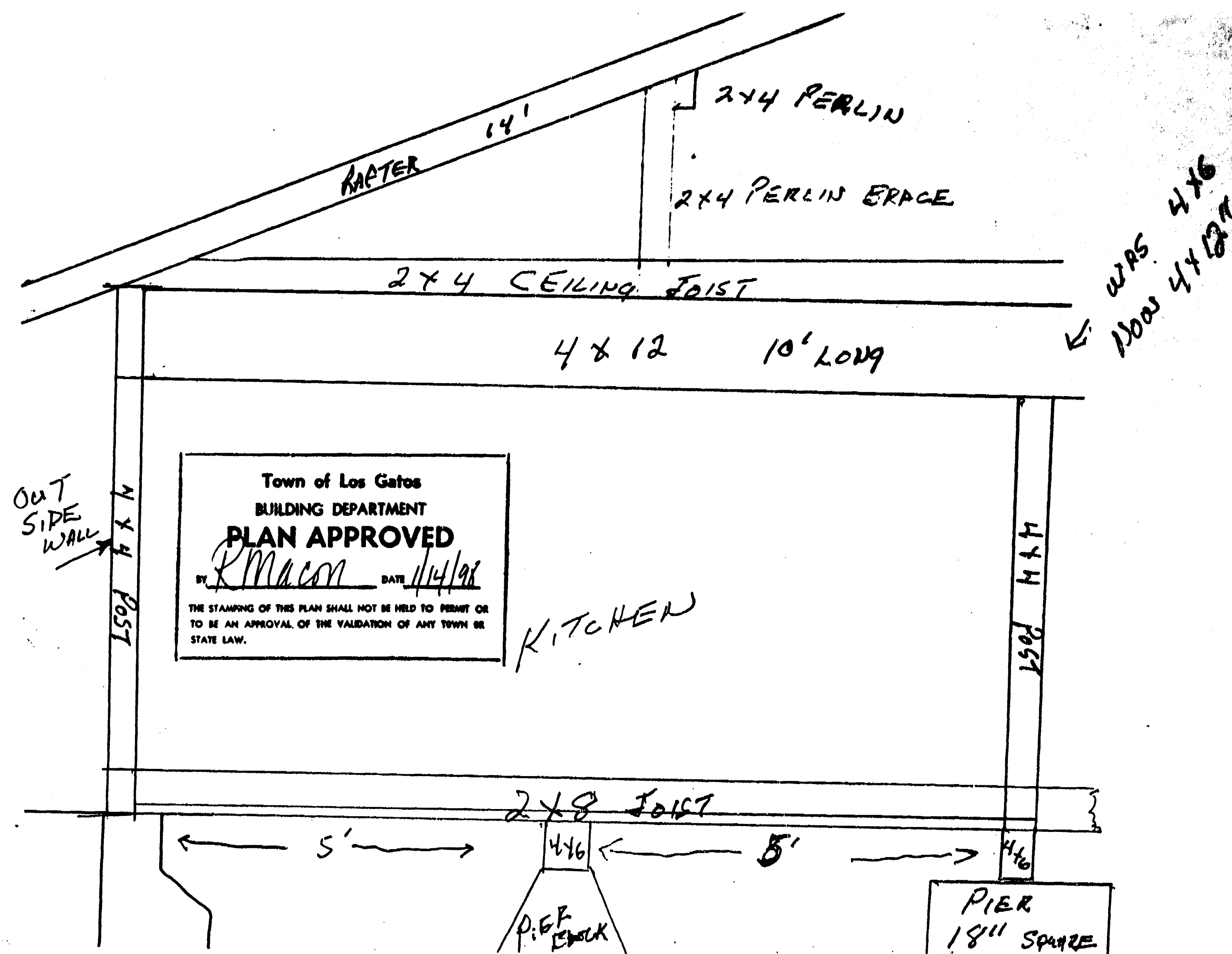
SECTION DETAILS

1 grid = 1 foot

X = Existing
N = New

■ = 4 x 4 posts

p/c D. Moore 1-14-1998



TOWN of LOS GATOS

CIVIC CENTER • 110 EAST MAIN STREET • P.O. BOX 949 • LOS GATOS, CALIFORNIA 95031

SECONDARY DWELLING UNIT PERMIT

GRANTED TO: JUDITH WALKER

PROPERTY OWNER AT: 17035 PINE STREET

PURSUANT TO CHAPTER 3.96 OF THE LOS GATOS ZONING ORDINANCE, APPROVAL IS GRANTED SUBJECT TO CONDITIONS FOR AN EXISTING SECONDARY DWELLING UNIT LOCATED AT, AND DESCRIBED AS FOLLOWS:

APN: 529-20-010

THIS APPROVAL IS SUBJECT TO THE COMPLETION OF CONDITIONS ATTACHED TO THIS PERMIT AS REQUIRED BY THE BUILDING OFFICIAL AND THE TOWN OF LOS GATOS. FAILURE TO COMPLETE ANY OF THESE CONDITIONS WITHIN THEIR RESPECTIVE TIME FRAMES, MAY RESULT IN THE REVOCATION OF THE SECONDARY DWELLING UNIT PERMIT.

DATE ISSUED: OCTOBER 22, 1985

ALL CONDITIONS MUST BE COMPLETED WITHIN 30 DAYS UNLESS SPECIFIED OTHERWISE.

AFFIDAVIT FILED WITH PLANNING DIRECTOR.

APPROVAL DATE

DECLARATION OF RESTRICTION FILED WITH PLANNING DIRECTOR

N/A

APPROPRIATE BUILDING PERMITS FILED WITH BUILDING OFFICIAL

N/A

COMPLETED

FINAL APPROVAL: 11/14/20, 1987

[Signature]
PLANNING DIRECTOR

[Signature]
BUILDING OFFICIAL

SECONDARY DWELLING UNIT PERMIT

REQUEST FOR TIME EXTENSION

Applicant: JUDITH WALKER

Address: 17035 PINE STREET

City, State, Zip: LOS GATOS, CA 95030

Address of Project: 17035 PINE

Building Official's Req: 1. ADD LAVATORY AND FAN FOR VENTILATION IN BATH
2. PRESSURE TEMP. VALVE ON WATER HEATER
3. SMOKE DETECTOR

Reason For Request: ILLNESS

Amount of Time Requested: NOT SPECIFIED

Amount of Time Approved: 6 MONTHS

APPROVED: ✓

DENIED: _____

Lee E. Bowman
LEE E. BOWMAN
Planning Director

Archite Watson
ARCHITE WATSON
Building Official

17238 Pine Ave.
Los Gatos, Calif

Planning Dept.
Los Gatos, Cal

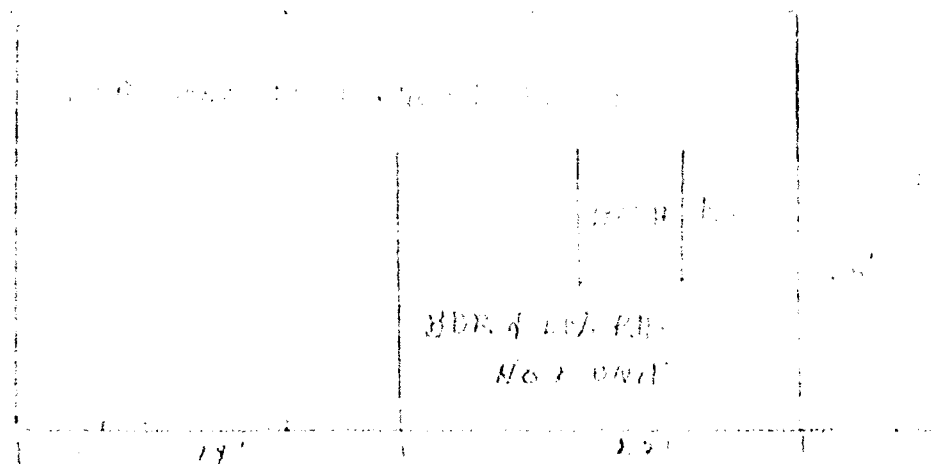
Mr. Lee Bowman:

Due to problems in obtaining necessary
size waste basin for the "College" what
is required by your dept. plus my
continued illness. I'm not being
able to be finished by July 1st. The
pressure that is putting me under
is not easily handled. May I please
be granted an extension?

Sincerely

Judith Miller

ARKER, JUDITH
17035 PINE ST
LOS GATOS, CALIF.

[illegible]

No. 1 UNIT

JUNE 1, 1986

Judith Walker

WALKER JUDITH I LIFE ESTATE
17035 PINEL ST
LOS GATOS CA 95030

RE: 17035 PINEL ST
579-20-010 / Secondary Dwelling Unit

Dear Property Owner:

A review of department records indicate that final inspection approval has not been made on your application for a secondary dwelling unit.

Please contact the Building Inspection Office at (48) 354-6876 between 4 p.m. and 5 p.m., Monday through Friday, to arrange for reinspection if corrections have been completed.

Section 3.96.040 of the Zoning Ordinance provides that an extension from the July 1, 1986 deadline may be granted for good cause shown. Requests for extensions must be submitted no later than 5:00 p.m., Monday, June 23, 1986.

Very truly yours,

ARCHIE WATSON
Building Official

AW:c1

PLANNING DEPARTMENT
(408) 354-6872

February 3, 1986

Judith Walker

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS GATOS CA 95030

RE: 17035 PINE ST/529-20-010
Appeal Process of Housing Code Requirements for Secondary
Dwelling Units

Dear Property Owner:

In an effort to clarify any discrepancy or misunderstanding of your appeal rights as a result of previous notices sent to you, this notice is to inform you that any housing code provisions required by the Building Official prior to issuance of a Secondary Dwelling Unit Permit may be appealed to the Town Council under Section 7.01.065 of the Town Code.

Pursuant to Section 7.01.065 of the Town Code, any person wanting to appeal the decision of the Building Official must do so in writing not more than thirty (30) days after the decision is rendered (in this case, not more than thirty (30) days from the date of this notice). The appeal notice shall state clearly the requirement or matter being appealed.

If you have any questions, please contact Kirk Heinrichs of this office.

Very truly yours,

LEE E. BOWMAN
Planning Director

LEB:KEH:cl

PLANNING DEPARTMENT
(408)354-6872

December 17, 1985

WALKER JUDITH I LIFE ESTATE
17035 PINE ST
LOS GATOS CA 95030

RE: 17035 PINE ST
Deed Restriction

Dear Property Owner:

The Town has recently been informed by the County Recorder's office that all property restriction documents must be notarized. You are, therefore, required to have the "Declaration of Deed Restriction" on your secondary dwelling unit notarized.

When these documents are completed, signed and notarized, please return them to this office.

If you have any questions, please contact Kirk Heinrichs of this office.

Thank you for your cooperation.

Very truly yours,

LEE E. BOHMAN
Planning Director

LCB:KH:c1

Enclosure

PLANNING DEPARTMENT
(408)354-6872

October 22, 1985

Judith Walker
17035 Pine Street
Los Gatos, CA 95030

RE: 17035 Pine Street/APN529-20-010/D-85-846
Secondary Dwelling Unit Permit

Dear Property Owner:

A Secondary Dwelling Unit permit will be approved and issued for 17035 Pine Street when the following conditions are completed.

1. The completion of the attached list of housing code requirements to the satisfaction of the Building Official by no later than July 1, 1986.
2. Completion of the enclosed Deed Restriction including the signatures of all property owners and a copy of the property deed, filed with the Planning Director by no later than thirty (30) days after the date of this notice.
3. Completion of the enclosed affidavit including the signature of the owner residing principally on the property, and filed with the Planning Director by no later than thirty (30) days after the date of this notice.


Failure to complete any of these conditions by their respective times may result in the revocation of your Secondary Dwelling Unit Permit.

At such time when all required conditions are completed to the satisfaction of the Planning Director and the Building Official of the Town of Los Gatos, a permit with final date of approval will be issued.

Per Chapter 3.24 of the Los Gatos Zoning Ordinance, this approval may be appealed to the Planning Commission within ten (10) days of issuance.

If you have any questions regarding this matter, please contact Kirk Heinrichs of this office between the hours of 1:00 and 5:00 p.m.

Very truly yours,


LEE E. BOWMAN
Planning Director

LEB:KH:c1

cc: Sanitation District #4, 100 Sunnypaks Avenue, Campbell, CA 95008
PLN01 (J.WALKER)

RECORDING REQUESTED BY:

Town of Los Gatos

WHEN RECORDED MAIL TO:

Planning Director
Town of Los Gatos
P.O. Box 949
Los Gatos, CA 95030

NO FEE - GOV. CODE SEC. 6103

DECLARATION OF RESTRICTIONS

The undersigned, being the owners of the property shown in the Santa Clara County Assessor's Roll and identified as parcel 529-20-010, commonly known as 17035 Pine Street, Los Gatos, California, hereby agree(s) that the property henceforth be subject to the following restrictions:

1. THAT upon such time when title to this property is transferred, owner occupancy is required of either the primary or secondary dwelling unit;
2. THAT upon transfer of that title, the owner occupancy requirement of the Los Gatos Zoning Ordinance, Section 3.96.050, is met in that an owner of the property is residing principally on said property and that he/she shall sign an affidavit declaring this fact under penalty of perjury. Such affidavit shall be filed with the Planning Director annually on October 1;
3. THAT this Declaration of Restrictions is binding on successors and assigns of the owner(s).

Date: _____

Property Owner(s): _____

Approved by the Town of Los Gatos: _____
LEE E. BOWMAN, PLANNING DIRECTOR

TOWN of LOS GATOS

CIVIC CENTER • 110 EAST MAIN STREET • P.O. BOX 949 • LOS GATOS, CALIFORNIA 95031

AFFIDAVIT

I, the undersigned, am an owner of the property commonly known as 17035 Pine St.,
Los Gatos, California, and identified in the Santa Clara County Assessor's Roll as
529-20-010, and that I am currently, and will continue to live on said
property for as long as I own it.

I declare under penalty of perjury that the foregoing is true and correct, executed
this _____ day of _____, 19____ at _____.

Property Owner: _____



TOWN of LOS GATOS
P.O. BOX 949
LOS GATOS, CALIFORNIA 95030
BUILDING DEPARTMENT

October 11, 1985

Judith Walker
17035 Pine Street
Los Gatos, California 95030

RE: Secondary Unit, APN# 529-20-010

In response to your application, an inspection was made to determine requirements for approval of an existing secondary dwelling unit as provided in Section 3.96.010 of the Town Zoning Ordinance.

Attached is the Building Department's report indicating code corrections required for approval. Correction work does require permits from the Building Department and re-inspection. Application for permits may be made through the Building Department.

In addition, it is required that a deed restriction and/or affidavit be recorded with the County Assessor concerning owner occupancy of one of the dwelling units on the property. Once building permit requirements have been finalized, see Kirk Heinrichs in the Planning Department.

Sincerely,

Archie Watson
Building Official

AW:sam

cc: Kirk Heinrichs, Planning Department
Encl.:

INSPECTION REPORT

Address: 17035 Pine Street, Los Gatos APN# 529-20-010
Date: October 3, 1985
By: M. DOINE
HOUSING INSPECTOR

Inspection of the secondary unit at the above address was made and was found to satisfy minimum housing code requirements except for the following:

1. Add lavatory and fan for ventilation in bath.
2. Add a pressure-temperature relief valve on water heater.
3. Add a smoke detector in bedroom area at ceiling.

Item one requires a plumbing permit.

Also, permits must be obtained for the enclosing "warehouse" structure; these, specifically, are: Building permit, plumbing permit, and electrical permit. Plans must be submitted with these permits, and work is to be completed according to code. When permits have been issued and work has commenced, call the Building Department, 354-6876, for necessary inspections.

APPLICATION FORM

TOWN OF LOS GATOS PLANNING DEPARTMENT
P.O. BOX 949 - LOS GATOS, CA 95030
PHONE: (408) 354-6872

(PLEASE TYPE OR PRINT)

Name of Property Owner JUDITH I. McCOLLUM WALKER		Address 17035 Pine Street	
City Los Gatos, CA 95030	Zip Code 95030	Telephone [REDACTED]	
Name of Business Owner/Agent (if applicable) Timothy A. Lundell, Attorney at Law		Address [REDACTED]	
City [REDACTED]	Zip Code [REDACTED]	Telephone [REDACTED]	
Address of Project 17035 Pine Street, Los Gatos, CA		APN 529-20-10	Present Zoning Unknown
Site Area	Existing Use of Property Primary dwelling plus secondary dwelling	Brief Description of Request Secondary dwelling permit	

List all persons or firms involved in the design of the project (architect, engineer, planner, landscape architect, etc.)

Capacity	Name (Please Print)	Firm & Address (with zip code)	Telephone
Not Applicable			

PROPERTY OWNERS AND BUSINESS OWNERS OR AGENTS ARE REQUIRED TO SIGN THE APPLICATION

Property Owner(s) Signatures <i>Judith I. McCollum Walker</i>	Date <i>Sept. 24, 1988</i>
Business Owner(s)/Agent Signatures <i>Timothy A. Lundell</i>	Date <i>Sept. 24, 1988</i>

CHECK TYPE OF APPLICATION(S) FILED

☐ ARCHITECTURE & SITE S-
☐ CONDITIONAL USE PERMIT U-
☐ VARIANCE V-
☐ TENTATIVE MAP H-
 Total # of parcels created _____

☐ DRAFT ENVIRONMENTAL IMPACT REPORT EIR-
☐ REZONING OR PLANNED DEVELOPMENT Z-
 Reasoning from _____ to _____
☒ OTHER Secondary Dwelling Unit Permit
 Describe Dwelling Unit

FOR DEPARTMENT USE ONLY

APPLICATION RECEIVED BY	DATE RECEIVED	ENVIRONMENTAL ASSESSMENT	PERMIT REGISTER RECEIPT
RECEIPT NO.	ORC HEARING DATE	Cat. Exempt Section _____	TOTAL FEES
		Neg. Declaration Req. Yes/No _____	
DISTRIBUTION:			
PW _____ BLEG _____ FIRE _____ PARKS _____ POLICE _____ HEALTH _____ SCVWD _____ PG&E _____ S.I.W. _____			
SANITATION DIST. #4 _____ OTHER _____			

Rev.

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 09/27/2023

ITEM NO: 4

DATE: September 22, 2023

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Preliminary Review for Exterior Alterations and Construction of an Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 26 Ashler Avenue.** APN 410-14-042. Request for Review Application PHST-23-011. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owners: Fernando Saenz and Maria Dolores Stacey. Applicant: Clara G. Portillo. Project Planner: Sean Mullin.

DISCUSSION:

On August 23, 2023, the Committee considered the proposed alterations and addition to the residence. The Committee provided the following feedback and that the applicant should return at a future date.

- Generally supportive of the proposed front porch; and
- Revise the sliding window at the kitchen on the right-side elevation to a group of double-hung windows to be more consistent with the residence.

The applicant submitted revised plans and a letter summarizing their response to the Committee's direction (Attachments 6 and 7). The revised plans show that the windows on the right-side elevation adjacent to the kitchen have been changed from a double sliding window to a group of three double-hung windows.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications

PREPARED BY: SEAN MULLIN, AICP
Senior Planner

CONSIDERATIONS (continued):

shall not be granted unless:

- ___ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Sections 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

CONCLUSION:

The applicant is requesting approval from the Committee on the proposal. Should the Committee find merit in the request, the project could be completed with a Building Permit.

ATTACHMENTS:

Previously received with the August 23, 2023 Staff Report:

1. 1991 Anne Bloomfield Survey
2. Sanborn Map Exhibit
3. Research
4. Section 3.9, Residential Design Guidelines
5. Development Plans

Received with this Staff Report:

6. Response Letter
7. Revised Development Plans

September 01, 2023

Sean Mullin, Senior Planner
City of Los Gatos, Community Development Department
Building and Planning Department
Los Gatos, CA 95030

City of Los Gatos – FIRST Response
City Review No: PHST-23-011

Re: Plan Review: PLAN CHECK COMMENTS
Address: 26 Ashler Ave

PLANNING DIVISION COMMENTS:

1. Information has been noted.
2. Windows have been changed to be a group of double-hung windows at the kitchen on the right-side elevations.
Please review updated plans.

If you have any questions regarding the above comments, please contact me.

Regards,

Clara Portillo



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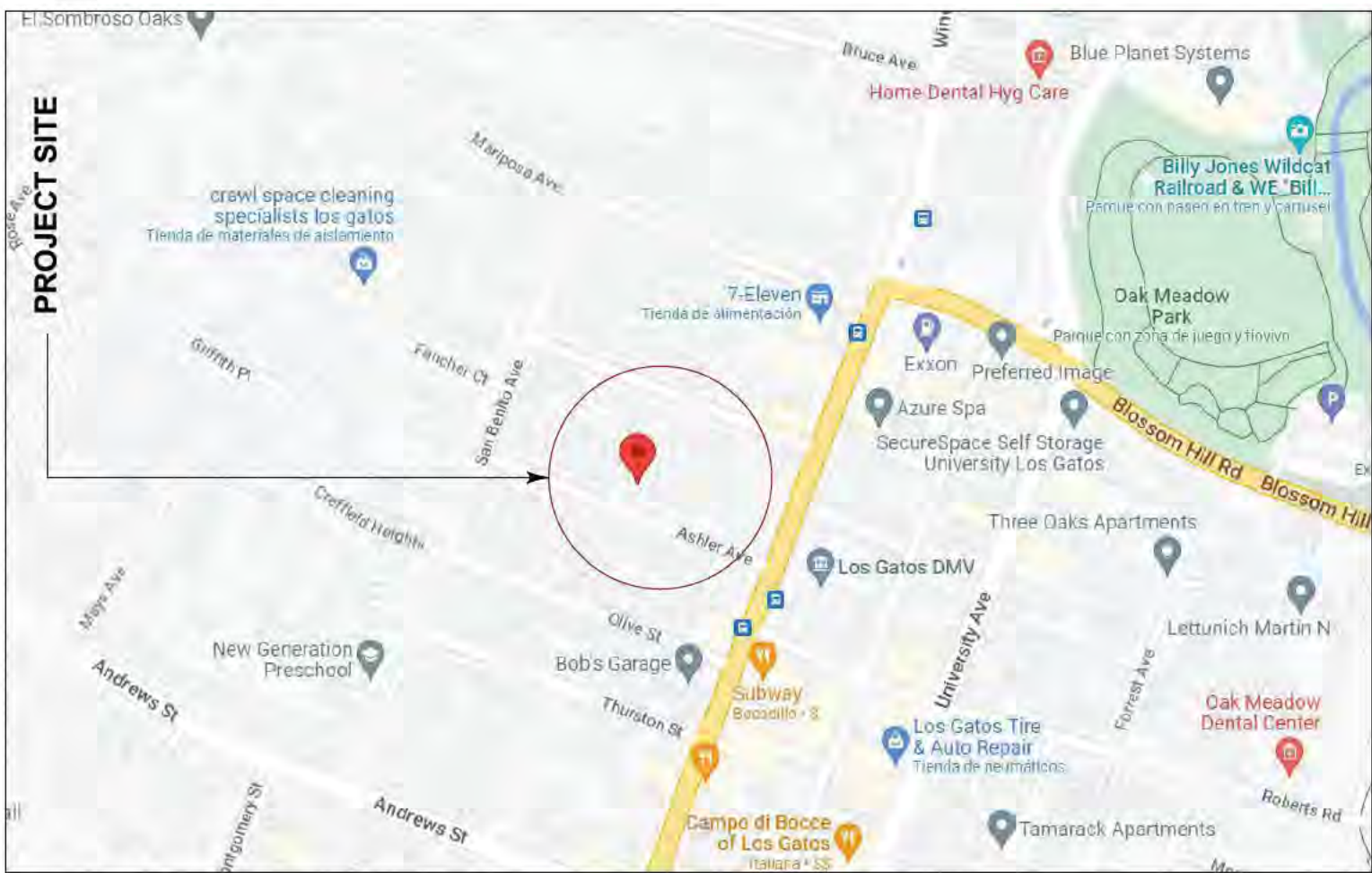
ADDITION AND INTERIOR REMODEL

26 Ashler Ave,
Los Gatos, CA 95030
APN: 410-14-042

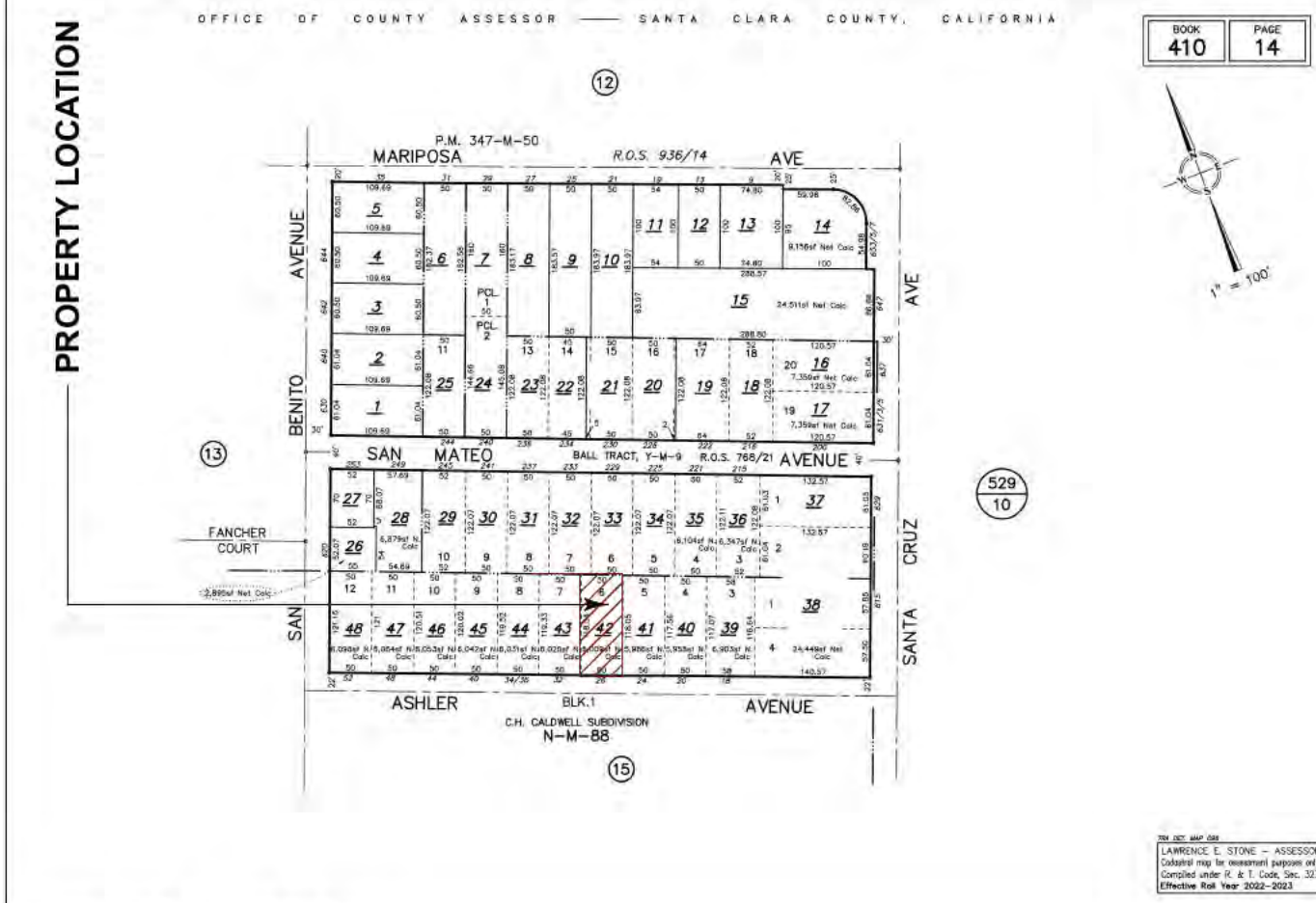
EXISTING HOUSE NOT FIRE SPRINKLER



PORAV
550 W HAC ENDA AVE
CAMPBELL, CA 95008
PORAV_NFO@GMAIL.COM



VICINITY MAP:



PARCEL MAP:

PROJECT INFORMATION:

DESIGNER: DESIGN MATTERS
JULIE@DESIGNMATTERS.DESIGN
408.395.9101

PLAN PREPARED: CLARA PORTILLO
PORAVI.INFO@GMAIL.COM
408.341.5222

OWNER: FERNANDO SAENZ & LOLY STACEY
FERJOS78@GMAIL.COM
LOLYSTACEY@GMAIL.COM

ENGINEER: SEZEN & MOON
SMSEINC@AOL.COM
408.871.7273

PARCEL MAP: 410-14-042
CONSTRUCTION TYPE: V/B
OCCUPANCY GROUP: R3/U
ZONING SITE: MEDIUM DENSITY RESIDENTIAL, 5-12
HOUSE LEVEL: 1
FIRE SPRINKLER: NONE
LOT SIZE: 5,900 Sq.Ft

EXISTING
BEDROOM: 3
BATHROOM: 2 FULL AND 1 HALF
GARAGE: NONE

PROPOSED
KITCHEN: 1 REMODEL
BATHROOM: 1 FULL REMODEL
BEDROOM: 1 NEW AND 2 REMODEL

DRAWING INDEX:

ARCHITECTURAL SHEETS:

- A-01 ARCHITECTURAL COVER SHEET
- A-1.1 CALGREEN CHECKLIST
- A-1.2 CALGREEN CHECKLIST
- A-1.3 CONSTRUCTION BEST MANAGEMENT PRACTICES
- A-02 ARCHITECTURAL EXISTING AND PROPOSED SETBACK
- A-03 ARCHITECTURAL EXISTING FLOOR PLAN
- A-04 ARCHITECTURAL PROPOSED FLOOR PLAN
- A-05 ARCHITECTURAL EXISTING ROOF PLAN
- A-06 ARCHITECTURAL PROPOSED ROOF PLAN
- A-07 ARCHITECTURAL ELEVATIONS
- A-08 ARCHITECTURAL ELEVATIONS
- A-09 ARCHITECTURAL CROSS SECTIONS
- A-10 ARCHITECTURAL FLOOR PLAN NOTES
- A-11 ARCHITECTURAL ELECTRICAL PLAN

STRUCTURAL SHEETS:

- S1.0 GENERAL NOTES
- S1.1 HOLDOWN DETAILS
- S1.2 MISC. CONC. DETAILS
- S1.3 SWS + DETAILS
- S1.4 CONVENTIONAL FRAMING DETAILS
- S2.0 FOUNDATION AND 1ST FLOOR FRAMING PLAN
- S2.1 SHEAR-WALL PLAN
- S2.2 FOUNDATION AND FLOOR FRAMING DETAILS
- S2.3 FOUNDATION AND FLOOR FRAMING DETAILS CONT.
- S3.0 ROOF AND CLG. FRAMING PLAN
- S3.1 FRAMING DETAILS

TITLE 24 SHEETS:

- T24-1 TITLE 24 SHEET 1
- T24-2 TITLE 24 SHEET 2

BUILDING CODES:

- 2022 CALIFORNIA BUILDING CODES
- 2022 CALIFORNIA RESIDENTIAL CODES
- 2022 CALIFORNIA ELECTRICAL CODES
- 2022 CALIFORNIA MECHANICAL CODES
- 2022 CALIFORNIA PLUMBING CODES
- 2022 CALIFORNIA FIRE CODES
- 2022 CALIFORNIA EXISTING BUILDING CODES
- 2022 CALIFORNIA GREEN BUILDING CODES
- 2022 BUILDING ENERGY EFFICIENCY STANDARDS
- CITY OF LOS GATOS MUNICIPAL CODE

PROJECT DATA & SUMMARY :

EXISTING PROJECT DATA:

LOT AREA: 5,900 Sq.Ft

HOUSE AREA:

(E) HOUSE: 1,851 Sq.Ft
(E) PORCH: 136 Sq.Ft
(E) DECK: 60 Sq.Ft
(E) STORAGE: 119 Sq.Ft
TOTAL: 2,166 Sq.Ft

BC: 2,106 / 5,900 = 35.69 %
ALLOWABLE FAR: $0.35 - [(5.9 - 5) / 25] * 0.20 = 0.3428 \sim 0.34$
FAR: 1,970 / 5,900 = 0.33

PROPOSED WORK:

DEMO:
(E) SIDE DECK: 60 Sq.Ft

CONVERSION:

(E) STORAGE INTO LIVING: 119 Sq.Ft

PROJECT SCOPE OF WORK:

- 1- ADD 28 Sq.Ft OF KITCHEN AREA IN THE RIGHT SIDE OF THE HOUSE.
- 2- ADD 8 Sq.Ft OF LIVING AREA IN THE RIGHT SIDE OF THE HOUSE.
- 3- NEW KITCHEN, NEW CABINETRY, NEW ISLAND AND APPLIANCES.
- 4- (E) SECONDARY BATHROOM TO BE REMODELED.
- 5- (E) BEDROOM 1 AND 2 TO BE REMODELED.
- 6- (E) HALF BATHROOM TO BE RELOCATED.
- 7- CONVERSION OF 119 Sq.Ft STORAGE INTO STUDIO.
- 8- DEMOLITION OF 60 Sq.Ft OF (E) DECK.
- 9- NEW BEDROOM 4.
- 10- PORCH TO BE REMODELED, AND FRONT DOOR TO BE RELOCATED.
- 11- (E) ELECTRIC METER WILL BE UPGRADED TO 200 AMP FROM 100 AMP.
- 12- DEMOLITION OF 18 SQ.FT IN THE FRONT ELEVATION.

THE CONTRACTOR SHALL ERECT AND MAINTAIN AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS. PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS, AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES WITH THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.

DATE	06.26.2023
BY	CP
DESCRIPTION	BUILDING COMMENTS
NO.	1
DESCRIPTION	PLANNING COMMENTS
NO.	2

PROJECT
26 Ashler Ave.
Los Gatos,
CA 95030
APN:
410-14-042

SHEET TITLE

ARCHITECTURAL
COVER SHEET

DATE
09/01/2023

DESIGNER'S STAMP

Clara Portillo

SHEET

A-01



California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y N/A RESPON. PARTY
Y N/A RESPON. PARTY
Y N/A RESPON. PARTY



PORAV
550 W HAC ENDA AVE
CAMPBELL, CA 95008
PORAV_NFO@GMA L COM

DATE
06.26.2023
BY
CP
CP

DESCRIPTION
BUILDING COMMENTS
PLANNING COMMENTS

PROJECT
26 Ashler Ave.
Los Gatos,
CA 95030
APN:
410-14-042

SHEET T TLE

CALGREEN
CHECKLIST

DATE
09/01/2023

DES GNERS STAMP

Clara Gortelle

SHEET

A-1.1

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, repaving and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions:
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.
2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSA-SS Division of the State Architect, Structural Safety
OSHPD Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 4 RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS

4.102.1 DEFINITION. The following terms are defined in Chapter 2 (and are included here for reference)

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

- Retention basins of sufficient size shall be utilized to retain storm water on the site.
- Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.
(Website: www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales.
- Water collection and disposal systems
- French drains
- Water retention gardens
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

Exceptions:

- On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
 - Where there is no local utility power supply or the local utility is unable to supply adequate power.
 - Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.
- Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

Y N/A RESPON. PARTY

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4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 ampere.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:

- When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.
- When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 ampere.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:

- Construction documents shall show locations of future EV spaces.
- There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 ampere, and installed EVSE shall have a capacity of not less than 30 ampere. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.

EVCS shall comply with at least one of the following options:

- The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.
- The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:

- The minimum length of each EV space shall be 18 feet (5486 mm).
- The minimum width of each EV space shall be 9 feet (2743 mm).
- One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
- Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.

In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV charging in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.

1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit into a listed raceway raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The receptacle or charger location shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on overcurrent protection of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

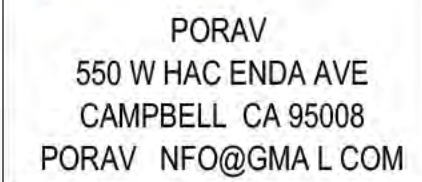
Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall be not less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets



PORAV
550 W HAC ENDA AVE
CAMPBELL CA 95008
PORAV NFO@GMA L COM

BY	DATE
CP	06.26.2023
CP	06.26.2023

DESCRIPTION
BUILDING COMMENTS
PLANNING COMMENTS

PROJECT
26 Ashler Ave.
Los Gatos,
CA 95030
APN:
410-14-042

SHEET TITLE

CALGREEN CHECKLIST

DATE
09/01/2023

DES GNERS STAMP

Clara Fortello

SHEET

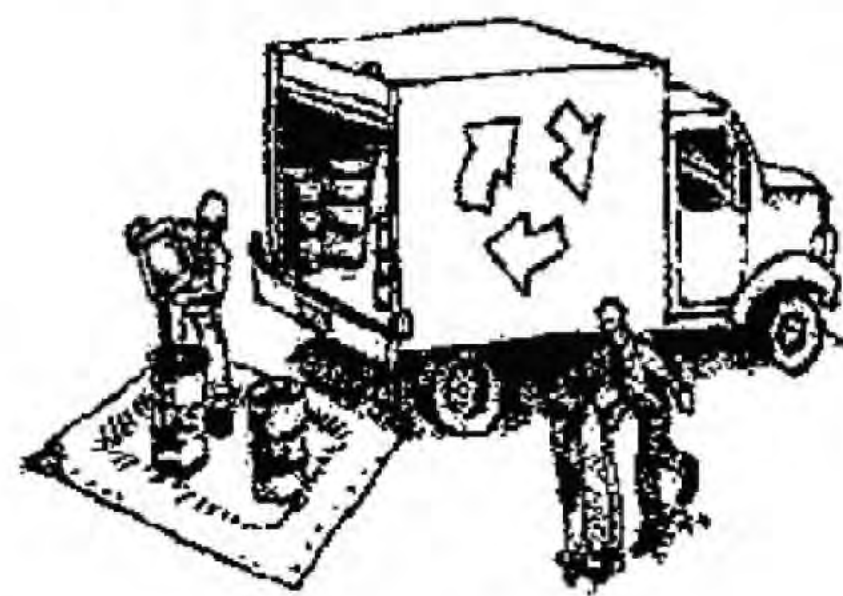
A-1.2

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Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



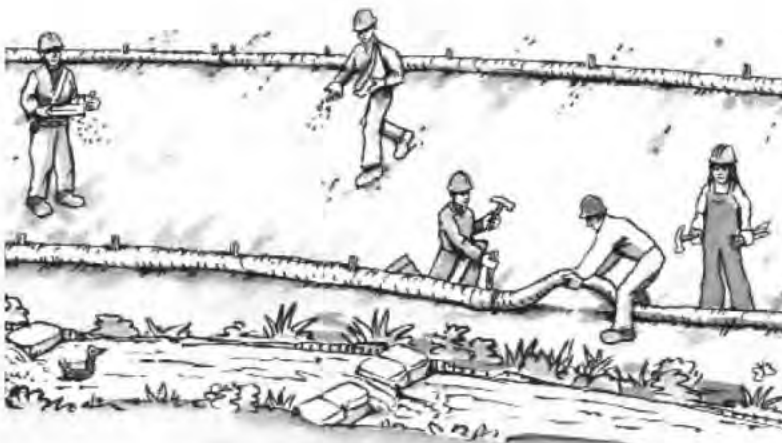
Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



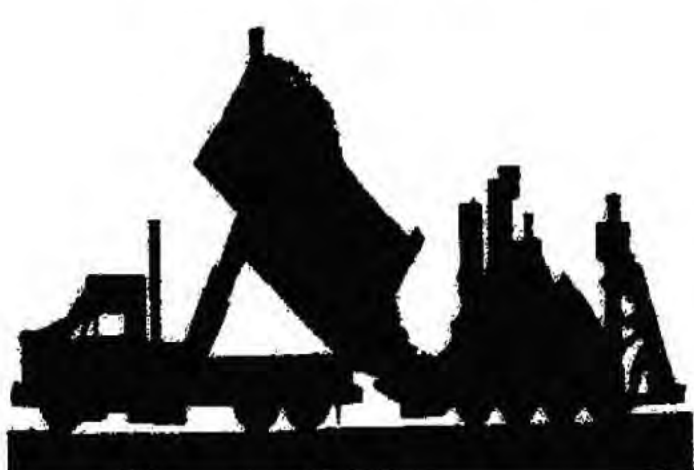
Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



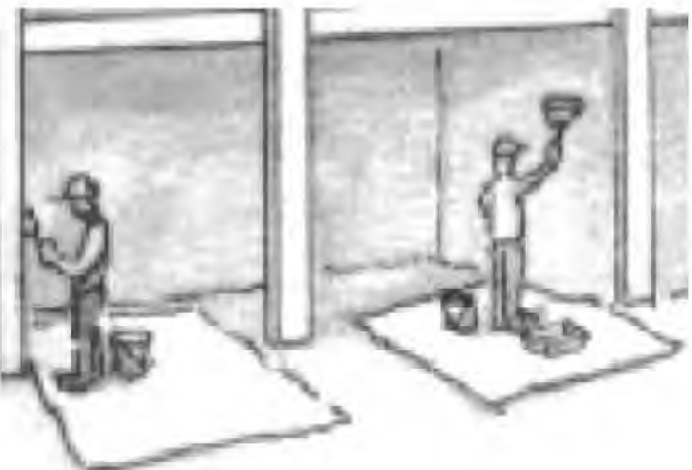
Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

Storm drain polluters may be liable for fines of up to \$10,000 per day!



PORAV
550 W HAC ENDA AVE
CAMPBELL, CA 95008
PORAV NFO@GMAIL.COM

DATE	06.26.2023	06.26.2023	
BY	CP	CP	
DESCRIPTION	BUILDING COMMENTS	PLANNING COMMENTS	

NO.	1	2	
PROJECT	26 Ashler Ave. Los Gatos, CA 95030 APN: 410-14-042		

SHEET T TLE

**CONSTRUCTION
BEST
MANAGEMENT
PRACTICES**

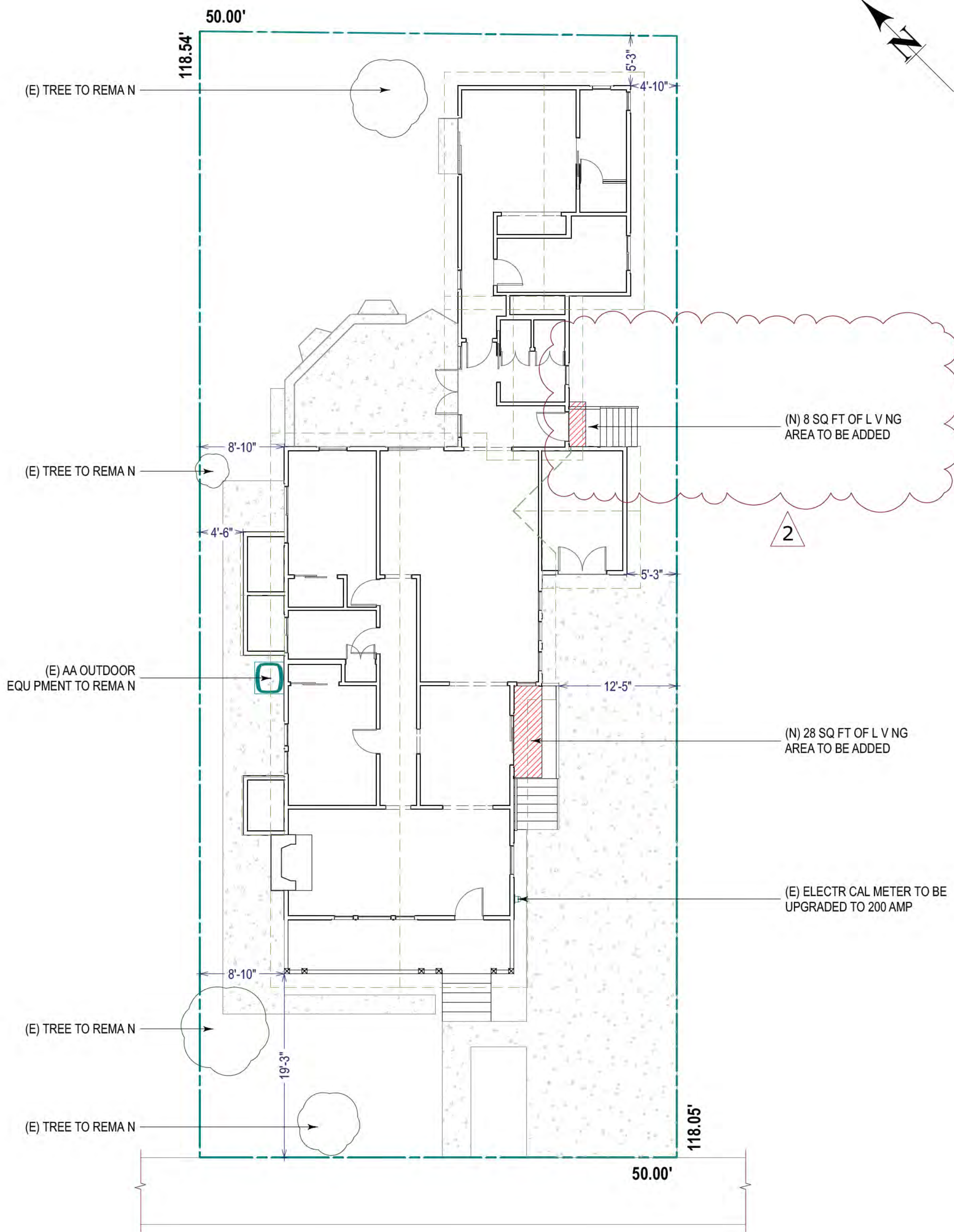
DATE
09/01/2023

DESIGNER'S STAMP

Claudia Portello

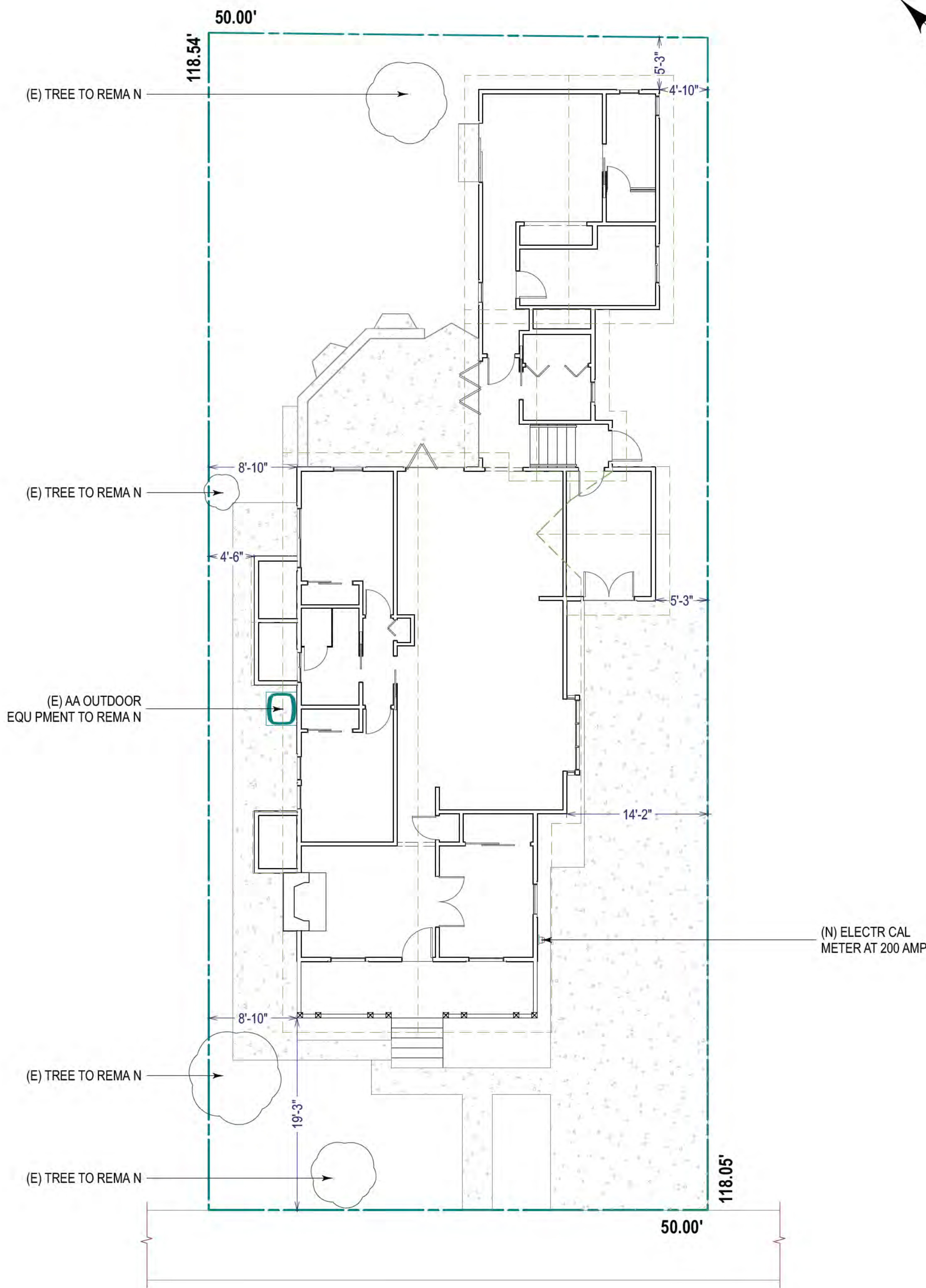
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A-1.3



ASHLER AVE.

EXISTING SETBACK PLAN
SCALE 1/8"=1'-0"



ASHLER AVE.

PROPOSED SETBACK PLAN
SCALE 1/8"=1'-0"

LEGEND
— WALLS
- - - ROOF LINE



PORAV
550 W HACENDA AVE
CAMPBELL, CA 95008
PORAV_NFO@GMAIL.COM

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	CP	06.26.2023
2	PLANNING COMMENTS	CP	06.26.2023

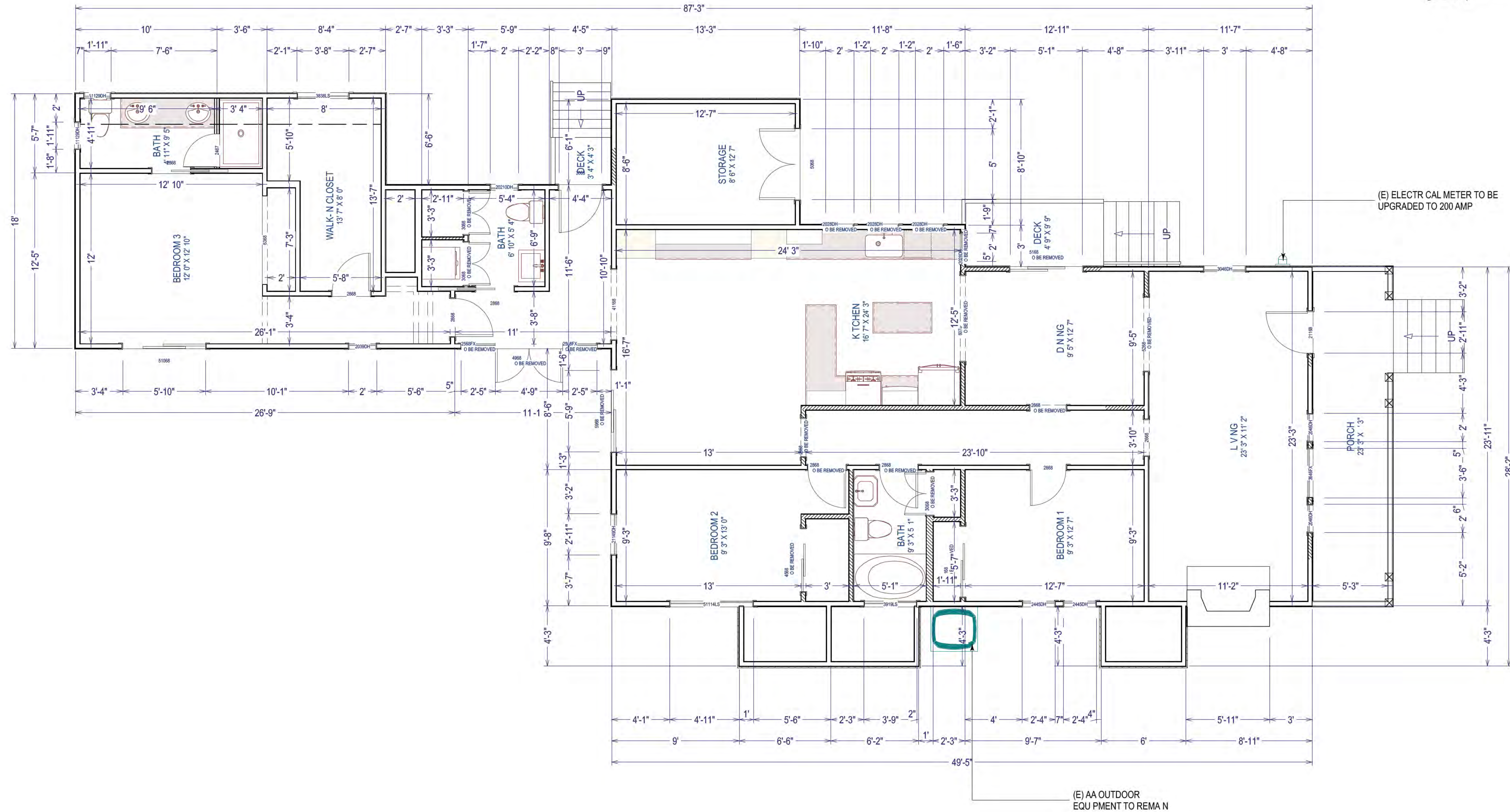
PROJECT
26 Ashler Ave.
Los Gatos,
CA 95030
APN:
410-14-042

SHEET TITLE
**ARCHITECTURAL
EXISTING AND
PROPOSED
SETBACK PLAN**

DATE
09/01/2023

DESIGNER'S STAMP

SHEET
A-02



EXISTING FLOOR PLAN - FIRST FLOOR
SCALE 1/4"=1'-0"

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED



PORAV
550 W HAC ENDA AVE
CAMPBELL, CA 95008
PORAV NFO@GMAIL.COM

DATE	06.26.2023
BY	CP

DESCRIPTION	BUILDING COMMENTS
NO.	1

DESCRIPTION	PLANNING COMMENTS
NO.	2

PROJECT
26 Ashler Ave.
Los Gatos,
CA 95030
APN:
410-14-042

SHEET TITLE

**ARCHITECTURAL
EXISTING
FLOOR PLAN**

DATE
09/01/2023

DESIGNER'S STAMP

Claudia Portello

SHEET

A-03

RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.6

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS.
THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NO BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCESS 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT)

R311.3.1 FLOOR ELEVATIONS AT REQUIRED EGRESS DOORS.
LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 3/4" INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

KITCHEN HOOD NOTE:

WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ.FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN). ASHRAE 62.2, SECTION 6.4

CALGREEN NOTE:

ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2022 CALIFORNIA PLUMBING CODE. CGFNC SECTION 4.303.2

CRAWLSPACE VENTING CALCULATIONS:

Requ red 44 Sq.Ft * 1/150 = 0.293 Sq.Ft * 144 = 42.24 Sq.In = Requ red

(4) 14" x 4" = 56 Sq.In for each * (1) = 56.00 Sq.In > 42.24 Sq.In (Okay)

ATTIC VENTILATION CALCULATIONS:

Requ red 44 Sq.Ft * 1/150 = 0.293 Sq.Ft * 144 = 42.24 Sq.In = Requ red

(3) 20" x 4" Eye Brow Vent = 80 Sq.In. for each * (1) = 80.00 Sq.In > 42.24

Sq.In (Okay)

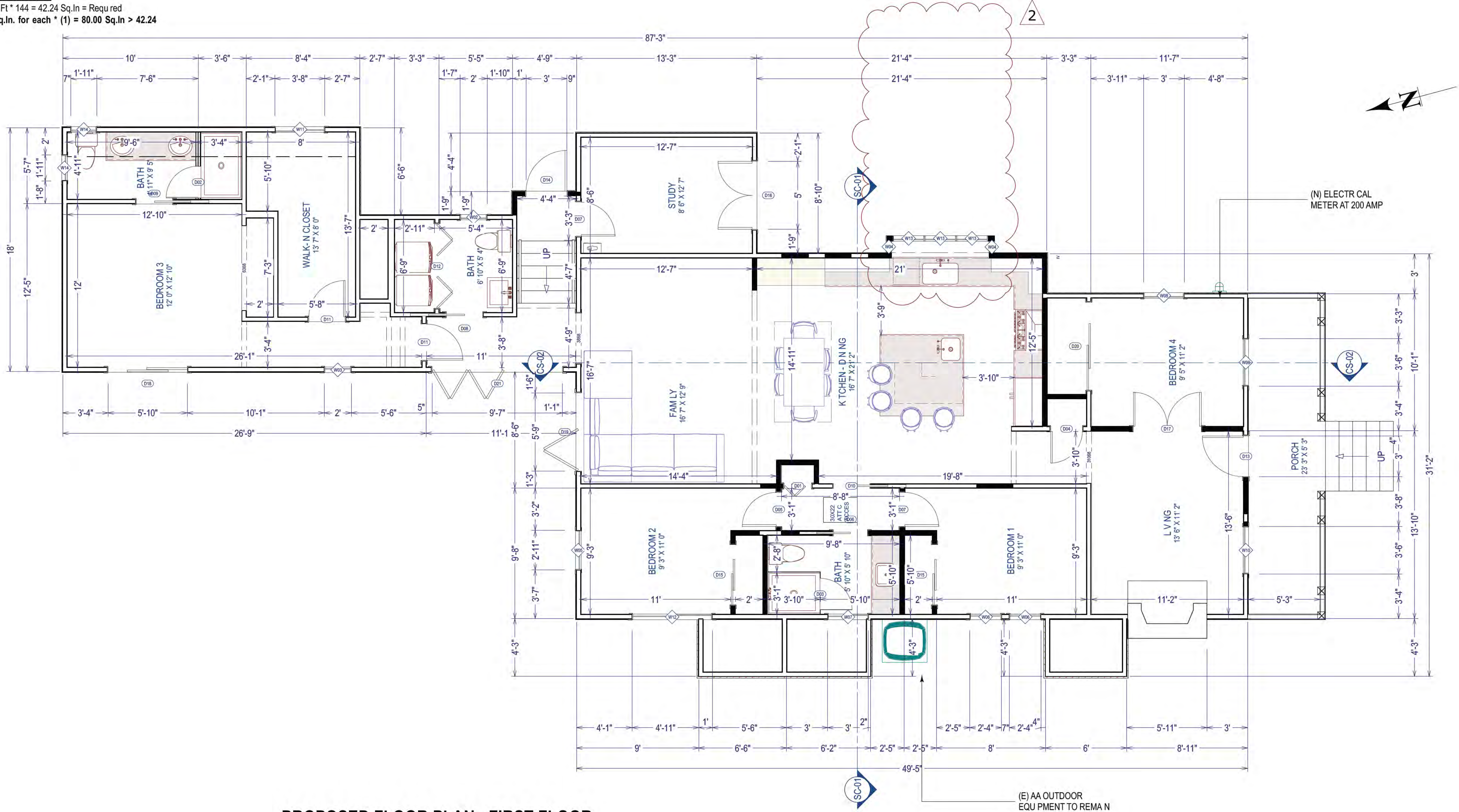
DOOR SCHEDULE						
NUMBER	LABEL	QTY	S Z E	R/O	TEMPERED	DESCR PT ON
D01	2068	1	2068 R	26"X82 1/2"		2 DR B FOLD-LOUVERED
D02	2467	1	2467 L	28"X79 1/4"	YES	SHOWER-GLASS SLAB
D03	2468	1	2468 R	28"X80"	YES	SHOWER-GLASS SLAB
D04	2468	1	2468 R N	30"X82 1/2"		H NGED-DOOR P01
D05	2668	1	2668 L N	32"X82 1/2"		H NGED-DOOR P01
D06	2668	1	2668 R	62"X82 1/2"		POCKET-DOOR P01
D07	2668	2	2668 R N	32"X82 1/2"		H NGED-DOOR P01
D08	2668	1	2668 L	66"X82 1/2"		POCKET-DOOR P01
D09	2668	1	2668 R	66"X82 1/2"		POCKET-DOOR P01
D10	2668	1	2668 R	66"X82 1/2"		POCKET-DOOR P04
D11	2668	2	2668 R N	34"X82 1/2"		H NGED-DOOR P01
D12	6368	1	6368 L/R	76 1/2"X82 1/2"		4 DR B FOLD-LOUVERED
D13	3068	1	3068 R EX	38"X83"		EXT H NGED-DOOR F05
D14	3068	1	3068 R EX	38"X83"		EXT H NGED-DOOR E02
D15	4568	2	4568 R N	55"X82 1/2"		SL DER-DOOR P09
D16	5068	1	5068 L/R EX	62"X83"		EXT DOUBLE H NGED-DOOR F05
D17	5068	1	5068 L/R N	62"X82 1/2"		DOUBLE H NGED-DOOR P01
D18	51068	1	51068 L EX	72"X83"		EXT SL DER-GLASS PANEL
D19	5968	1	5968 L EX	71"X82 1/2"		EXT 2 DR B FOLD-GLASS PANEL
D20	6568	1	6568 R N	79 1/2"X82 1/2"		SL DER-DOOR P09
D21	9768	1	9768 R EX	117"X82 1/2"		EXT 0+4 DR B FOLD-GLASS PANEL

W N DOW SCHEDULE								
NUMBER	LABEL	QTY	S Z E	R/O	EGRESS	TEMPERED	DESCR PT ON	COMMENTS
W02	20210SH	1	20210SH	25"X35"			S NGL E HUNG	
W03	2039SH	1	2039SH	25"X46"			S NGL E HUNG	
W04	01026FX	2	01026FX	11"X31"			F XED GLASS	
W05	21149SH	1	21149SH	36"X58"			S NGL E HUNG	
W06	2445SH	2	2445SH	29"X54"			S NGL E HUNG	
W07	3019LS	1	3019LS	37"X22"			LEFT SL D NG	
W08	3046SH	1	3046SH	37"X55"			S NGL E HUNG	
W09	3640SH	1	3640SH	43"X49"	YES		S NGL E HUNG	NEW
W10	3640SH	1	3640SH	43"X49"			S NGL E HUNG	NEW
W11	3838LS	1	3838LS	45"X45"			LEFT SL D NG	
W12	51114LS	1	51114LS	72"X17"			LEFT SL D NG	
W13	2426SH	3	2426SH	29"X31"			S NGL E HUNG	NEW
W14	11129SH	2	11129SH	124"X34"			S NGL E HUNG	

LEGEND

EXISTING WALLS
TO REMAIN

NEW WALL



PROPOSED FLOOR PLAN - FIRST FLOOR
SCALE 1/4"=1'-0"



PORAV
550 W HAC ENDA AVE
CAMPBELL CA 95008
PORAV_NFO@GMAIL.COM

DATE	06.26.2023
BY	CP

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NO.	1	2

PROJECT
26 Ashler Ave.
Los Gatos,
CA 95030
APN:
410-14-042

SHEET TITLE

ARCHITECTURAL
PROPOSED
FLOOR PLAN

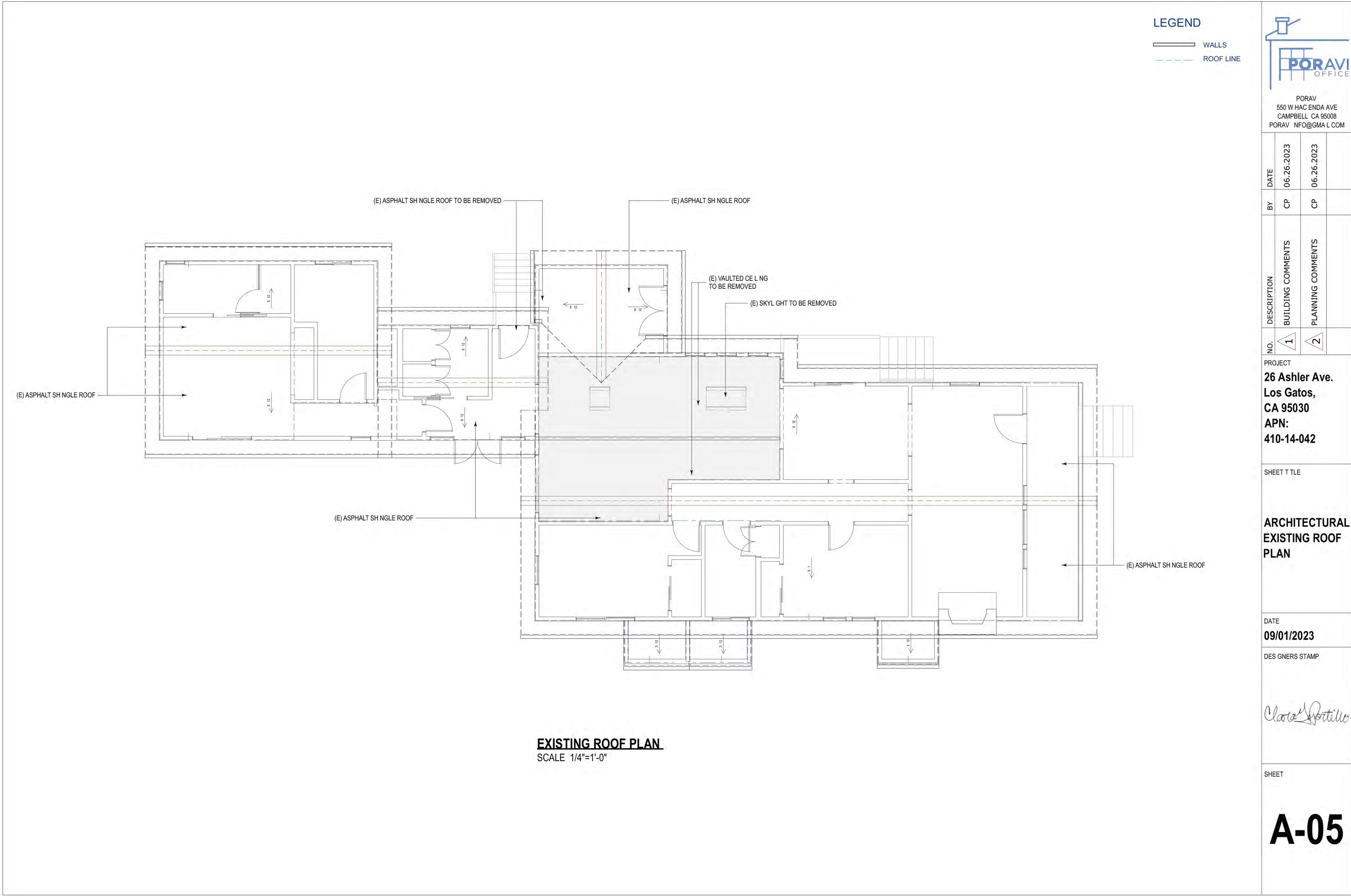
DATE
09/01/2023

DESIGNERS STAMP

Clover Portello

SHEET

A-04



LEGEND

— WALLS

- - - ROOF LINE



PORAV
550 W HAC ENDA AVE
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SHEET TITLE

ARCHITECTURAL
EXISTING ROOF
PLAN

DATE

09/01/2023

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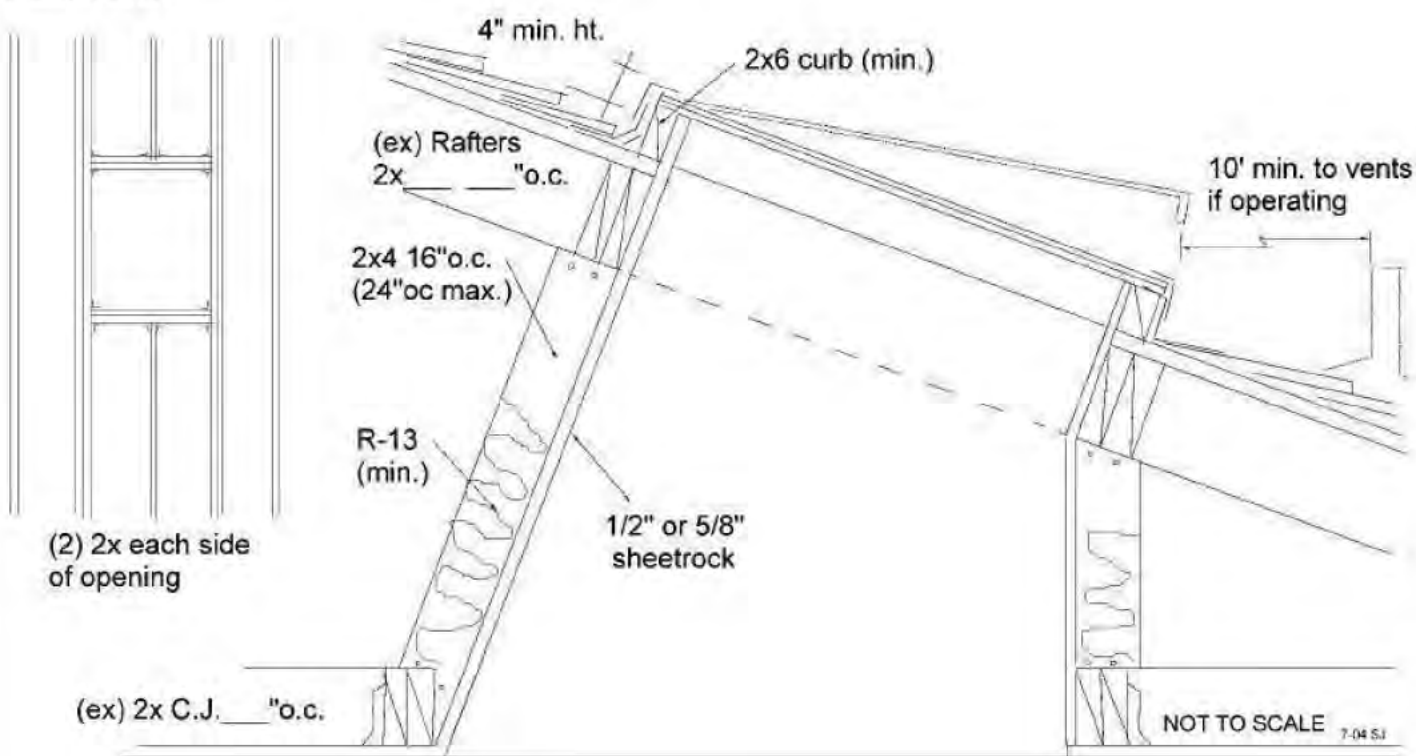
Claudia Portillo

SHEET

A-05

SKYLIGHT DETAIL

Plan View:



LEGEND

- WALLS
- ROOF LINE



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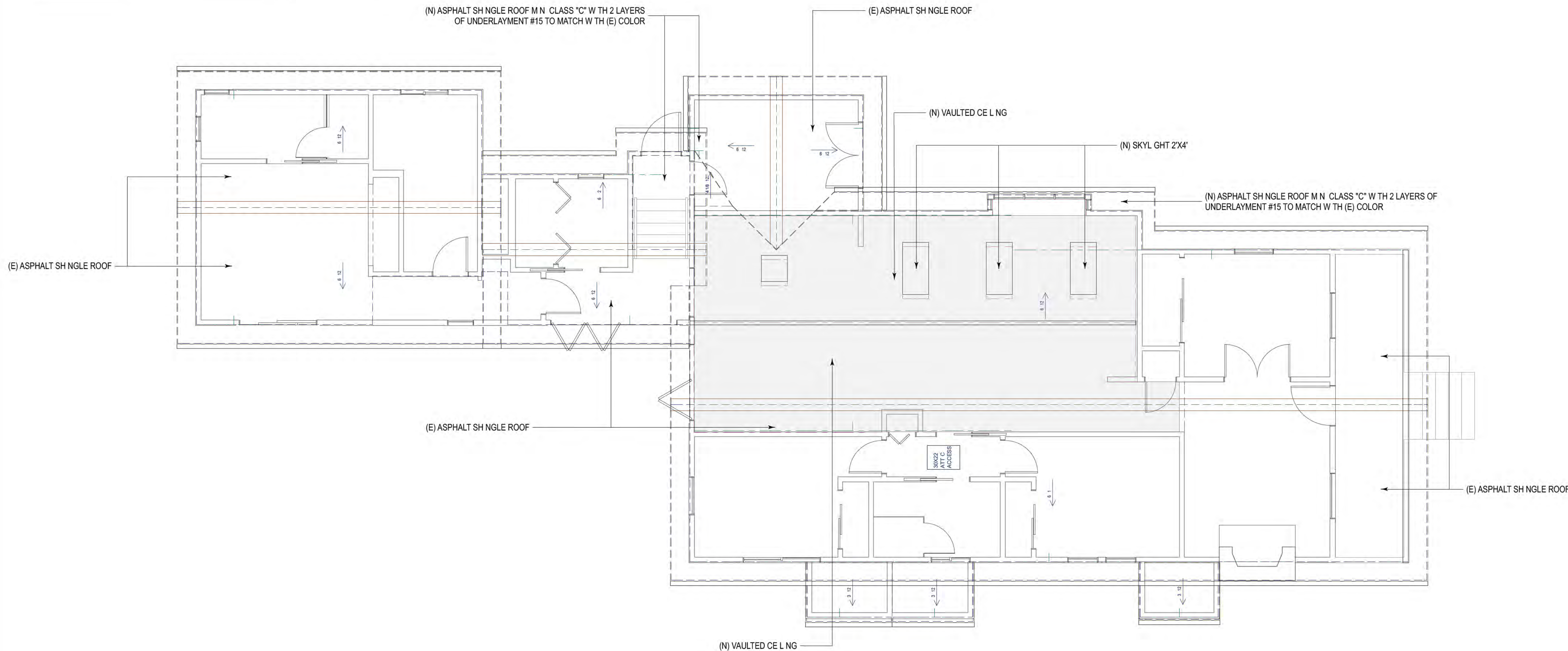
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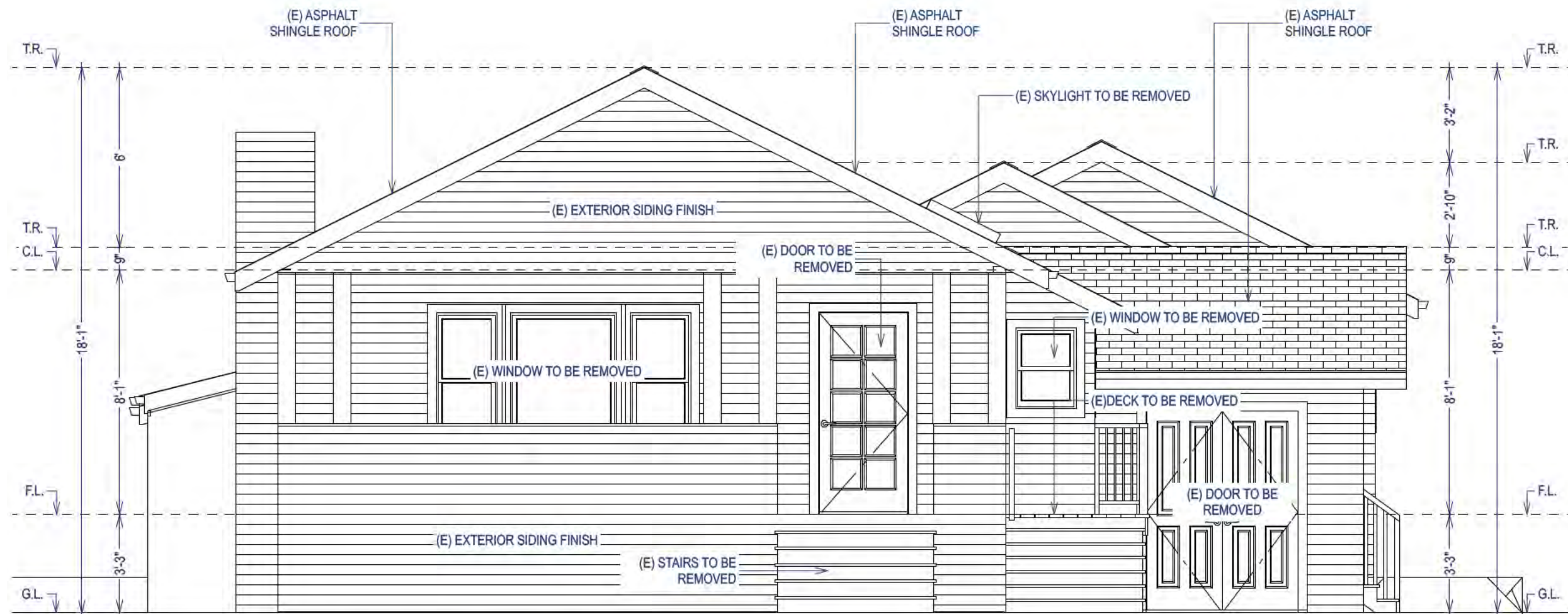
Clara Portello

SHEET

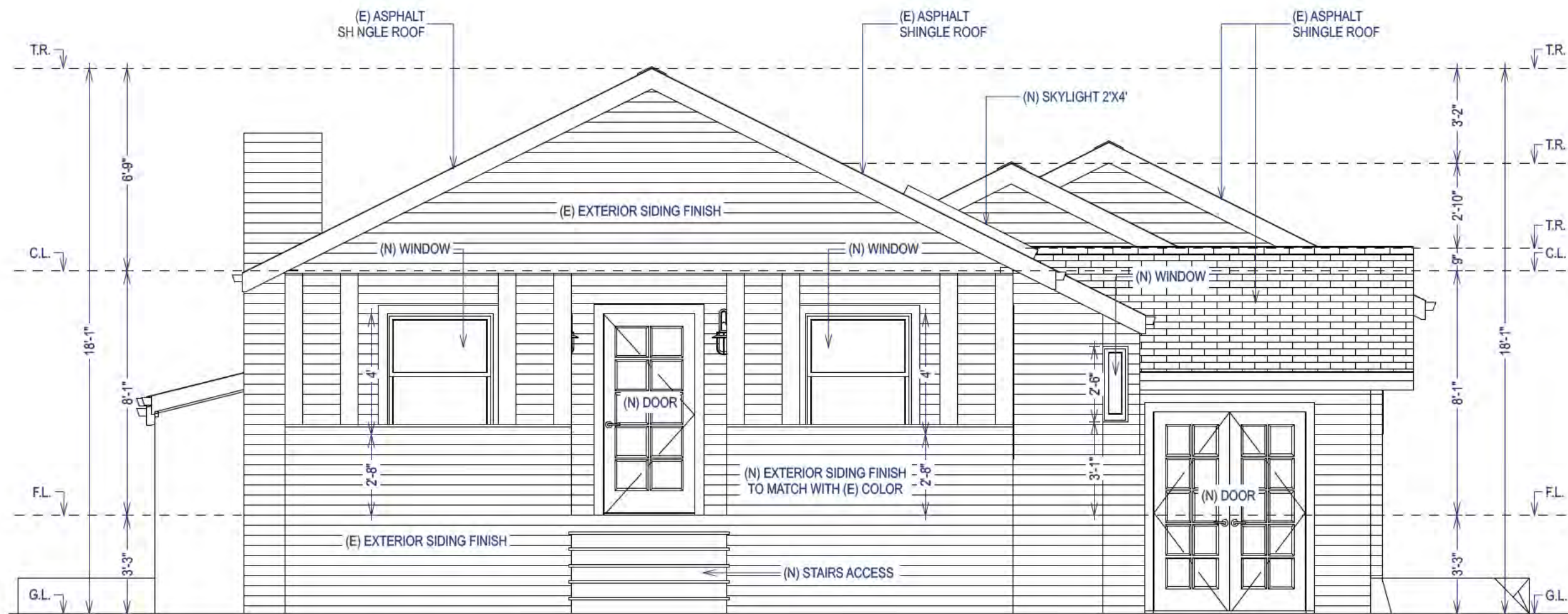
A-06



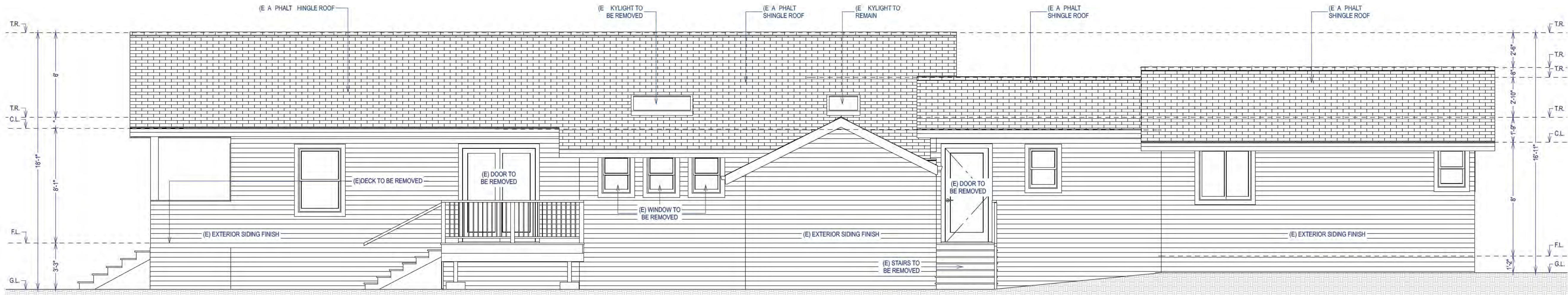
PROPOSED ROOF PLAN
SCALE 1/4"=1'-0"



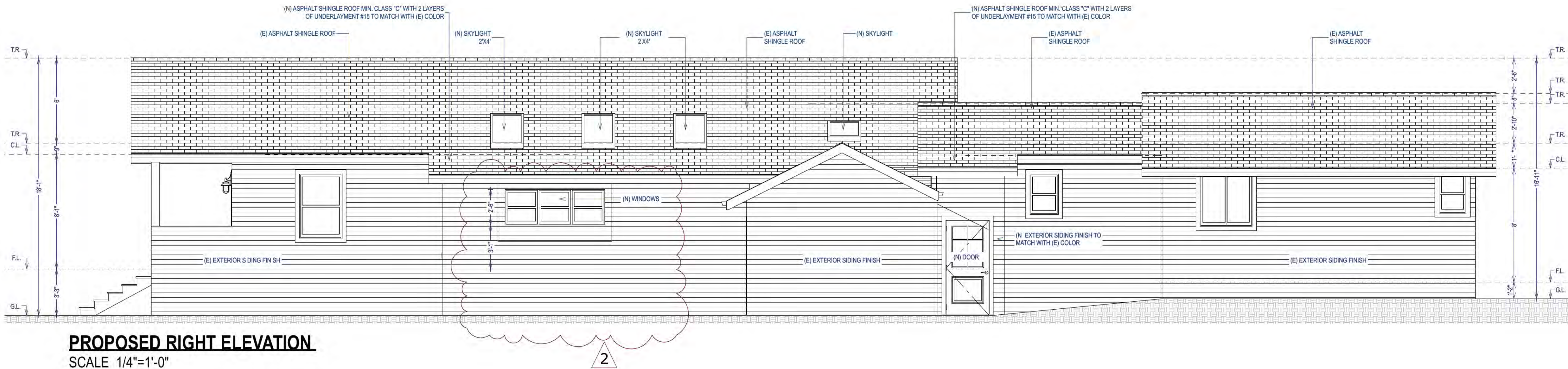
EXISTING FRONT ELEVATION
SCALE 1/4"=1'-0"



PROPOSED FRONT ELEVATION
SCALE 1/4"=1'-0"



EXISTING RIGHT ELEVATION
SCALE 1/4"=1'-0"



PROPOSED RIGHT ELEVATION
SCALE 1/4"=1'-0"

ABBREVIATIONS:
- G.L.: GROUND LEVEL
- F.L.: FLOOR LEVEL
- F.F.: FLOOR FINISH
- C.L.: CEILING LEVEL
- T.R.: TOP ROOF



PORAV
550 W HAC ENDA AVE
CAMPBELL, CA 95008
PORAV_NFO@GMAIL.COM

DATE	06.26.2023
BY	CP
DESCRIPTION	BUILDING COMMENTS
NO.	1
DESCRIPTION	PLANNING COMMENTS
NO.	2

PROJECT
26 Ashler Ave.
Los Gatos,
CA 95030
APN:
410-14-042

SHEET TITLE

**ARCHITECTURAL
ELEVATIONS**

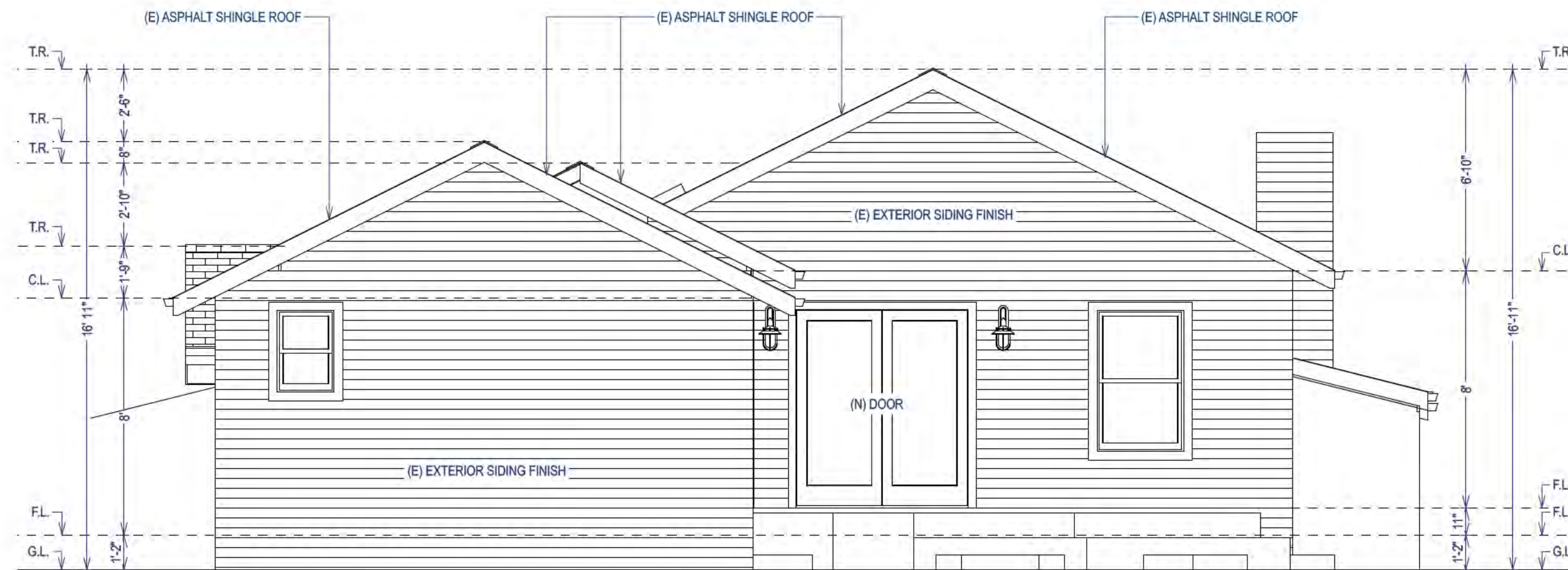
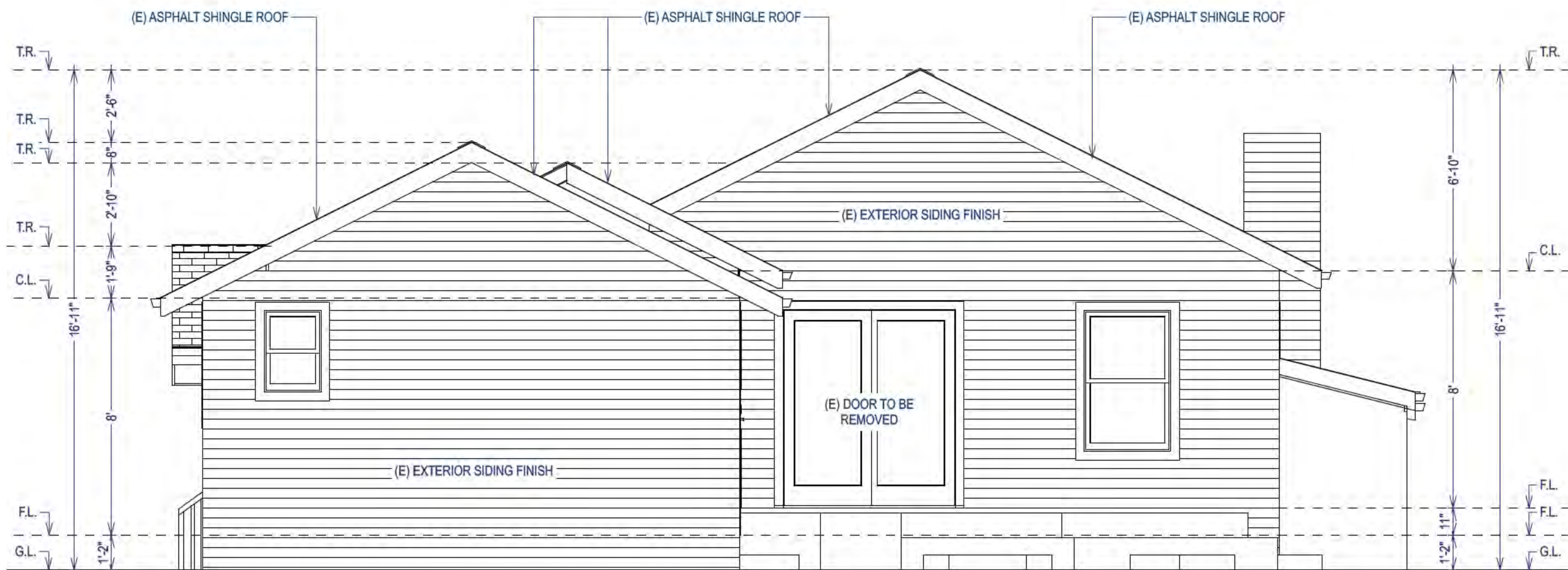
DATE
09/01/2023

DESIGNER'S STAMP

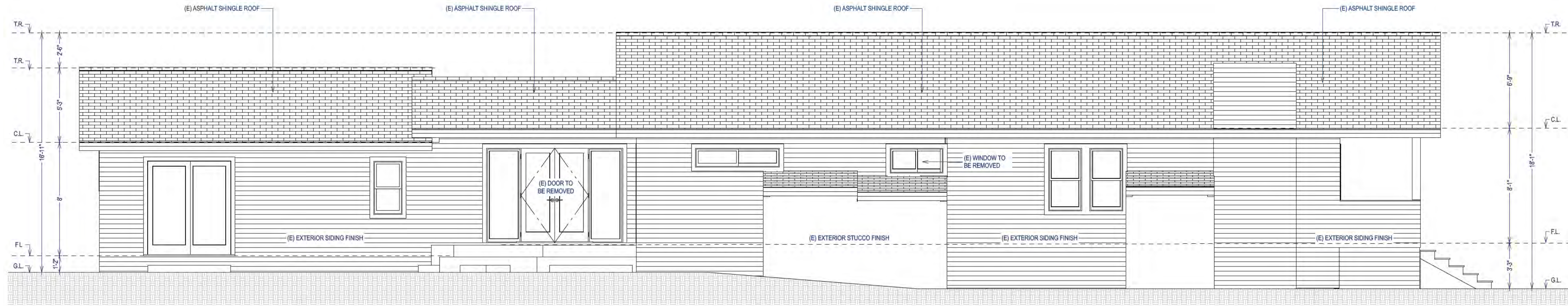
Claudia Botello

SHEET

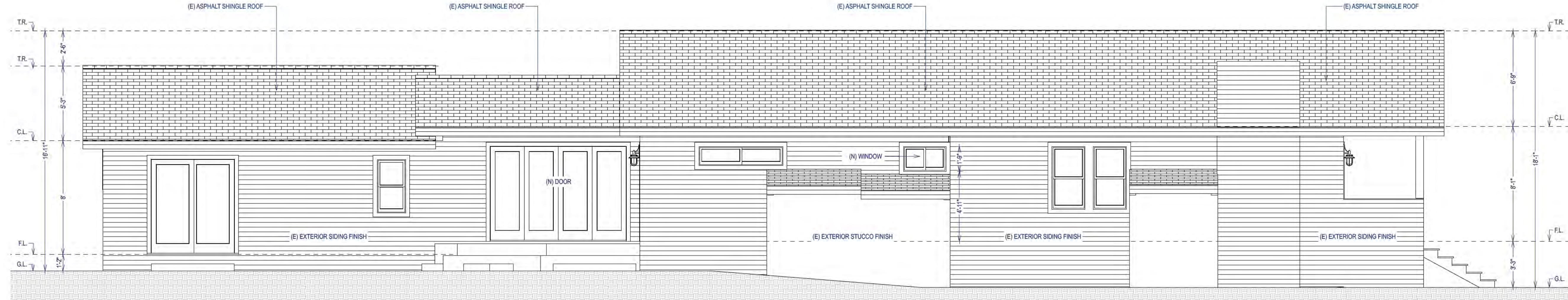
A-07



PROPOSED REAR ELEVATION
SCALE 1/4"=1'-0"



EXISTING LEFT ELEVATION
SCALE 1/4"=1'-0"



PROPOSED LEFT ELEVATION
SCALE 1/4"=1'-0"

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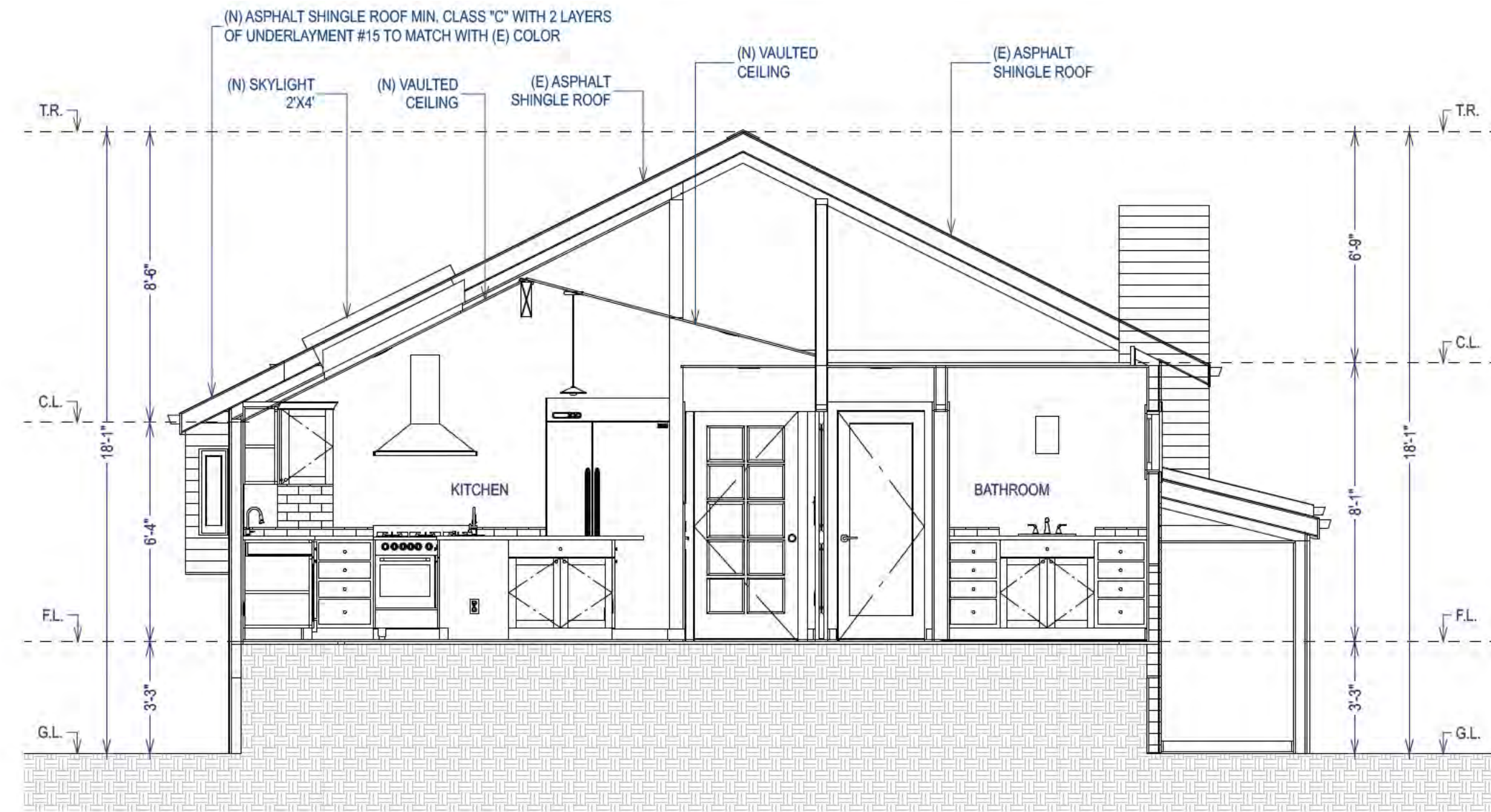
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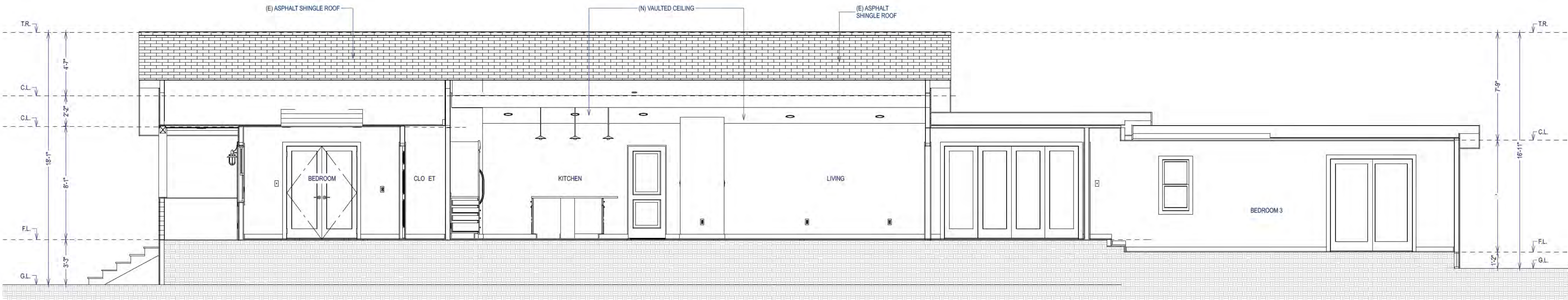
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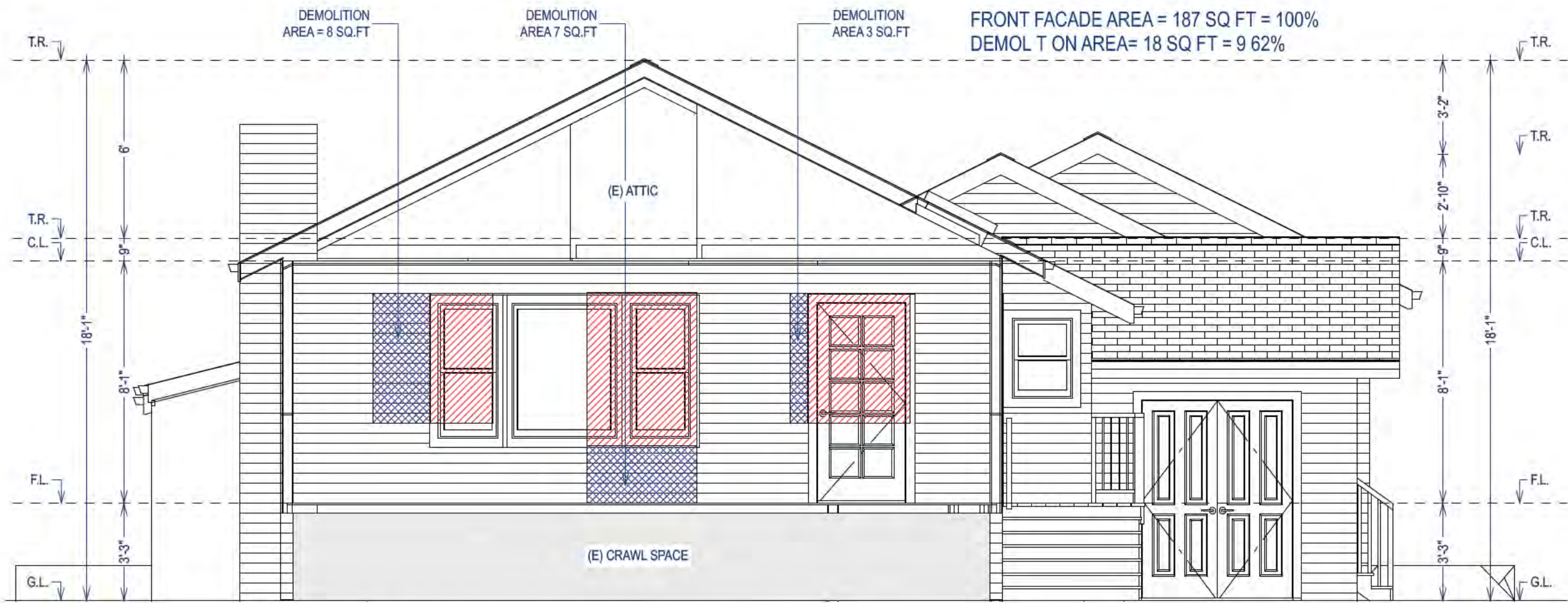
A-08



CROSS SECTION CS-01
SCALE 1/4"=1'-0"



CROSS SECTION CS-02
SCALE 1/4"=1'-0"



DEMOLITION AREA FRONT ELEVATION
SCALE 1/4"=1'-0"

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**ARCHITECTURAL
CROSS SECTIONS**

DATE
09/01/2023

DESIGNER'S STAMP

Claudia Portello

SHEET

A-09

RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.6

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS.
THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NO BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCESS 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT)

R311.3.1 FLOOR ELEVATIONS AT REQUIRED EGRESS DOORS.
LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 3/4" INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

FLOOR PLAN NOTES:

- ALL WINDOWS SHALL BE DUAL PANE UNLESS OTHERWISE NOTED. AND SAFETY GLASS (TEMPERED GLASS) TO BE PROVIDED FOR DOORS AND WINDOWS ADJACENT TO OPENINGS. ALL WINDOWS IN BATHS, AND IN WINDOWS WHERE EXPOSED BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE FLOOR.
- CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE FOR INSULATION FOR R-15 WALL, R-30 ATTIC OR BETTER.
- WATER METER MUST BE INSTALLED PRIOR TO FINAL INSPECTION AND MUST NOT BE LOCATED IN DRIVE OR APPROACH WHERE REQUIRED.
- ALL WEATHER STRIPPING, CAULKING, AND SEALING OF EXTERIOR DOORS, WINDOWS AND BLDG. ENVELOPE OPENINGS, AS REQUIRED BY THE C.R.C. SHALL BE SUBJECT TO FIELD INSPECTION.
- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
- NAILING SPECIFIED WITHIN THE STRUCTURE CALCULATIONS AND DETAIL SHALL BE DONE USING COMMON NAILS. PROVIDE I.C.C APPROVAL PRIOR TO THE INSTALLATION OF AN ALTERNATE FASTENER.
- PIPING IN UNCONDITIONED SPACE LEADING TO AND FROM WATER HEATERS SHALL BE INSULATED WITH AN INSTALLED THERMAL RESISTANCE OF R-3 OR GREATER FOR FIVE FEET OF PIPE CLOSEST TO THE WATER HEATER, OR WHATEVER SHORTER LENGTH IS IN UNCONDITIONED SPACES.
- FOR KITCHEN, A CLEAR PASSAGEWAY OF NOT LESS THAN 3-FEET BETWEEN THE COUNTER FRONTS AND APPLIANCE OR COUNTER FRONTS AND WALLS. CBC 1208.1

BATHROOMS & KITCHEN:

- a. 22" MIN SHOWER DOOR CLEARANCE
- b. TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS. CEMENT BOARD SUBSTRATE FOR SHOWER WALLS.
- c. LAVATORY FACETS TO HAVE A FLOW RATE OF 1.2 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)
- d. WATER CLOSETS TO HAVE A FLOW THAT NOT EXCEEDS 1.28 GPF. TANK- TYPE WATER CLOSET SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. (CALGREEN 4.303.1)
- e. THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GPF
- f. CEMENT BOARD SUBSTRATE (IE. DUROCK OR WONDERBOARD.ETC) FOR TILE APPLICATION SURROUNDING THE BATH TUB WALLS.
- g. KITCHEN FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)
- h. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2.
- . SINGLE SHOWERHEAD: SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 1.8 GPM AT 80 PSI. SHOWER HEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS.
- j. MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GPM @ 80PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME. (CALGREEN 4.303.1.3.2)
- k. RESIDENTIAL LAVATORY FAUCETS. THE MAX FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI. THE MIN. FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI. (CALGREEN 4.303.1.4.1)
- . LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS. THE MAX FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BULDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI.
- m. METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
- n. IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.

- ALL HOSE BIBBS INSTALLED SHALL BE PROTECTED BY AN APPROVED NON-REMOVABLE TYPE BACK FLOW PREVENTION DEVICE.
- BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, ETC., SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS W/AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA W/MIN. OF 1-1/2 SQ.FT. OR 5 AIR CHANGES PER HOUR.
- WALL SURFACE BEHIND CERAMIC TILE OR OTHER FIN. WALL MATERIALS SUBJECT TO WATER SPLASH SHALL BE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. (APPROVED WR GYP. BD. INSTALLED ACC. TO C.B.C 4712.)
- PRIOR TO BUILDING FINAL INSPECTION AN 'APPLIANCE CERTIFICATE', SIGNED BY THE INSTALLER OR GEN. CONTRACTOR, SHALL BE POSTED IN A CONSPICUOUS LOCATION.

TUB/SHOWER AND WATER CLOSET REQUIREMENTS:

- a. THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM DEGREE F. THE WATER-FILLER VALVE IN BATHTUBS/WHIRLPOOLS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120 DEGREE F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS (CPC 403.3, 409.4)
- b. NEW OR RECONFIGURED SHOWER STALL SHALL BE A MINIMUM FINISHED INTERIOR OR 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE, HAVE A CLEAR OPENING OF 22 INCHES MINIMUM (CPC 408.5, 408.6)
- c. SHOWER STALLS AND BATHTUB WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NON-ABSORBENT SURFACE FOR A MINIMUM OF 6 FEET ABOVE FLOOR. (CBC 1210 AND CRC R307.2)
- d. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT (CPC 402.5).
- e. WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. (CPC 402.2)
- LOCATE AND EXPOSE ALL PROPERTY CORNERS AND STRING THE SIDE YARD PROPERTY LINES PRIOR TO FOUNDATION INSPECTION.

MATERIAL CONSERVATION AND RESOURCE:

- 4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 4.408.1 RECYCLE AND/OR SALVAGE FOR REUSE OF A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4. OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. CGBSC SECTION 4.408.1
- 4.410.1 OPERATION AND MAINTENANCE MANUAL. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

ENVIRONMENTAL QUALITY:

- 4.503.1 FIREPLACE. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- 4.504.2.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- 4.504.2.2 PAINTS AND COATINGS. PAINTS, STAINS. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- 4.504.2.3 AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
- 4.504.2.4 VERIFICATION. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- 4.504.3 CARPET SYSTEMS. ALL CARPET SHALL MEET THE TESTING AND PROJECT REQUIREMENTS PER SEC 4.504.3 ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.
- 4.504.4 RESILIENT FLOORING SYSTEMS. AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE REQUIREMENTS PER SEC. 4.504.4.
- 4.504.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD (MDF) USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH FORMALDEHYDE EMISSION LIMITS PER TABLE 4.504.5.
- 4.505.2 CONCRETE SLAB FOUNDATIONS. VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.
- 4.503.3 MOISTURE CONTENT OF BUILDING MATERIALS. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT TO EXCEED 19% BEFORE ENCLOSURE. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE.
- 4.506 INDOOR AIR QUALITY AND EXHAUST. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR DUCTED TO OUTSIDE. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM EXHAUST FANS MUST BE CONTROLLED BY A HUMIDISTAT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80.
- 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 - 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.
 - 2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.
 - 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS:

- 702.1 INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
- 702.2 SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
- 703.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

WINDOW REPLACEMENT REQUIREMENTS:

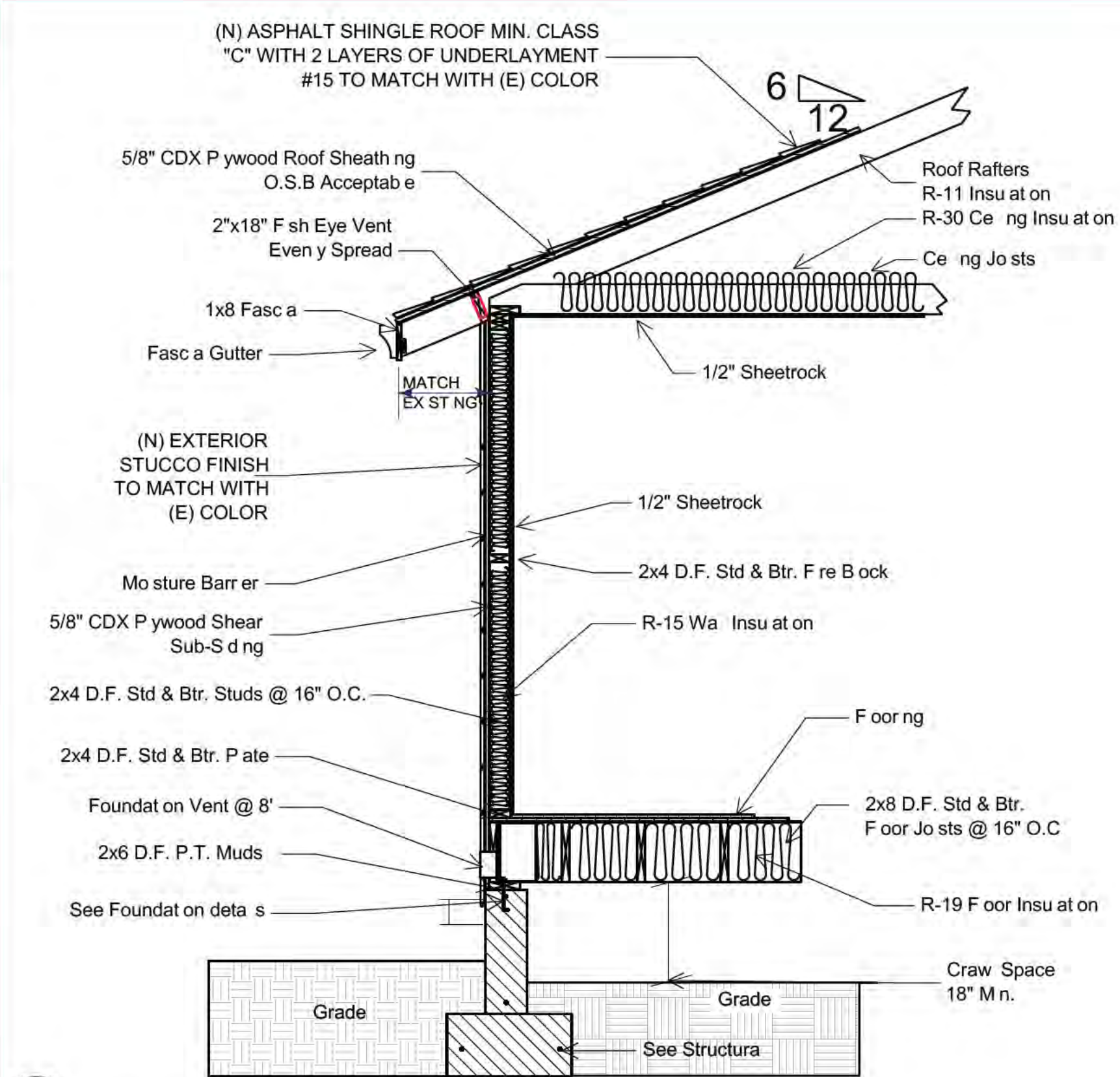
- 1) FENESTRATION (WINDOWS) SHALL BE LOW E AND DUAL PANE; AND A MAXIMUM U-FACTOR OF 0.32 AND A MAX. SHGC OF 0.25. (2019 TITLE 24 ENERGY STANDARDS)
- 2) EMERGENCY EGRESS WINDOWS (BEDROOM ESCAPE WINDOW) SHALL HAVE A MINIMUM OF 5.0 SQUARE FEET OF CLEAR OPENING ON GRADE LEVEL FLOOR AND 57 SQUARE FEET ON SUBSEQUENT FLOORS; AND A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES AND HEIGHT OF 24 INCHES. (CRC 310)
- 3) GLAZING SHALL BE TEMPERED IF: (CRC R308) LOCATED IN THE WILD-LAND URBAN INTERFACE AREA, LOCATED LESS THAN 60 INCHES MEASURED VERTICALLY, ABOVE WALKING SURFACE OF SHOWER/TUB/STEAM ROOF, ETC., LOCATED IN HAZARDOUS LOCATIONS AS INDICATED PER CRC R308.4.
- 4) PROVIDE A FALL PREVENTION DEVICE IF THE OPENING IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE AND THE LOWEST PART OF CLEAR OPENING IS LESS THAN 24 INCHES ABOVE FINISHED FLOOR. (CRC R312.2)

HERS NOTE:

A HERS RATER MUST VERIFY THAT INSTALLED RANGE HOODS ARE LISTED IN THE HVI CERTIFIED HOME VENTILATING PRODUCTS DIRECTORY AND HAVE BEEN HVI-CERTIFIED AS MEETING ASHRAE 62.2 VENTILATION AND SOUND REQUIREMENTS. PROVIDE EVIDENCE OF HERS VERIFICATION TO TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

KITCHEN HOOD NOTE:

WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ.FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN). ASHRAE 62.2, SECTION 6.4



1 TYPICAL WALL DETAIL



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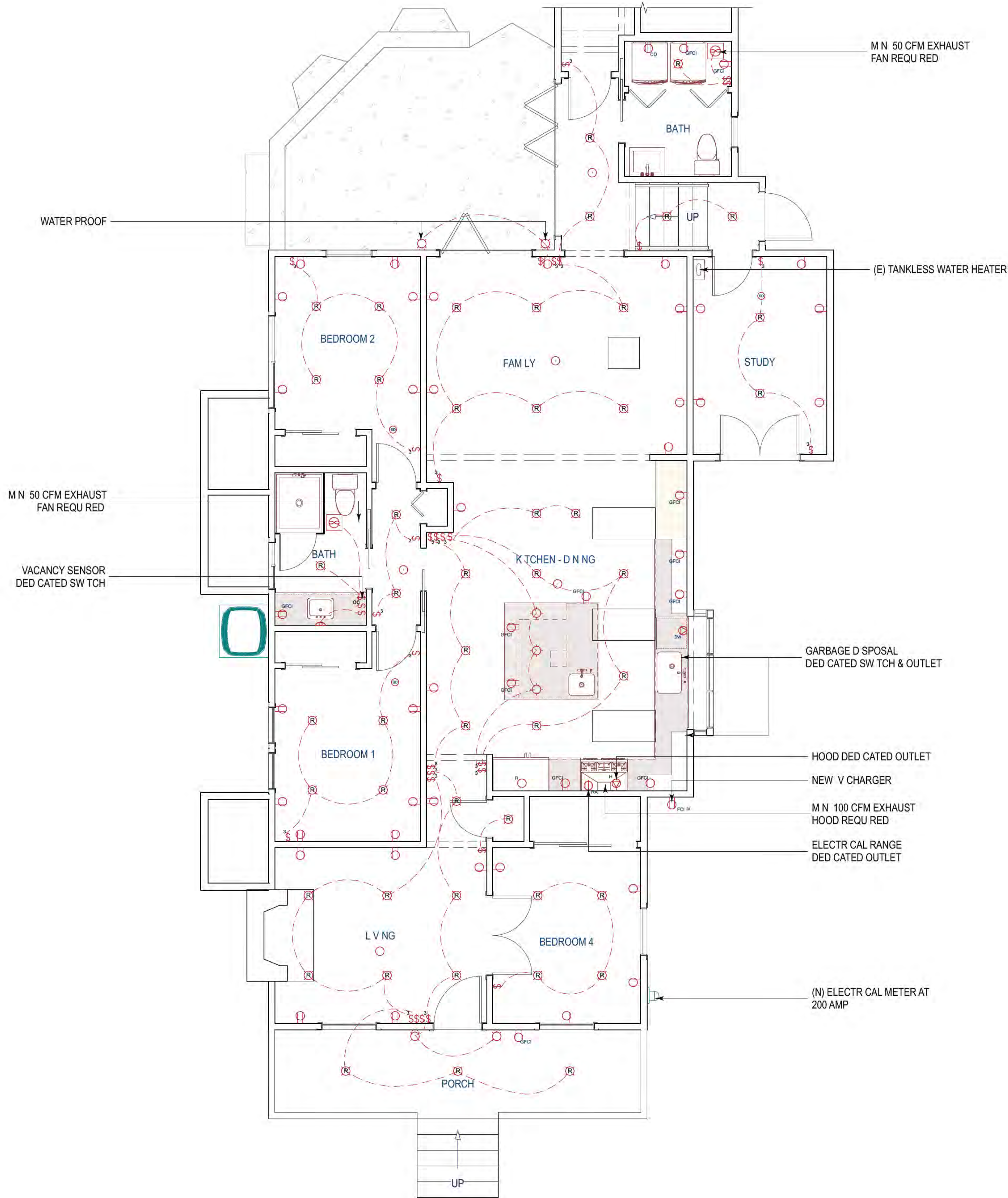
ARCHITECTURAL FLOOR PLAN NOTES

DATE
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DESIGNERS STAMP

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A-10



PROPOSED ELECTRICAL PLAN
SCALE 1/4"=1'-0"

REQUIRED LIGHTING NOTES:
A) ALL LIGHTING TO BE HIGH EFF CAC (E/P/N BASED CFL PULSE START MH HPS GU24 SOCKET STANDARD LED LUMINAIRES WITH NEGATIVE SOURCE EFFECTIVE 1500A)
B) SCREWED BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONFORM TO A SCREW BASED JAB (JOINT APPENDIX 8) COMPLIANT LAMPS JAB COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAB 2019" OR "JAB 2019 E" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES) ADVISORY "JAB 2016 E" MARKED LUMINAIRES ARE NOT ALLOWED FOR USE THROUGH THE END OF THE 2019 CODE CYCLE CEC 150.0(K)G
C) ALL JAB COMPLIANT LIGHT SOURCES MUST FOLLOW THE FOLLOWING LOCAL ORDINANCES CONTROLLED BY VACANCY SENSORS OR DIMMERS
) CEILING RECESSED DOWNLIGHT LUMINAIRES
) LED LUMINAIRES WITH NEGATIVE SOURCE
) P/N BASED LED LAMPS (MR16 AR E/C)
) 60/24 BASED LED LIGHT SOURCES
D) A LEAS ONE FUTURE IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR CEC 150.0(K)2
E) A LEAS ONE FUTURE IN EACH LAUNDRY ROOM CONTROLLED BY A VACANCY SENSOR 150.0(K)2
F) ALL OUTDOOR LIGHTING AS HIGH EFF CAC WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3
) PHOTO CONTROL AND MOON SENSOR
) PHOTO CONTROL AND MOON MEASUREMENT CONTROL
) AS REQUIRED MEASUREMENT CONTROL
) ENERGY MANAGEMENT CONTROL SYSTEMS EMS

2019 GENERAL ELECTRICAL REQUIREMENTS:
1) PROVIDE ARC FAULT CURRENT INTERRUPTER ALL BRANCH CIRCUITS HAVING SUPPLY 125 VOLTS SINGLE PHASE 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNITS FAMILY ROOMS DINING ROOMS LIVING ROOMS PARLORS LBRARIES BEDROOMS SUNROOMS RECREATION ROOMS CLOSE TO HALLWAYS KITCHENS LAUNDRY OR SMLAR ROOMS OR AREAS
2) ALL 120 VOLTS SINGLE PHASE 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLY OUTLETS OR DEVICES INSTALLED IN DWELLING UNITS KITCHENS FAMILY ROOMS DINING ROOMS LIVING ROOMS PARLORS LBRARIES BEDROOMS SUNROOMS RECREATION ROOMS CLOSE TO HALLWAYS LAUNDRY AREAS OR SMLAR ROOMS OR AREAS SHALL BE PROTECTED BY A L.S. ED ARC FAULT CIRCUIT INTERRUPTER (CEC 210.12)
3) PROVIDE A LEAS ONE WEATHER RESISTANT TYPE RECEPTACLE IN A WEATHERPROOF ENCLOSURE OUTSIDE THE FRONT AND BACK OF THE DWELLING (CEC 210.52 (E)(1) & 406.8(B)(1))
4) ALL 125 VOLTS SINGLE PHASE 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL (CEC 210.8)
A) BATHROOM GARAGES OUTDOORS CRAWL SPACES UNFINISHED BASEMENTS
B) KITCHEN COUNTER TOP SURFACES
C) LAUNDRY UTILITY AND WEATHER RESISTANT SINKS (WITHIN 6 FEET OF THE EDGE OF SINK)
D) BOATHOUSES

SMOKE DETECTOR REQUIREMENTS
• ALL CONDUITS RUN IN OR REPAIRS OR ALTERATIONS REQUIRE A PERMIT OCCUR THE DWELLING SHALL BE PROVIDED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS AND EXISTING CONDUITS RUN IN
• SMOKE DETECTORS REQUIRED IN THE FOLLOWING LOCATIONS PER CRC 314.3 IN ALL BEDROOMS IN ALL HALLWAYS LEADING TO BEDROOMS AND IN EACH FLOOR LEVEL INCLUDING BASEMENTS AND HABITABLE SPACES
• SMOKE ALARMS SHALL BE INSTALLED IN A MINIMUM OF 3 FEET FROM A DOOR OPENING OF A BATHROOM HALLWAY OR SHOWER UNLESS WOULD PREVENT PLACEMENT OF THE REQUIRED SMOKE ALARM
• SMOKE DETECTORS SHALL BE HARDWIRED TOGETHER IN SERIES WITH A BATTERY BACKUP
• CARBON MONOXIDE DETECTORS REQUIRED ON EVERY HABITABLE LEVEL OF A RESIDENCE HALLWAY AND IN A FUEL BURNING APPLIANCE AND IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH LEVEL OF THE DWELLING UNITS INCLUDING BASEMENTS PER CRC 315 CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITH A BATTERY BACKUP (SEE CRC 315.1 FOR EXCEPTIONS)
• ALL SMOKE AND CARBON MONOXIDE ALARMS THROUGHOUT THE DWELLING MUST BE HARDWIRED
• IN ALL DETECTED 110V SMOKE DETECTORS WITH A BATTERY BACKUP HALLWAY SIGNAL WHEN BATTERIES ARE LOW
• ELECTRICALLY INTERCONNECTED SO THAT WHEN ALARM SOUNDS ALL ALARMS WILL SOUND
• WHEN IN OPERATION AND AN ALARM SOUNDS ENVIRONMENTAL FLAMES OR GAS DETECTORS CEC 150.0(M)12C
• COMPLETE DETECTOR LISTING G01 E FORM MUST BE PROVIDED TO THE OWNERS BUILDING INSPECTOR OR PROR OF FINAL INSPECTOR ON 2019 CA ENERGY CODE SECTION 150(K) FOR LIGHTING

CONTRACTOR READ NOTE:
** SMOKE ALARM WITHIN 20 FEET OF THE KITCHEN COOKING APPLIANCE SHALL BE AN ONZAP ON SMOKE ALARMS WITH AN ALARM SIGNALING SWITCH OR PHOTOELECTRIC SMOKE ALARMS SHALL BE INSTALLED IN A MINIMUM OF 10 FEET FROM A PERMANENTLY INSTALLED COOKING APPLIANCE CRC 314

CALGREEN NOTE:
ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE PLASTIC SHEET METAL OR OTHER ACCEPTABLE METHODS AT THE TIME OR ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT CGSBC SECTION 4.504.1

ADDITIONAL NOTES:
• A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN DINING ROOM PANTRY OR OTHER SMALL AREAS (CEC 210.11(C)(1))
• AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS (CEC 210.11(C)(2))

HERS NOTE:
A HERS RATER MUST VERIFY THAT INSTALLED RANGE HOODS ARE LISTED IN THE HV CERTIFIED HOME VENTILATING PRODUCTS DIRECTORY AND HAVE BEEN HV CERTIFIED AS MEETING ASHRAE 62.2 VENTILATION AND SOUND REQUIREMENTS PROVIDED EVIDENCE OF HERS VERIFICATION TO TOWN BUILDING INSPECTOR PRIOR TO FINAL INSPECTION

KITCHEN HOOD NOTE:
WHERE COMBUSTION APPLIANCES OR SOLID FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ FT OF OCCUPABLE SPACE WHEN OPERATING AT FULL CAPACITY IF THE DESIGN TOTAL NET FLOW EXCEEDS THIS LIMIT THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUTDOOR AIR FLOW (NOTE: MAKEUP AIR FAN INSTALLED MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN) ASHRAE 62.2 SECTION 6.4

BATHROOM ELECTRICAL NOTES:
• LIGHT OVER TUBS AND SHOWERS ARE MARKED FOR DAMP LOCATIONS OR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY (CEC 410.10(D))
• TYPICAL BATHROOM FAN SHALL HAVE A MINIMUM 50 CFM EXHAUST RATE AND FAN TO HAVE BACKDRAFT DAMPER IF FAN IS PART OF ENTIRE TYPICAL WHOLE HOUSE FAN VENTILATION SYSTEM PER ASHRAE 62.2 MAXIMUM SOUND RATING OF 3 SONES ALLOWED AT 100 CFM
• BATHROOM FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM OR AN APPROVED EXHAUST FAN WITH AN INTEGRAL "HIGH EFF CAC" LIGHTING CAN BE ON THE SAME SWITCH BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO BE CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME (CENC 150.0(K)(2)(B)) ENERGY STAR
• EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN EXHAUST FAN CONTROLLED BY A HUMIDITY CONTROL

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ventilation Fans Ceiling Mounted Wall Mounted CONTROLLED BY HUMIDITY CONTROL
	Ceiling Mounted Light Fixtures Surface/Pendant Recessed Heat Lamp Low Voltage
	Wall Mounted Light Fixtures Flush Mounted Wall Sconce
	240V Receptacle
	110V Receptacles Duplex Weather Proof GFC
	Switches Single Pole Weather Proof 3-Way 4-Way
	SMOKE DETECTORS
	CARBON MONOXIDE/SMOKE DETECTORS
	Switches VACANCY SENSOR



PORAV
550 W HAC ENDA AVE
CAMPBELL CA 95008
PORAV NFO@GMAIL.COM

DATE	06.26.2023
BY	CP
DESCRIPTION	BUILDING COMMENTS
NO.	1
DESCRIPTION	PLANNING COMMENTS
NO.	2

PROJECT
26 Ashler Ave.
Los Gatos,
CA 95030
APN:
410-14-042

SHEET TITLE
ARCHITECTURAL ELECTRICAL PLAN

DATE
09/01/2023

DESIGNERS STAMP


SHEET
A-11



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 09/27/2023

ITEM NO: 5

DATE: September 22, 2023

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval for Construction of an Addition to a Single-Family Residence to Exceed the Floor Area Ratio Standards on Property Located in the Almond Grove Historic District Zoned R-1D:LHP. **Located at 112 Wilder Avenue.** APN 510-17-103. Architecture and Site Application S-23-017. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: Andrea Grant and Tarek Robbiati. Applicant: Jay Plett. Project Planner: Jocelyn Shoopman.

RECOMMENDATION:

Requesting approval for construction of an addition to a single-family residence to exceed the floor area ratio (FAR) standards for a property in the Almond Grove Historic District on property zoned R-1D:LHP located at 112 Wilder Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 2010
2. Town of Los Gatos Historic Status Code: None
3. Does property have an LHP Overlay? Yes
4. Is structure in a historic district? Yes, Almond Grove Historic District
5. If yes, is it a contributor? No
6. Findings required? N/A
7. Considerations required? Yes

BACKGROUND:

The single-family residence located 112 Wilder Avenue was constructed in 2010 on a parcel that previously served as a parking lot. The single-family residence was reviewed by the

PREPARED BY: Jocelyn Shoopman
Associate Planner

BACKGROUND (continued):

Historic Preservation Committee (Committee) at its meetings of September 16, 2009, October 21, 2009, and April 14, 2010.

The proposal was reviewed by the Committee as preliminary review on June 28, 2023. Committee members provided the following comments:

- Moving the existing doors to the end of the lanai space to enclose the area is consistent with the neighborhood;
- Be sure to address the FAR considerations relative to the neighborhood; and
- Stylistically it is fine.

DISCUSSION:

The property is located east side of Wilder Avenue, between Bean and Nicholson Avenues (Attachment 1). The applicant is requesting approval by the Committee for construction of an addition to an existing single-family residence in the Almond Grove Historic District (Attachment 6).

The following applicable excerpts from the Residential Design Guidelines are provided to facilitate discussion relative to the proposed addition:

3.9 Additions/Accessory Buildings/Secondary Units

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape, and location as the original, and should utilize the same materials as the existing protected exterior elements.
- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).

DISCUSSION (continued):

- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only and should be subordinate in terms of scale and detailing.

The project requires an Architecture and Site application for a request to exceed the FAR standards. The residence would be approximately 2,764 square feet where 2,516 square feet is allowed by the Town Code. The 256-square foot addition to the residence would fully enclose an existing lanai sunroom that is located along the right elevation and is currently enclosed on three sides and covered by the existing roof. The applicant is proposing to relocate the existing painted, wood folding door system to enclose the space. The applicant states that the existing doors are in keeping stylistically and materially with the existing doors on the residence, the added mass will be minimally visible from the Wilder Avenue, and the proposed floor area is compatible with the immediate and greater neighborhood (Attachments 2, 3, 5, and 6).

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- ____ In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property, which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

B. Residential Design Guidelines

Sections 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 4).

PAGE 4 OF 4

SUBJECT: 112 Wilder Avenue/S-23-017

DATE: September 22, 2023

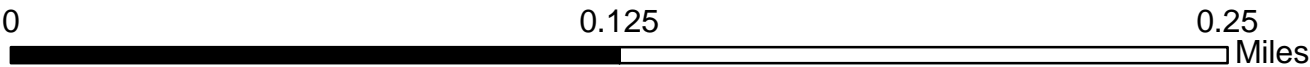
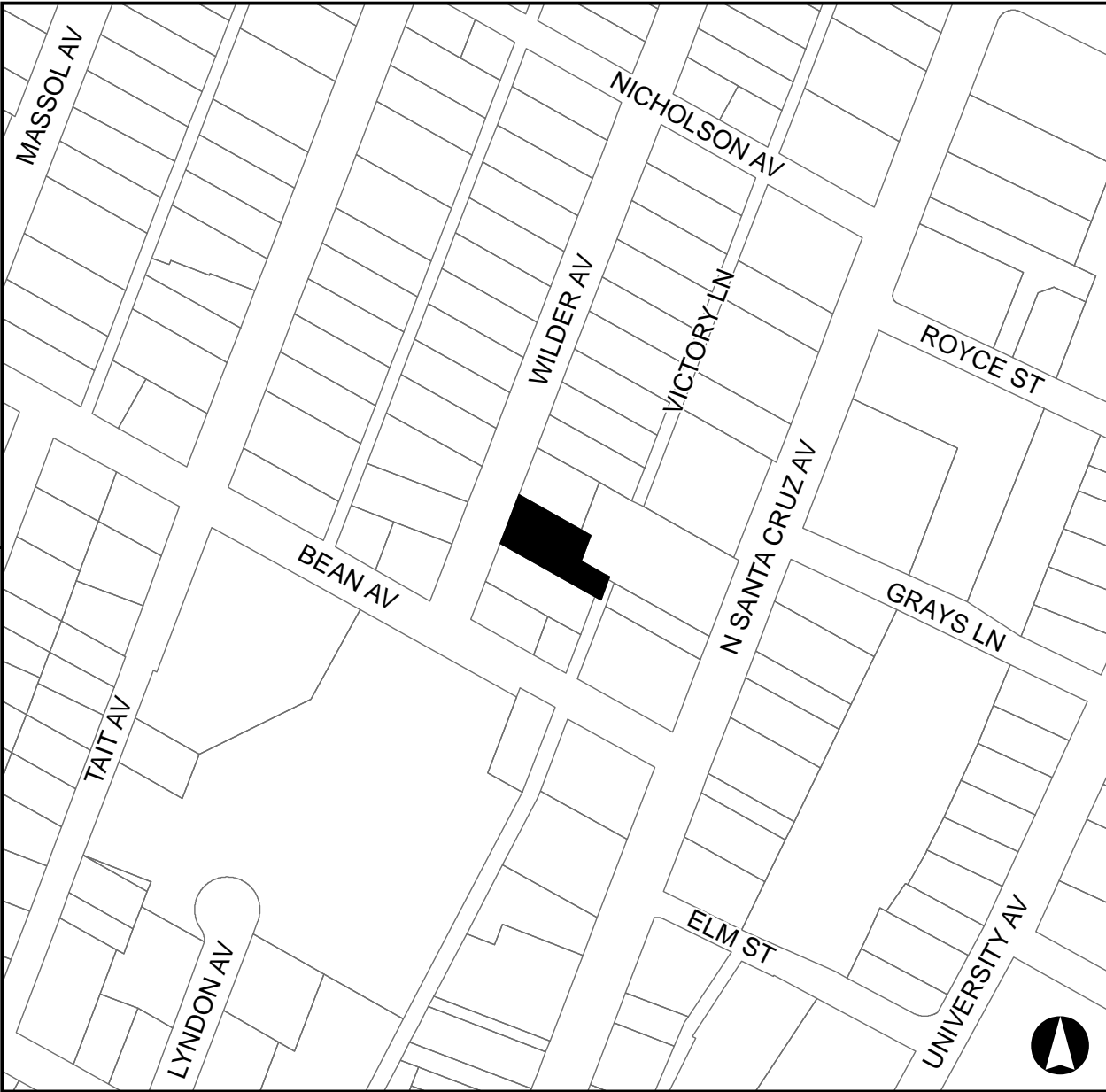
CONCLUSION:

The applicant is requesting approval for construction of an addition to an existing single-family residence located in the Almond Grove Historic District. Should the Committee find merit in the request, the recommendation of approval would be forwarded to the Community Development Director and the project would continue through the Architecture and Site application process. The project would not return to the Committee.

ATTACHMENTS:

1. Location Map
2. Project Description
3. Letter of Justification
4. Section 3.9, Residential Design Guidelines
5. Property Photos
6. Development Plans

112 Wilder Avenue



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LETTER OF JUSTIFICATION

TO: Town of Los Gatos
FROM: Jay Plett Architect

PROJECT DESCRIPTION:

This is a non-historic home in the Almond Grove Historic District.

The home has been remodeled recently with very beautiful custom folding doors. We propose to move the existing doors in photo A to the location shown on the Plans, Sheet A-1.

Photo B depicts other matching doors that were added to the home. The door style will remain consistent through out the home and are complementary to the Historic District.

Best Regards,

Jay Plett Architect



Photo A.



Photo B.

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PROJECT DESCRIPTION/
JUSTIFICATIONPROJECT DESCRIPTION / JUSTIFICATION

PROPOSAL TO INFILL AN EXISTING ROOF COVERED LANAI ON THE GROUND LEVEL BOUNDED ON THREE SIDES WITH THE EXISTING HOMES WALLS - TWO OF WHICH ARE TWO STOREY. THE ADDITION WILL BE INDENTED FROM THE SIDE FACE OF THE BUILDING, WILL BE PRACTICALLY INVISIBLE FROM THE STREET, WITH NO VISIBLE MASS ADDED TO THE STREET PRESENCE OF THE HOME.

PROJECT PROPOSED AREAS / RATIOS

TOTAL FAR = .36 (SIX NEIGHBORS ARE LARGER, ONE IS IDENTICAL)

TOTAL FLOOR AREA OVER FAR = 255.5 sf (THREE NEIGHBORS ARE LARGER)

TOTAL FLOOR AREA = 2,764.5 sf (ONE NEIGHBOR IS LARGER)

NEIGHBOR COMPARISONS

134 WILDER

TOTAL FAR = .42 (LARGER)

TOTAL FLOOR AREA OVER FAR = 588 (LARGER)

TOTAL FLOOR AREA = 2,770 sf (LARGER)

114 WILDER

TOTAL FAR = .44 (LARGER)

TOTAL FLOOR AREA OVER FAR = 477.5 sf (LARGER)

100 WILDER

TOTAL FAR = .40 (LARGER)

TOTAL FLOOR AREA OVER FAR = 244 sf

101 WILDER

TOTAL FAR = .44 (LARGER)

TOTAL FLOOR AREA OVER FAR = 540 sf (LARGER)

PROJECT DESCRIPTION/
JUSTIFICATION

NEIGHBOR COMPARISONS (cont.)

123 WILDER

TOTAL FAR = .38 (LARGER)

TOTAL FLOOR AREA OVER FAR = 218 sf

128 WILDER

TOTAL FAR = .35

TOTAL FLOOR AREA OVER FAR = 36 sf

146 WILDER

TOTAL FAR = .38 (LARGER)

TOTAL FLOOR AREA OVER FAR = 210 sf

139 WILDER

TOTAL FAR = .36 (IDENTICAL)

TOTAL FLOOR AREA OVER FAR = 99 sf

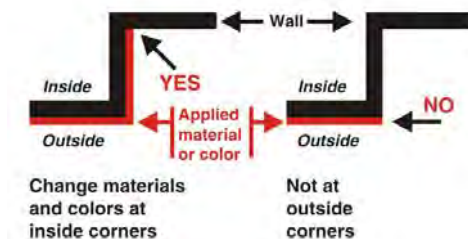
THE DATA TABULATION SHOWS THE PROPOSED PROJECT BLENDS WELL WITH THE EXISTING NEIGHBORHOOD FLOOR AREA RATIOS AND FLOOR AREA PATTERNS. IN ADDITION, WE SOUGHT DIRECTION UPFRONT FROM THE HPC AT THE JUNE 26 MEETING - THEY'RE INPUT WAS OVERWHELMINGLY POSITIVE WITH THE QUALITY OF THE MATERIALS TO BE USED AND WITH THE DISCREET VISIBILITY OF THE PROPOSED ADDITION.

3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN

3



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.



ATTACHMENT 5HC

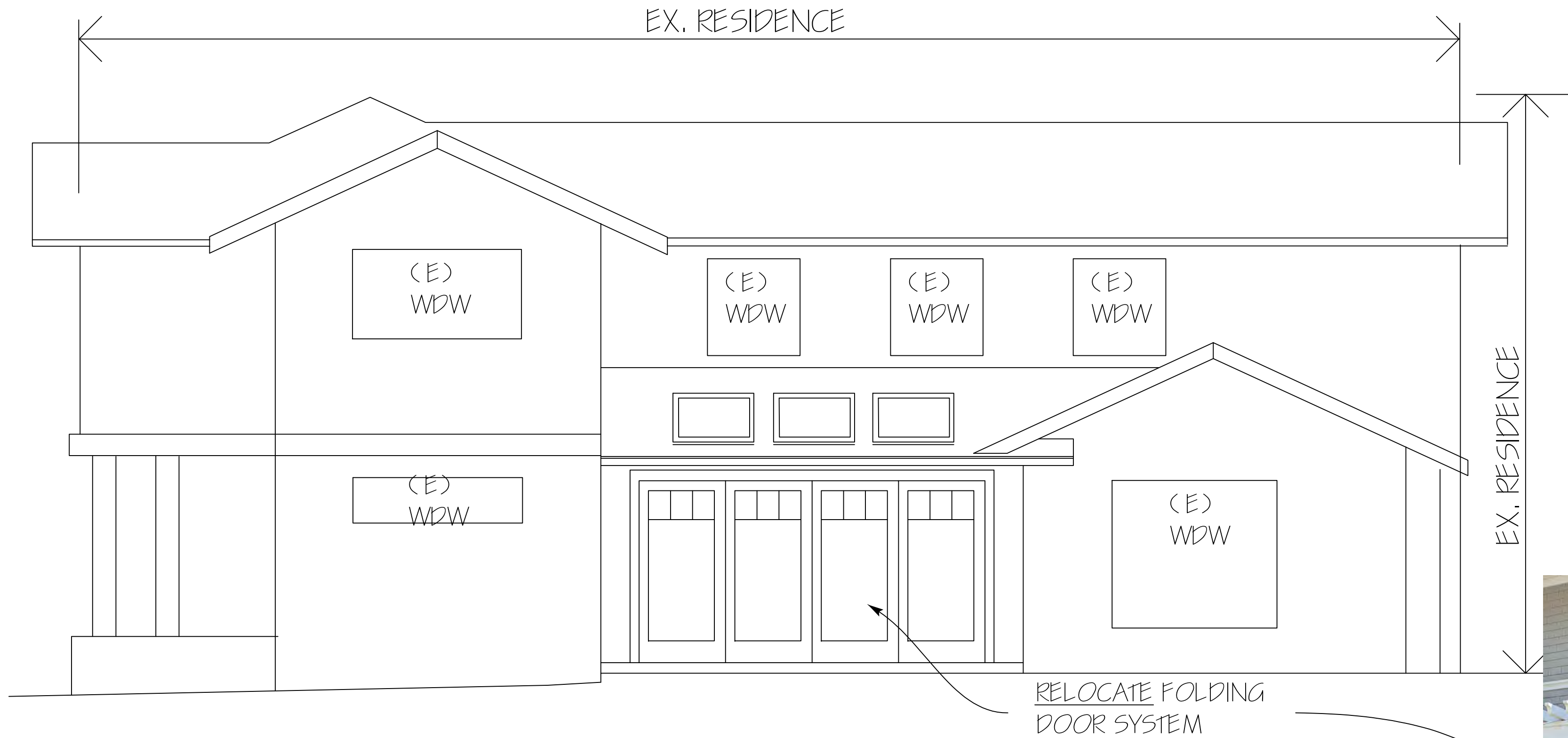


2 HOUR PARKING
9 AM TO 6 PM
EXCEPT BY PERMIT
PERMIT PARKING ONLY
6 PM TO 9 AM

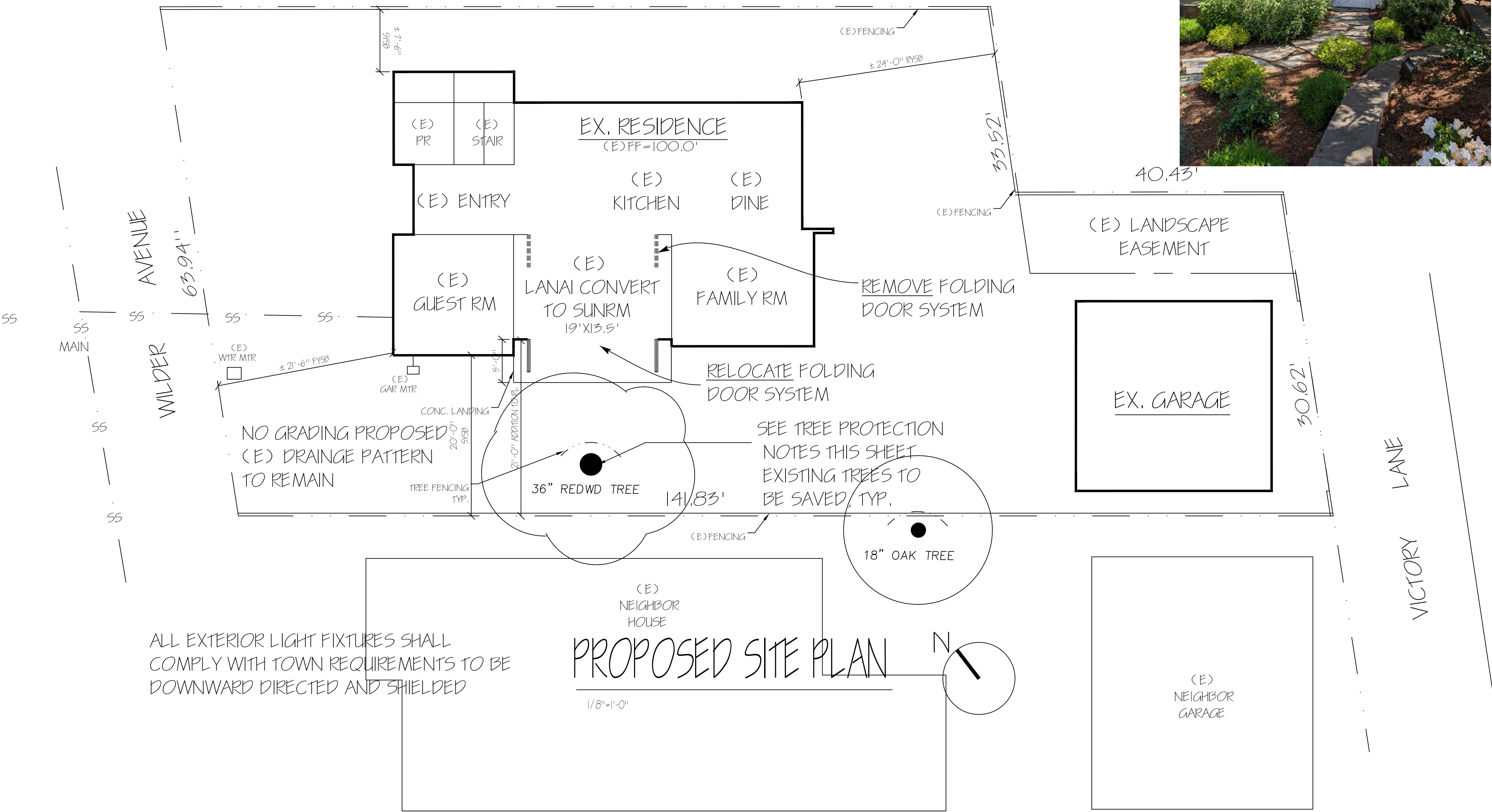


2 HOUR
PARKING
9 A.M. TO 6 P.M.
EXCEPT
SUNDAY & HOLIDAYS





RIGHT SIDE ELEVATION - SOUTH



PROJECT SCOPE

REMOVE (E) FOLDING DOOR SYSTEM AT KITCHEN/ HALLWAY AND RELOCATE TO (E) LANAI (CONVERTED TO SUNROOM)

NO ADDITIONS PROPOSED HOWEVER CONVERSION OF LANAI TO SUNROOM WILL ADD 280SF TO (E) HOUSE

EX BUILDING HAS A FIRE SPRINKLER SYSTEM

BUILDING & SITE DATA

GENERAL INFORMATION
EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: SINGLE FAMILY RESIDENCE
AVERAGE SITE SLOPE: 0%
ASSESSOR'S PARCEL NUMBER: 510-17-103
ZONING DESIGNATION: R1-D
LAND USE: SINGLE FAMILY
CONSTRUCTION: TYPE V-B OCCUPANCY CLASS: R-3

OWNERS

ANDREA GRANT AND TAREK ROBBIATI
PH. (913) 296-2221

112 WILDER AVENUE
LOS GATOS, CA

SHEET INDEX

A-1 SITE PLAN/ NOTES
FLOOR PLAN
FRONT ELEVATION

APPLICABLE CODES

2022 CALIFORNIA BUILDING STANDARDS CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24, PARTS 1-12, INCLUDING LOCALLY ADOPTED ENERGY REACH CODES

BUILDING & LOT AREAS

LOT AREA	7624 S.F.
GROSS AREA	7624 S.F.
EASEMENT	0 S.F.
NET AREA	7624 S.F.

AREAS	EX.	REM	MOD	ADD	TOTAL	FAR
EX. RESIDENCE (HSE)	2508				2508	2508
SUNROOM (LANAI CONVERT TO SUNRM)				256	256	256
TOTAL FLOOR AREA				256	2764	2764

(CONDITIONED SPACE)
(FAR AREA CALCS)

TREE PROTECTION NOTES

SEE PLAN FOR LOCATIONS
OF TREE FENCING, TYP.

Town of Los Gatos Tree Protection Conditions

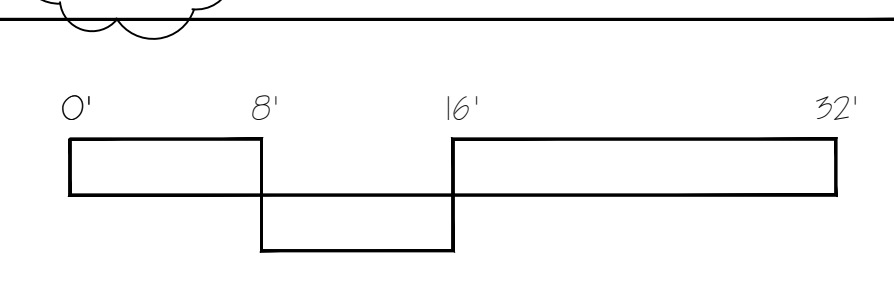
1. TREE FENCING: Protective tree fencing shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection fencing plan with the construction plans. Tree fencing should be established at least 24 inches from existing hardscape, and placed no further than 60 inches from the existing structure. The fencing should consist of five-to six foot high chain link mounted on eight foot tall, two-inch diameter galvanized steel posts that are driven into the ground 24 inches deep and spaced apart no more than approximately ten feet. It must remain intact and maintained throughout construction, and only removed upon completion of construction and final inspection.
2. The posts should be placed at least 10 feet from the trunk, minimized in diameter and spaced as far apart as possible (e.g. at least five plus feet apart). The design should specify that the post holes are manually dug using a post hole digger or shovel, and roots two inches and greater in diameter retained and protected through the process (in the event a root of this size is encountered during digging, the hole should be shifted over 12 inches and the process repeated).
3. All utilities and services (e.g. storm drain, area drain, joint trenches, electrical, water, sewer, fiber optic, gas, etc) should be routed beyond the tree protection zone (TPZ). In the event this is not feasible, the location and proximity to the tree's trunk would dictate which of the following methods can offer sufficient mitigation: hand-digging, a pneumatic air device or directional boring. For directional boring, the ground above any tunnel must remain undisturbed, and access pits and any infrastructure (e.g. splice boxes, meters and vaults) established beyond the TPZ.
4. Any future pathway or other landscape features established within a TPZ should be a raised or no-slip design, with a vertical soil cut of no more than 2 to 3 inches (including for base material, edging and forms); or where there are large surface roots (e.g. greater or equal to 2 inches in diameter), then on top of (i.e. raised above) the roots. Additionally, compaction of the soil surface or subgrade must be avoided (that tamping is acceptable), and soil fill used to bevel the top of walk or drive to existing grade should be confined to 24 inches beyond the edge, and be at least 24 inches from the tree's trunk.
5. Where beneath a tree's canopy, over excavation, compaction, grading, trenching, and other soil disturbance beyond any approved curb, gutter, pavement, wall, building foundation or driveway should be confined to 12 inches.
6. Staging areas and routes of access should be planned beyond tree canopies.
7. Preventative measures shall be implemented to avoid soil eroding or being spread/piled downhill beneath a tree's canopy.
8. Spills created during digging should not be piled or spread on unpaved ground within the TPZ, rather they should be temporarily piled on plywood or a tarp.
9. The limits of grading should be staked upon completion of demolition and prior to any soil cut, fill or compaction (the protection fencing may also need to be modified at this stage to protect tree roots).
10. Great care must be taken during demolition of existing hardscape, curb/gutters, staircases, walkways, walls, sheds, foundations, fences, planter borders, mowbands, etc. within a TPZ to avoid excavating into roots and existing grade. Also, equipment used during the process must not operate or travel on a newly exposed soil surface.
11. Tree trunks must not be used as trench supports for moving or tilting heavy loads.
12. Fill and debris covering root collars should be cleared to minimize the risk of harmful organisms rotting healthy tissue. This work involves manually clearing soil to expose the root collar, work that must be carefully performed to avoid damaging the trunk and roots during the process.
13. Dirt accumulating on trunks and canopies during dry weather periods should be periodically washed away (e.g. every month or two).
14. The disposal of harmful products (such as cement, paint, chemicals, oil and gasoline) is prohibited beneath canopies or anywhere on site that allows drainage beneath or near TPZs. Herbicides should not be used with a TPZ, where used on site, they should be labeled for safe use near trees.
15. The landscape design should conform to the following additional guidelines:
 - a. Plant material installed beneath the canopies of oaks must be drought tolerant, limited in amount, and planted at least five or more feet from their trunks. Plant material installed beneath the canopies of all other trees should be at least 24 to 36 inches from their trunk.
 - b. Irrigation can, over time, adversely impact the oaks and should be avoided. Irrigation for any new plant material beneath an oak's canopy should be low volume, applied irregularly (such as only once or twice per week), and temporary (such as no more than three years).
 - c. Irrigation should not be applied within five feet from the oak trunks, or within six inches from the trunks of all other trees (existing and proposed).
 - d. Irrigation and lighting features (e.g. main line, lateral lines, valve boxes, wiring and controllers) should be established so that no trenching occurs within a TPZ. In the event this is not feasible, they may require being installed in a radial direction to a tree's trunk, and terminate a specific distance from a trunk (versus crossing past it). Should this not be possible, the work may need to be performed using a pneumatic air device to avoid root damage.
 - e. Ground cover beneath canopies should be comprised of a three-to four-inch layer of coarse wood chips or other high-quality mulch (gorilla hair, bark or rock, stone, gravel, black plastic or other synthetic ground cover should be avoided). Mulch should not be placed against the tree trunk.

VICINITY MAP



LEGEND

- WALL PERIMETER
- SETBACK
- PROPERTY LINE
- TOPOGRAPHIC CONTOUR LINE
- GAS LINE
- SEWER LINE
- ELECTRIC LINE
- WATER LINE
- TREE FENCING
- EX. TREE DRIP LINE



Print date :

08-09-23
07-05-23

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Revisions :

PRELIM PLAN CK
PRICING SET
CONST. SET

Scale :

Date :

Sheet

A-1.0

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