



**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
OCTOBER 25, 2023
TOWN COUNCIL CHAMBERS
110 EAST MAIN STREET
LOS GATOS, CA
4:00 PM**

Barry Cheskin, Chair
Susan Burnett, Vice Chair
Steve Raspe, Planning Commissioner
Martha Queiroz, Committee Member
Lee Quintana, Committee Member

MEETING CALLED TO ORDER

ROLL CALL

VERBAL COMMUNICATIONS *(Members of the public are welcome to address the Committee on any matter that is not listed on the agenda. To ensure all agenda items are heard and unless additional time is authorized by the Chair, this portion of the agenda is limited to 30 minutes and no more than three (3) minutes per speaker. In the event additional speakers were not able to be heard during the initial Verbal Communications portion of the agenda, an additional Verbal Communications will be opened prior to adjournment.)*

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Items appearing on the Consent Calendar are considered routine and may be approved by one motion. Unless there are separate discussion and/or actions requested by the Committee, staff, or a member of the public, it is requested that items under the Consent Calendar be acted on simultaneously. Any member of the Committee or public may request to have an item removed from the Consent Calendar for comment and action.)*

1. Approval of Minutes – [September 27, 2023](#)

PUBLIC HEARINGS *(Applicants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested or recommended for continuance are subject to the Committee's consent at the meeting.)*

2. 50 Hernandez Avenue

Request for Review Application PHST-23-016

Requesting Approval for Modifications to an Existing Front Porch and Windows on an Existing Single-Family Residence on Property Zoned R-1:8. APN 510-20-003.

Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owners: Richard Archuleta and Chrissy Klander.

Applicant: Jay Plett, Architect

Project Planner: Sean Mullin

- [Staff Report and Attachments](#)

3. 323 Pennsylvania Avenue

Architecture and Site Application S-23-018

Requesting Approval for Construction of a New Second-Story Addition to an Existing Single-Family Residence, an Accessory Structure with Reduced Side Yard Setbacks, Demolition of an Existing Accessory Dwelling Unit, Removal of a Large Protected Tree, and Site Improvements Requiring a Grading Permit on Property Zoned R-1:8. APN 510-43-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Megan Jellinek

Applicant: Gary Kohlsaas, Kohlsaas & Associates, Inc.

Project Planner: Sean Mullin

- [Staff Report and Attachments](#)

4. 16488 Bonnie Lane

Request for Review PHST-23-018

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 532 02 014. Exempt Pursuant to CEQA Guidelines Section 15061(b)(3).

Property Owner/Applicant: Vu-Ngan Tran

Project Planner: Savannah Van Akin

- [Staff Report and Attachments](#)

OTHER BUSINESS *(Up to three minutes may be allotted to each speaker on any of the following items.)*

5. 215 Massol Avenue

Request for Review Application PHST-23-017.

Preliminary Review for Construction of Exterior Modifications and a New Second-Story Addition to an Existing Noncontributing Single-Family Residence on Property Located in the Almond Grove Historic District Zoned R-1D: LHP. APN 510-16-022. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Jim and Sara McManis

Applicant: Jay Plett

Project Planner: Suray Nathan

- [Staff Report and Attachments](#)

6. Upcoming Special Meetings are on November 15, 2023, and December 20, 2023.

ADJOURNMENT

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104].

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 10/25/2023

ITEM: 1

**DRAFT
MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING
SEPTEMBER 27, 2023**

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on September 27, 2023, at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Barry Cheskin, Planning Commissioner Steve Raspe, and Committee Member Lee Quintana.

Absent: Vice Chair Susan Burnett and Committee Member Martha Queiroz.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – August 23, 2023

MOTION: **Motion by Commissioner Raspe to approve the Consent Calendar.
Seconded by Committee Member Quintana.**

VOTE: **Motion passed, 2-0. Chair Cheskin abstained.**

PUBLIC HEARINGS

2. 63 Highland Avenue
Request for Review PHST-23-013

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned HR-2 1/2. APN 529 36 044. Exempt Pursuant to CEQA Guidelines Section 15061(b)(3).

Property Owner/Applicant: Minghuang Ma

Project Planner: Savannah Van Akin

(Continued from August 23, 2023)

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF SEPTEMBER 27, 2023

Savannah Van Akin, Assistant Planner, presented the staff report.

Opened Public Comment.

Minghuang Ma, Owner/Applicant

- They provided more information and photos of the second address, 65 Highland Avenue. This structure was built in 1946.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Commissioner Raspe** to Approve the Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned HR-2 1/2. APN 529 36 044. Exempt pursuant to CEQA Guidelines Section 15061(b)(3). **Seconded by Chair Cheskin.**

VOTE: **Motion passed unanimously.**

Appeal rights were recited.

3. 17035 Pine Avenue
Request for Review PHST-23-005

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 529-20-010. Exempt Pursuant to CEQA Guidelines Section 15061(b)(3).

Property Owners/Applicants: Garrett and Alive Brown

Project Planner: Jocelyn Shoopman

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Garrett Brown, Owner/Applicant

- They brought a picture packet with descriptions. It is a small two-bedroom farmhouse. A master was added in the 1960s and later other upgrades. The front of the house and master have the wide eight-inch plank siding. The eastern and northern sides have the original shiplap siding. Additions were made over the years that have compromised the original home. Double paned windows were added to the garage as a windbreak. Vinyl corrugated siding was added as overhangs. The doors and interior light switches were done

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF SEPTEMBER 27, 2023

in the 1950's and 1960's. No significant person, place or event was found to be connected to the house. They intend to keep the house and build in the back.

Committee members asked questions of staff.

Staff: Jocelyn Shoopman, Project Planner

- Senate Bill (SB) 9 cannot be utilized for a property with a historic structure. Even though the lot is just under an acre, it does not meet frontage requirements for a standard subdivision. Flag lots are discouraged per the General Plan.

Closed Public Comment.

Committee members discussed the matter.

- Applicant has brought further material.
- The additions done in the 1950's and 1960's, including the siding and vinyl windows, has created a totally different house.
- The SB 9 Ordinance should be modified to protect our historic areas and structures, and still allow for a lot split for large parcels like the subject property.

MOTION: **Motion** by **Chair Cheskin** to approve a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:8. APN 529-20-010. Exempt pursuant to CEQA Guidelines Section 15061(b)(3). **Seconded** by **Commissioner Raspe**.

VOTE: **Motion passed unanimously.**

Appeal rights were recited.

4. 26 Ashler Avenue
Request for Review PHST-23-011

Preliminary Review for Exterior Alterations and Construction of an Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. Located at 26 Ashler Avenue. APN 410-14-042. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owners: Fernando Saenz and Maria Dolores Stacey

Applicant: Clara G. Portillo

Project Planner: Sean Mullin

(Continued from August 23, 2023)

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Clara G. Portillo, Applicant

- The plans have been revised according to prior HPC comments. They have added double hung windows.
- The ceiling is very low in the kitchen which affects the size and position of the windows.
- They would consider adding small windows in proportion to the other windows.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Committee Member Quintana** to Recommend Approval of Exterior Alterations and Construction of an Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. Located at 26 Ashler Avenue, commending the applicant's willingness to consider changes the windows, and recommending that the proportion of the new windows at the kitchen match the other windows. The application does not need to return to the HPC. **Seconded by Chair Cheskin.**

VOTE: **Motion passed unanimously.**

5. 112 Wilder Avenue
Architecture and Site Application S-23-017

Requesting Approval for Construction of an Addition to a Single-Family Residence to Exceed the Floor Area Ratio Standards on Property Located in the Almond Grove Historic District Zoned R-1D:LHP. APN 510-17-103. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owners: Andrea Grant and Tarek Robbiati

Applicant: Jay Plett

Project Planner: Jocelyn Shoopman

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened and Closed Public Comment.

Committee members discussed the matter.

- The applicant provided the FAR as requested.
- The project is consistent with the neighborhood.

MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING OF SEPTEMBER 27, 2023

- Any structure with a three-sided enclosure may be initially approved, but it is not counted as FAR. The mass and scale should be considered at the beginning since it will inevitably return for exception when enclosed.
- Recess the door a few more feet to break up a flat wall.
- They are enclosing an existing structure built in 2010. It exceeds the FAR but is not the first or the biggest in the area. It fits within the neighborhood.

MOTION: **Motion by Commissioner Raspe to Recommend Approval for Construction of an Addition to a Single-Family Residence to Exceed the Floor Area Ratio Standards on Property Located in the Almond Grove Historic District Zoned R-1D:LHP. APN 510-17-103. Seconded by Chair Cheskin.**

VOTE: **Motion passed, 2-0. Committee Member Quintana abstained because she was not in attendance when this was first heard as a preliminary application on June 28, 2023.**

OTHER BUSINESS (*Up to three minutes may be allotted to each speaker on any of the following items.*)

ADJOURNMENT

The meeting adjourned at 4:35 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the September 27, 2023 meeting as approved by the Historic Preservation Committee.

Jennifer Armer, AICP, Planning Manager

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 10/25/2023

ITEM NO: 2

DATE: October 20, 2023
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Modifications to an Existing Front Porch and Windows on an Existing Single-Family Residence on Property Zoned R-1:8. **Located at 50 Hernandez Avenue.** APN 510-20-003. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Request for Review Application PHST-23-016. Property Owner: Richard Archuleta and Chrissy Klander. Applicant: Jay Plett, Architect. Project Planner: Sean Mullin.

RECOMMENDATION:

Consider a request for modifications to an existing front porch and windows on an existing single-family residence on property zoned R-1:8 located at 50 Hernandez Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1903 (effective year built 1920) per County Assessor's Database
2. Town of Los Gatos Historic Status Code: Unknown
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

On January 26, 2022, the Committee conducted a preliminary review of a request for construction of exterior alterations and a second-story addition greater than 100 square feet and provided recommendations to the applicant for project revisions.

PREPARED BY: SEAN MULLIN, AICP
Senior Planner

BACKGROUND (continued):

A Minor Residential Development application for the proposed project was submitted to the Town on February 28, 2022. The development plans provided with the application were consistent with those presented during the preliminary review and the applicant responded to all recommendations of the Committee. The Committee recommended approval of the Minor Residential Development application, which was subsequently approved by the Town on June 27, 2022. Building Permits for the project are currently under review with the Town.

DISCUSSION:

The applicant has returned to the Committee requesting approval for modifications to the existing front porch and windows (Attachment 1).

The applicant indicates that the existing front porch trellis and columns were constructed after the 1989 Loma Prieta earthquake and are in poor condition. The applicant requests approval to replace the porch trellis and round columns with a new trellis supported by square columns with caps and bases (Attachment 2). A new wrought iron railing would enclose the porch space (Attachment 3).

With the previous approval, some of the existing windows were to remain along with new windows on each level to match the existing windows, including reconfiguration and replacement of windows on the street-facing façade. The applicant now requests approval to replace all windows with aluminum-clad wood windows (Attachment 1). Pictures of the existing windows and details on the proposed window are included as Attachment 4.

CONCLUSION:

Should the Committee find merit in the proposed project, the Committee should approve the request, which can be accomplished with a revision to the pending Building Permits.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

PAGE 3 OF 3

SUBJECT: 50 Hernandez Avenue/PHST-23-016

DATE: October 20, 2023

CONSIDERATIONS (continued):

_____ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

ATTACHMENTS:

1. Project Description
2. Porch Plans
3. Porch Images and Railing Details
4. Window Images and Details

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TO: TOWN OF LOS GATOS
FROM: JAY PLETT ARCHITECT

Request to Rebuild a Non-Historic Front Porch Trellis on a
Historic house and Utilize Alum Clad Marvin Wood Windows

FRONT PORCH

The existing trellis structure and railings were added to the structure following the Loma Prieta earthquake, 1989. Plans are on file with the Town. The structure is currently suffering from wood dry rot and decay.

We are asking for approval to rebuild the Trellis per the attached plans/elevation drawings with a wrought iron rail.

The rail design was mocked up by an iron working artisan and photos are attached.

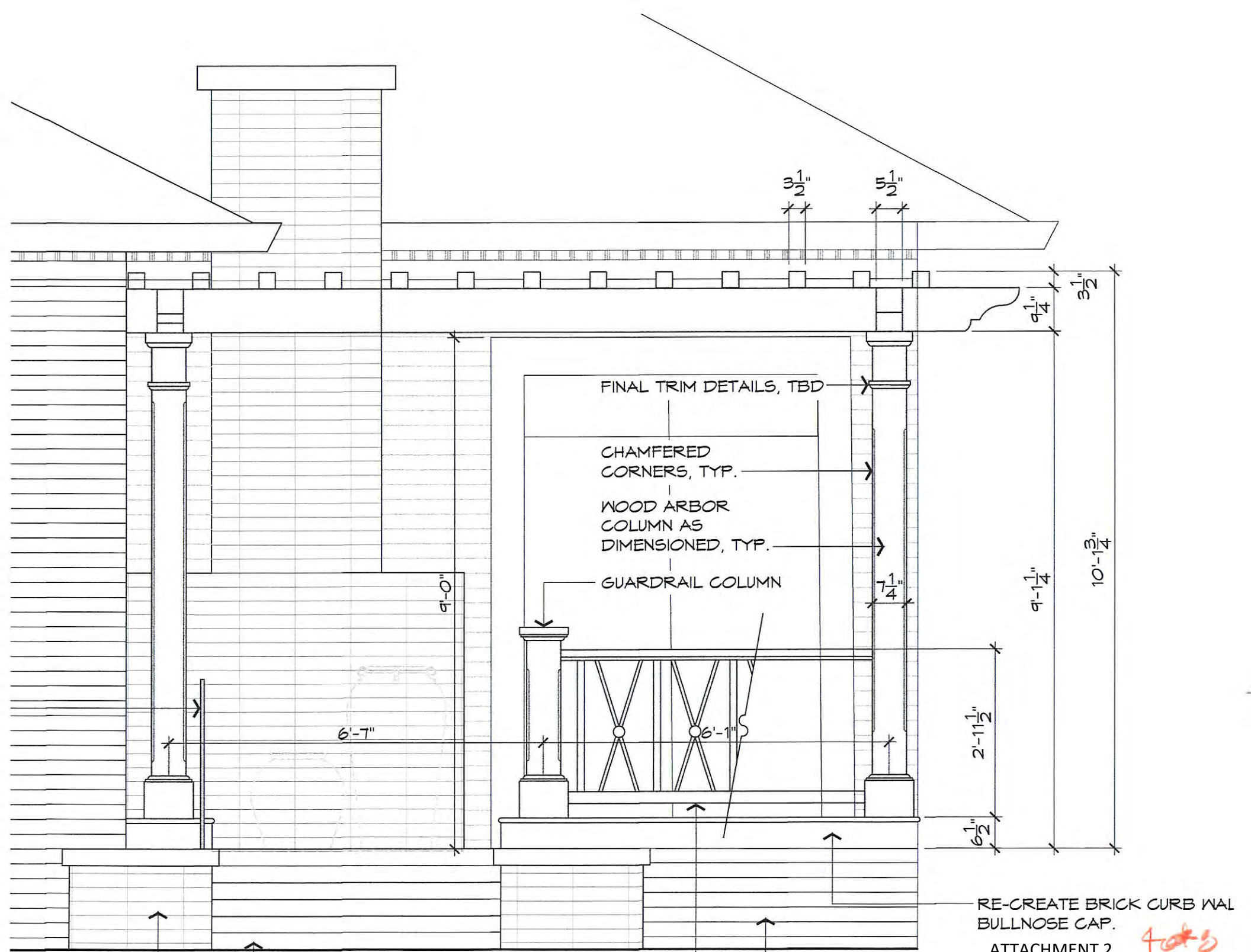
WINDOWS

We would like to utilize aluminum clad Marvin wood window per the attached information. Trim will be historically correct, matching the current home trim - sill nosing size, jamb and head trim back-band, skirt, etc...

Thank you for your consideration.

JAY PLETT ARCHITECT

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RE-CREATE BRICK CURB WAL
BULLNOSE CAP.

4083

NEW SHADE COVER
SHADE COVER X2 (I.E.
SHADE TREE CANOPIES)

5'- $\frac{1}{2}$ "

4'- $7\frac{1}{2}$ "

4'- $7\frac{1}{2}$ "

9'- $\frac{1}{4}$ "

FINAL TRIM DETAILS, TBD

CHAMFERED
CORNERS, TYP.

WOOD ARBOR
COLUMN AS
DIMENSIONED, TYP.

7'- $\frac{1}{4}$ "

NEW GUARDRAIL:
WROUGHT IRON PER
ATTACHED PHOTOS
(FINAL DESIGN TBD)

WROUGHT IRON HANDRAIL
(FINAL DESIGN, TBD)

7'- $\frac{1}{4}$ "

11'-5"

6'- $\frac{1}{2}$ "

±1'- $\frac{3}{4}$ "

5 of 8

Porch



Front of home with non-historic porch

Porch



Existing structure is rotting. Water flows into garage below during winter storms!

Porch



Water is entering concrete wall below



Water damage and rot in substructure as seen from inside the garage below





Porch



Another example

Windows – 50 Hernandez Ave



Front of home

Windows – 50 Hernandez Ave

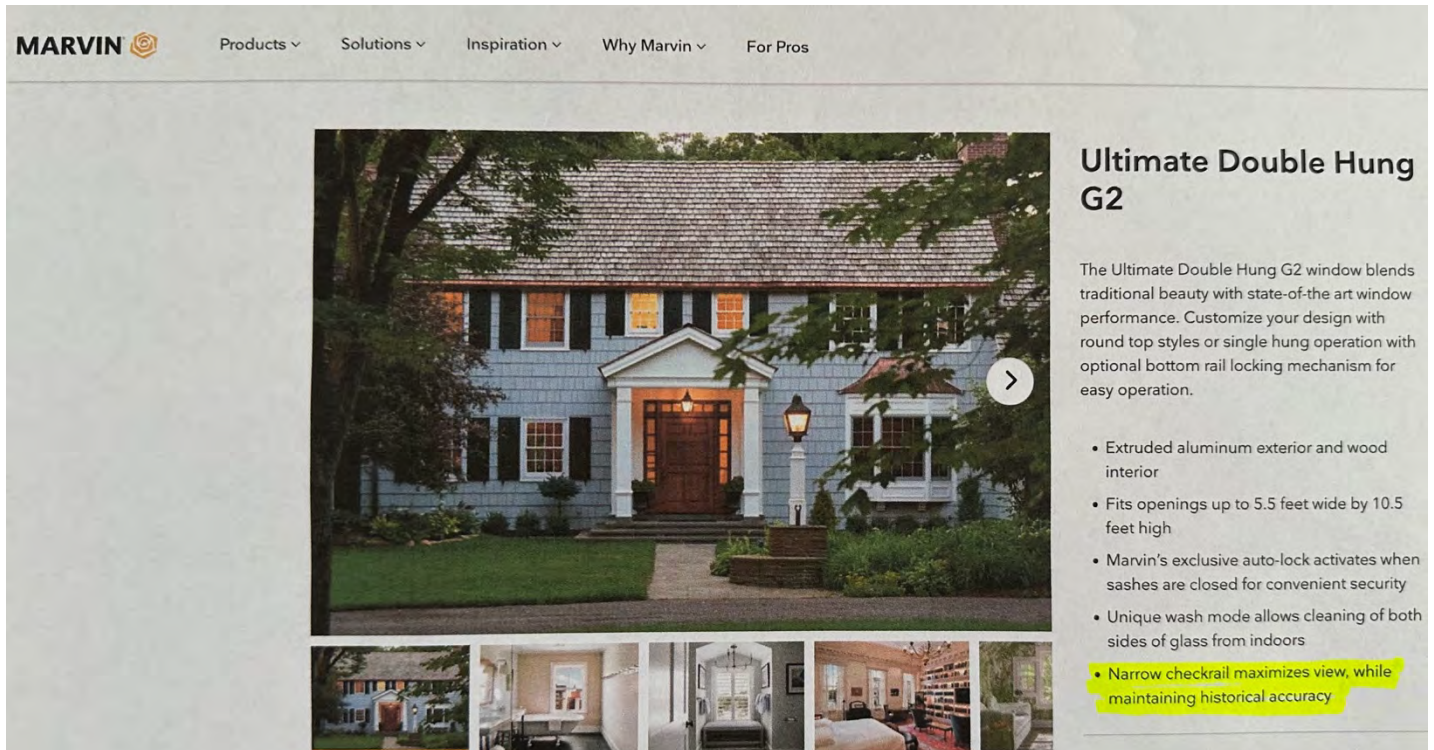


Window on front of house


Windows – 50 Hernandez Ave

Use Marvin. Ultimate Double Hung G2 windows

<https://www.marvin.com/products/collections/signature/ultimate/double-hung-g2>



The screenshot shows the Marvin website's home page. At the top is a navigation bar with the Marvin logo and links for Products, Solutions, Inspiration, Why Marvin, and For Pros. The main visual is a large image of a two-story house with light blue siding and dark shutters, featuring Marvin Ultimate Double Hung G2 windows. To the right of this image is a section titled "Ultimate Double Hung G2" with a descriptive paragraph and a list of features. Below the main house image is a row of six smaller images showing different interior and exterior views of the windows. The text "Home Page of the Marvin Website gives key features" is written below the screenshot.

MARVIN  Products ▾ Solutions ▾ Inspiration ▾ Why Marvin ▾ For Pros

Ultimate Double Hung G2

The Ultimate Double Hung G2 window blends traditional beauty with state-of-the-art window performance. Customize your design with round top styles or single hung operation with optional bottom rail locking mechanism for easy operation.

- Extruded aluminum exterior and wood interior
- Fits openings up to 5.5 feet wide by 10.5 feet high
- Marvin's exclusive auto-lock activates when sashes are closed for convenient security
- Unique wash mode allows cleaning of both sides of glass from indoors
- Narrow checkrail maximizes view, while maintaining historical accuracy

Home Page of the Marvin Website gives key features

Windows – 50 Hernandez Ave

Historic home located within the historic district – Using Marvin Ultimate Double Hung G2



223 Massol Ave – historic house with Marvin Windows

Windows – 50 Hernandez Ave



Up close view of Marvin Window (with exterior screen): black window with white wood trim.
Note: We plan to use “white” = a shade of white/cream window with white/cream wood trim.

Windows – 50 Hernandez Ave

Another historic home within the historic district with double hung windows in white/white.



93 Broadway – Historic House in historic district

Our proposed white window with white trim (but no divided lites) would be similar to this window.

Windows – 50 Hernandez Ave

Existing Original Window



Current original window with screen on outside – shown from inside since screens block view

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 10/25/2023

ITEM NO: 3

DATE: October 20, 2023
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Construction of a New Second-Story Addition to an Existing Single-Family Residence, an Accessory Structure with Reduced Side Yard Setbacks, Demolition of an Existing Accessory Dwelling Unit, Removal of a Large Protected Tree, and Site Improvements Requiring a Grading Permit on Property Zoned R-1:8. **Located at 323 Pennsylvania Avenue.** APN 510-43-044. Architecture and Site Application S-23-018. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: Megan Jellinek. Applicant: Gary Kohlsaas, Kohlsaas & Associates, Inc. Project Planner: Sean Mullin.

RECOMMENDATION:

Requesting approval for construction of a new second-story addition to an existing single-family residence, an accessory structure with reduced side yard setbacks, demolition of an existing accessory dwelling unit, removal of a large, protected tree, and site improvements requiring a grading permit on property zoned R-1:8, located at 323 Pennsylvania Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1928 per County Assessor's Database; 1930s per Anne Bloomfield Survey
2. Town of Los Gatos Historic Status Code: +, historic and intact or worthy of special note.
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

PREPARED BY: SEAN MULLIN, AICP
Senior Planner

BACKGROUND:

The County Assessor indicates that the residence located at 323 Pennsylvania Avenue was constructed in 1928 and the 1991 Bloomfield Survey estimates the construction date as the 1930s (Attachment 1). Town records indicate that following the 1989 Loma Prieta earthquake, permits were issued to rebuild the chimney. Also, a reroof was completed in 2022.

The 1991 Anne Bloomfield Survey rates the residence as historic and intact or worthy of special note (Attachment 1). This rating suggests that very few modifications have been made to the residence over time, which is reflected in the brief permit history contained in the Town's records. Additionally, the Sanborn Fire Insurance Maps show that the footprint of the residence remained consistent between 1928 and 1956 (Attachment 2). The applicant proposes to demolish portions of the residence behind the front façade and construct additions to the residence, including a new second story and a basement (Attachment 5).

On May 19, 2023, the Committee conducted a preliminary review of the proposal and provided the following feedback:

- Supportive of keeping the columns and recesses;
- The small window is a nice feature;
- Other homes nearby have a stepped back second-story;
- Consider using ornaments like decorative vents in the front;
- Not fond of aluminum wood clad windows; and
- Consider adding a chimney top.

DISCUSSION:

The property is located on the southwest side of Pennsylvania Avenue, between Palm and Peralta Avenues. Architecture and Site Application S-23-018 was submitted on July 12, 2023, proposing demolition of portions of the residence behind the front façade and construction of additions to the residence, including a new second story and a basement (Attachment 5). Additionally, the proposal includes demolition of an existing carport and a permitted accessory dwelling unit (ADU). The Development Plans provided with the application are consistent with those considered by the Committee under preliminary review on May 19, 2023. In response to the Committee's feedback provided under the preliminary review, the applicant has made the following changes:

- Added two small windows with iron grills on either side of the front window;
- Revised the materials of all windows to wood;
- Added vents with iron grills to the second-floor gable ends on the front and rear elevation;
- Added chimney caps with arched openings; and
- Added a new outdoor fireplace to the loggia at the rear.

DISCUSSION (continued):

The development plans show that the front façade of the residence would remain, along with portions of the right-side elevation (Attachment 5). Along with the interior walls, the rear and left-side exterior walls behind the front porch would be demolished. Additions to the ground floor would expand the existing footprint of the residence along the left and rear elevations. A new second-story addition would be located above the rear portion of the proposed residence, setback approximately 21 feet from the existing front façade. A loggia is proposed at the rear of the residence, covered by a flat roof and a new second-story balcony off the upstairs primary bedroom. A new partial basement is proposed with lightwells located on the left and right-side elevations. A new 30-inch-tall stucco wall is proposed along the front property line.

The proposed residence would maintain and reinforce the existing Mediterranean Revival architectural style with exterior materials including smooth stucco siding, two-piece barrel tile roof, divided lite wood windows, stucco moulding, copper gutters, wrought iron guardrails at the balcony and lightwells, and new turned plaster columns supporting the loggia roof to match the existing columns at the front porch. The existing rectangular windows on the front elevation include arched reliefs and wood sills. The project plans show that the smaller window would be replicated and repeated on both sides of the front window, which would be replaced with an arched-top window to match the form of the existing arched relief. The two circular reliefs above the porch entry would remain and new second-floor gable-end vents with iron grills would be located on the front and rear elevations.

The applicant also proposes construction of a new detached two-car garage located in the southern corner of the property. The form and materials of the garage would match those of the residence. Lastly, a new swimming pool is proposed behind the residence.

During preliminary review, staff noted that the Residential Design Guidelines discourages architectural copper due to its potential to contribute pollution to surface waters and the San Francisco Bay through urban runoff. The copper gutters remain in the current plans and the applicant has provided a written response in their Letter of Justification (Attachment 3).

CONCLUSION:

The applicant is requesting approval for construction of a new second-story addition to an existing single-family residence, an accessory structure with reduced side yard setbacks, demolition of an existing accessory dwelling unit, removal of a large protected tree, and site improvements requiring a grading permit. Should the Committee find merit in the request, the recommendation would be forwarded to the Community Development Director and the application would continue through the Architecture and Site process. The project would not return to the Committee.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

____ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for the construction of additions to existing residences (Attachment 4).

ATTACHMENTS:

1. Research
2. Sanborn Map Exhibit
3. Letter of Justification
4. Section 3.9, Residential Design Guidelines
5. Development Plans

**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
HISTORIC RESEARCH WORKSHEET**



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of the historical and architectural characteristics, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The Historic Preservation Committee reviews the application using the Town's Historic District Ordinance requirements. Copies of the ordinance(s) are available at Town Hall. The Committee meets the fourth Wednesday of every month. The filing deadline is 20 days prior to the meeting by 11:00 AM.

The applicant shall research the following (please check the box once you complete your research):

1. Los Gatos Public Library (see How to Research the History of a House in Los Gatos):
 - ☐ Sanborn Maps
 - ☐ 1941 Tax Assessment
 - ☐ 1989 Anne Bloomfield Historic Resource Survey forms
 - ☐ Polk's Directories
 - ☐ Telephone Directories
 - ☐ Other
2. Santa Clara County Resources (especially helpful for properties previously located in the county's jurisdiction):
 - ☐ Santa Clara County Planning Department records
 - ☐ San Jose Public Library (California Room)
3. Community Development Department Resources:
 - ☐ Sanborn Maps
 - ☐ 1989 Anne Bloomfield Historic Resource Survey forms
 - ☐ Community Development Department property files (permit history)

Research was conducted on (please enter date): _____

Records and Documents found (please attach copies): _____

HOW TO RESEARCH THE HISTORY OF A HOUSE IN LOS GATOS
At the Los Gatos Public Library
100 Villa Avenue, Los Gatos CA 95030

Locked Cases Area

1. The Los Gatos *Sanborn Fire Insurance Maps* located on the microfilm file cabinet. These maps indicate the outline of buildings in 1884, 1888, 1891, 1895, 1904, 1928 and 1944 (please note the 1944 maps have been relabeled and appear out-of-order, before the 1928 maps). These can be used to identify a construction date range.

Bookcase #11

1. The 1941 *Tax Assessment Survey*. The listings are alphabetical by street name. An entry will note how old the owner thought the house was in 1941 (please note that this information is not always accurate).
2. The 1991 *Anne Bloomfield Historic Resources Survey*. These listings are alphabetical by street name.
3. A list of the *Museums of Los Gatos Historic Homes Tours* and programs.
4. A list of the 100 *Bellringers* and information.
5. As it Was by Dora Rankin.

Bookcase #12

1. The 1924-1974 *Polk's Directories* (please note that some years are missing), with reverse listings by address and then resident name.
2. *Business and Telephone Directories*, as early as 1881-82.

History Room (Docent Hours: 1:00-5:00 Mondays and Thursdays; 10:00-12:00 Wednesdays)

1. History of Los Gatos by George Bruntz and Los Gatos Observed by Alistair Dallas (979.473).
2. Information in the Residences drawers of the Vertical File, filed by street.
3. The Patrons' Inquiries, binder #3 Residences, listed by street, located on the shelf above the computers. These may provide information found under previous searches.

General

1. ancestry.com is available free while inside the library.
2. A Field Guide to American Houses by Virginia Savage McAlester (728 M11 in non-fiction)

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 323 Pennsylvania

PARCEL MAP INFORMATION

Parcel # 510-43-044 Lot size: 60 front ft. x 130[±] ft. deep

Lot shape: Rectangle / L Rectangle with small rear jog Other

Location: N S / E W side of PA St Ave / Other

distance to cross st: 235 ft. N S E W / from Fairview/Peralta

at NE NW SE SW corner of

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Glen Ridge Park Old Block # Old lot # 4

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1930s Style Mediterr. Reviv. # stories

Alterations

Other

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 8989 Effective date 11-87

APN 510-43-044 ADDRESS 323 PENNSYLVANIA AV LG 95030
SINGLE FAMILY TRA 3-001 WIDTH 60 SQ. FEET 1,041 TOT ROOMS 6 DINING ROOM 1 POOL
USE CODE 01 DEPTH 130 ADDN S/F 100 BEDROOMS 2 FAMILY ROOM 1 GARAGE S/F 190
YR BUILT 28 ACRES .17 NO. FLOORS 1 BATHS 1.0 UTILITY RM 1 FIN BENT

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey

PHOTOS: Roll/frame # 020A/3 Date 18-1-90



EVALUATION. Date 5-1997 (San. Dir.) Alterations: E Moved
Contributor X Raised Porch encl
District Non-contrib Addition Siding
Earliest known Windows Condition
Owner X Resident X: Nels Swanson Designer: a b d
Context(s): cabinetmaker

323 PA

323P

color 053/36 26-4-91

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Addresses associated with Name 323 FA

Year	Book	Name/Classified Heading	Listing (copy entire, exactly as shown; use * for boldface)
1964	1	1964	1964
1965	2	1965	1965
1966	3	1966	1966
1967	4	1967	1967
1968	5	1968	1968
1969	6	1969	1969
1970	7	1970	1970
1971	8	1971	1971
1972	9	1972	1972
1973	10	1973	1973
1974	11	1974	1974
1975	12	1975	1975
1976	13	1976	1976
1977	14	1977	1977
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1980	17	1980	1980
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1982	19	1982	1982
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1985	22	1985	1985
1986	23	1986	1986
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1989	26	1989	1989
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1991	28	1991	1991
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1994	31	1994	1994
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2045	82	2045	2045
2046	83	2046	2046
2047	84	2047	2047
2048	85	2048	2048
2049	86	2049	2049
2050	87	2050	2050
2051	88	2051	2051
2052	89	2052	2052
2053	90	2053	

[illegible]

<u>/initials</u>	<u>date</u>

Mark 'X' (info) or 'Ø' (nothing found) at each source you try. List findings below.

California History Center, De Anza College:

Biographical file

Photo collection

San Jose Historical Museum:

Great Registers (of voters)

Indexes

Photo collection

box)

Other sources:

Indexes, California Historical Quarterly

State Library Information Index (fiche)

State Library-S.F. Newspaper Index ("

III. LIST ALL REFERENCES FROM ABOVE. Find them. Copy good material & attach. Or copy below if only a few words. Or explain why not relevant (as, wrong person).

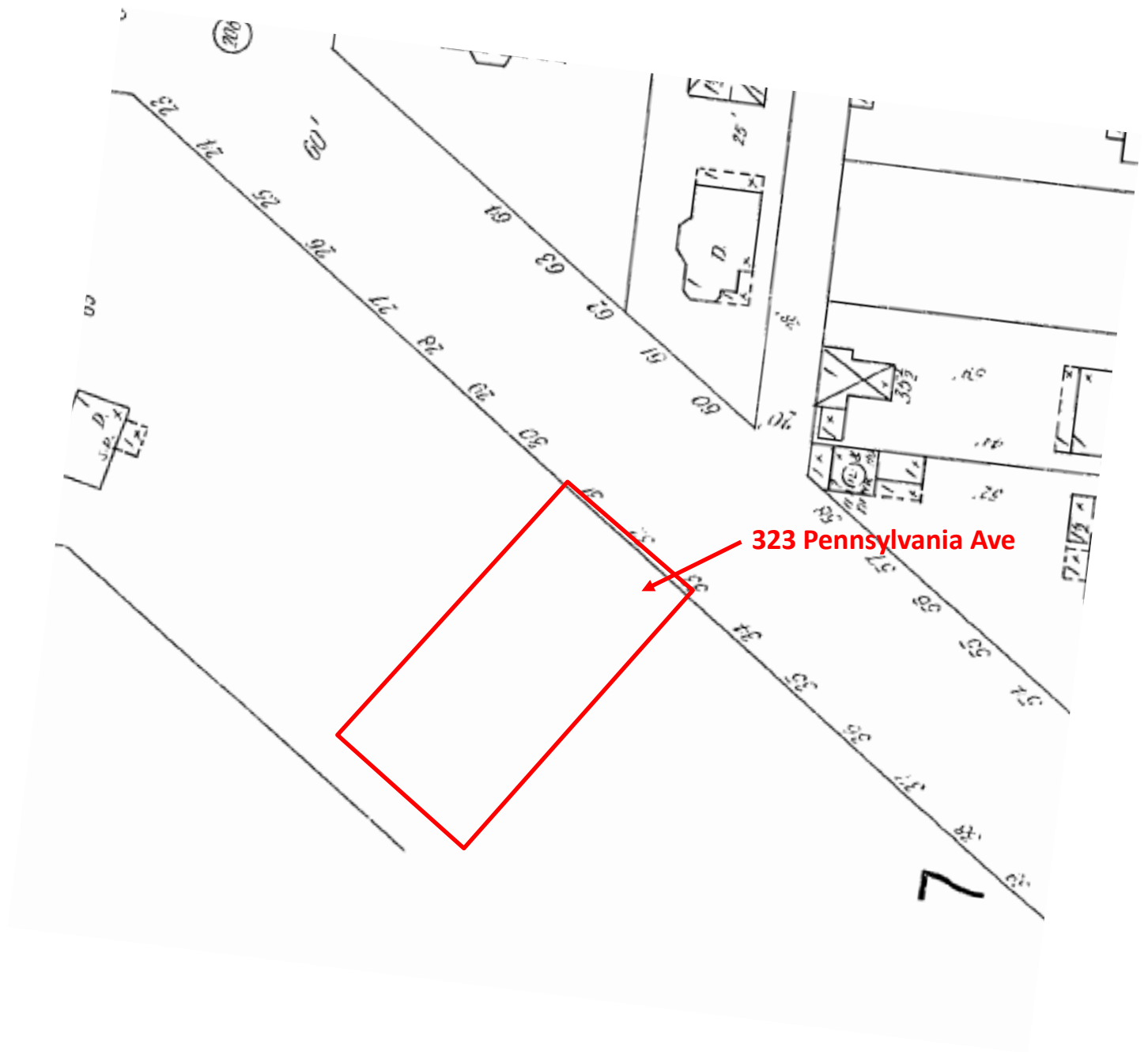
Town of Los Gatos
Historical Resources Survey - Contributors to Glen Ridge



LAWRENCE & GEN CASE HOUSE
309 Pennsylvania Parcel: 510-43-046 Style: Mediterr. Reviv
Built c.1927 (Sanborn/Directory)
Alt: Own/Res: Builder
Bungalow; basement add'n



NELS SWANSON HOUSE
323 Pennsylvania Parcel: 510-43-044 Style: Mediterr. Reviv
Built c.1927 (Sanborn/Directory)
Alt: Few or none apparent Own/Res: Cabinetmaker







1956

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Planning Department
Community Development Department, Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

July 10, 2023

**Re: The Jellinek Residence, 323 Pennsylvania Avenue
Project Description/ Letter of Justification**

To Whom it May Concern:

On behalf of Megan Jellinek and her family, I am pleased to present this historic renovation and addition to the Town Of Los Gatos. The proposed project includes the remodel and addition of an historic single family residence. The project also includes the construction of a detached garage and swimming pool. This letter accompanies the submitted building plans and additional exhibits for the above referenced project, and contains descriptions of the property, it's history and the surrounding neighborhood.

EXISTING PROPERTY DESCRIPTION

The property is located in the Glen Ridge District on Pennsylvania Avenue just north of cross streets Fairview and Peralta. Although this property is not within an established historic district, the home is classified as historic due to the date of its construction and its obvious historic character. The Bloomfield survey describes the home as a Mediterranean Revival built in the 1930's. The home can also be characterized as a Mediterranean bungalow which features a single predominant gable end that faces the street with a flat roofed porch just tucked back from it on the left.

The front gable features a large picture window with 2 casements at either side with divided lites and an arched recess at the top. The porch is flanked with spiraling plaster columns with ionic capitals on the sides of the arched openings. Circular recesses adorn the walls above the arches. The eaves are very short with crown molding in plaster at the gable ends. The home once had a clay barrel tile roof, but it has since been removed. Some time after its construction a trellised porch was built at the rear. The home is elevated above grade by a 3 to 4 feet which allows for a few small windows in the underfloor cellar space.

A detached accessory dwelling unit and carport are located at the rear accessed through a driveway to the left of the home, both of which are badly deteriorated. Behind them lies a 20 foot wide easement once slated to become a large section of Laurel Avenue. The first 3 homes on Pennsylvania and the home behind them on Fairview share access to the easement that was to be Laurel Avenue, but is now a shared driveway. This property is at the end of that shared drive with no through access over it. Laurel Avenue never came to be, but the easement remains on this property. An application for the abandonment of this easement by the Town for public utilities is being

processed and due to be approved in August. Private ingress/egress easements still remain on the property at this point, and the owner is actively pursuing their removal with the neighbors.

DESCRIPTION OF PROPOSED RESIDENCE

The proposed scope of work includes a main floor addition to the left and rear of the home. It also includes a new second story and basement. During early stages of the design process, access from the rear through Laurel was being pursued. This would eliminate the need for the long driveway and provide more space for additional square footage to the left. A single story home was designed and approved by the home owner, but the neighbors would not agree to access from Laurel that they already enjoy. Once it was clear that the long driveway along the Southeast edge must remain in order to reach a garage, the one story design was abandoned for a two story.

From the very start the owner fell in love with the historic style of the home and made it her chief goal to preserve and enhance its character. A second story would have to be set back considerably in order to maintain the main one story facade as its dominating feature. It's set more than 20' back from the front elevation. The front window will be replaced with another picture window of the same width that matches the shape of the arched top recess above it. The tiny existing window on the left will be duplicated on the right. Both of them will be enhanced with a wrought iron grill typical to the time period. A small wrought iron decorative grill will be added at the top of the gable end facade and on all gable ends to further enhance this historic style. The existing crown molding at the gable ends will be duplicated at the eaves with a new half round gutter. The existing gutters are not historic. And a new clay barrel tile roof will replace the current cap sheet roof.

The front porch will be left alone entirely with its spiral plaster columns, arches, wrought iron railing and circular recesses, with the two exceptions of the parapet curb and front door. We propose adding a small cap and trim piece to create a more finished look. The front door currently faces the left side of the house, but it will be relocated to face the street. It will have glass lites much like it does now and sidelites will be added. At the rear, a new veranda is proposed that will also have spiral columns to match the front porch and the same parapet roof detail.

The second story architecture is in keeping with the home's character, with basic gables and hipped shaped roofs and a slightly pronounced stair wall facade. All of the second floor architecture is understated, tasteful, and designed to feel as though it were original.

A new basement is proposed that includes two bedroom suites and second living space. The existing cellar is about 7 feet deep and unfinished. The existing foundation is original to the 1930's and not competent to support a new second floor. Since an entirely new foundation under the second floor will be required and the cellar is already mostly dug out, creating a new usable basement/foundation system is the logical solution.

LANDSCAPING AND SITE WORK

The property has a gentle slope uphill from front to back. A very large redwood is located just to the left of the existing gravel driveway. There are a few large oak trees and another redwood to the rear. In order to access the garage at the rear, a large oak tree and redwood will have to be removed. A pool is also proposed. The space between the house and new detached garage will be leveled out for usability.

At the front, an existing stacked stone retaining wall will be replaced with a low stucco wall and pedestrian gate that leads to the front door. The driveway will be made of pavers and the new vehicular gate, as well as light well guardrails, will be made of wrought iron.

COMPLIANCE WITH THE RESIDENTIAL DESIGN GUIDELINES

In addition to what was identified above, the proposed home specifically addresses the Residential Design Guidelines as follows:

SITE/ PLANNING:

- The existing home will remain and additions to the main floor have been kept to a minimum.
- Perimeter trees have been kept to the fullest extent possible.
- Grading has been minimized as little additional ground floor, floor area is proposed.
- Existing vehicle entrance reused to minimize disruption.

HARMONY/COMPATIBILITY:

- The style of the home will be preserved and enhanced.
- The second floor will be set back considerably, just as the home to the left has done.

SCALE AND MASS:

- Again, the second floor is set back to preserve the massing and feel of the front elevation.
- The roof design includes a large flat section that reduces its overall height and mass.

EXTERIOR MATERIALS:

- The stucco finish will be maintained and matched at the additions.
- The new clay barrel tile roof will bring back some of the original design intent of this Mediterranean home.

ENERGY CONSERVATION:

- The house will employ high quality dual glazed, low E wood windows, ultra-high performance insulation packages and high efficiency mechanical systems for heating, cooling and domestic hot water.
- The house is oriented to take full advantage of cross ventilation practices.
- Substantial amount of roof areas provide plenty of space for solar collectors.

PRIVACY:

- The existing home sits about 9'-6" away from the right side property line and no additions are proposed to be any closer. The left side addition is more than 16' from the property line.
- All second floor egress bedroom windows face the rear. Only small windows or bathroom windows face the sides.

LANDSCAPING:

- All proposed landscaping shall comply with the Town's Landscaping Policies including the HDS&G section.
- Proposed drought tolerant plants and landscape materials have been chosen to enhance both the architecture and the natural setting of the lot.

GEOLOGICAL:

- There are no significant geological hazards that exist to prevent a safe and secure structure to be constructed on this site.

CONCLUSION

The addition and remodel to this historic home has been conceived of from the beginning to respect the original architecture and preserve its character for generations to come. We hope this home will enhance the neighborhood and follows the intent of the Residential Design Guidelines.

Sincerely,



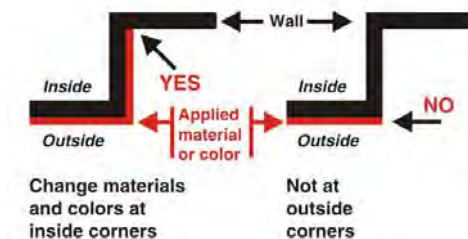
Gary Kohlsaatt
Architect C19245

3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN

3



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.



The Jellinek Residence

VICINITY MAP	PROJECT DIRECTORY	PROJECT DATA	SHEET INDEX
	<p>ARCHITECT: KOHLSAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 395-2555</p> <p>CIVIL ENGINEER: HANNA-BRUNETTI 7651 EIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2173</p>	<p>PROJECT ADDRESS: 323 PENNSYLVANIA AVENUE LOS GATOS, CA 95030</p> <p>OWNER: [REDACTED]</p> <p>APN#: 510-43-044 ZONING: R-1.5</p> <p>OCCUPANCY GROUP: R-3/U CONSTRUCTION TYPE: V-B / SPRINKLERED</p> <p>GROSS & NET SITE AREA: 9,002 SF AVERAGE SLOPE: 1.5%</p> <p>ALLOWABLE F.A.R. - RESIDENCE: .35 - [(9.5) X .20] 25 32 X 9,002 = 2,881 SF</p> <p>ALLOWABLE F.A.R. - GARAGE: .10 - [(9.5) X .07] 25 .089 X 9,002 = 801 SF</p> <p>ALLOWABLE BUILDING COVERAGE: 40% = 3,601 SF ALLOWABLE ACC. STR. COVERAGE: 15% OF BUILDABLE AREA =15% OF 4,623 = 693 SF</p>	<p>A-1 COVER SHEET</p> <p>A-2 EXISTING PHOTOS</p> <p>A-3 NEIGHBORHOOD PLAN & STREETSCAPES</p> <p>A-4 SITE PLAN & LANDSCAPE PLAN</p> <p>1 CIVIL COVER SHEET</p> <p>2 BLUEPRINT FOR A CLEAN BAY</p> <p>3 EXISTING TOPOGRAPHIC SURVEY & DEMOLITION PLAN</p> <p>4 GRADING & DRAINAGE PLAN</p> <p>5 EROSION CONTROL PLAN</p> <p>A-5 AS-BUILT/DEMO FLOOR PLAN & ROOF PLAN</p> <p>A-6 AS-BUILT/DEMO ELEVATIONS & DEMO CALCULATIONS</p> <p>A-7 PROPOSED MAIN & LOWER FLOOR PLAN</p> <p>A-8 PROPOSED SECOND FLOOR PLAN & ROOF PLAN</p> <p>A-9 PROPOSED FRONT & LEFT ELEVATIONS</p> <p>A-10 PROPOSED REAR & RIGHT ELEVATIONS</p> <p>A-11 CROSS SECTIONS</p> <p>A-12 GARAGE PLANS</p> <p>A-13 SHADOW STUDIES</p>
	<p>NOTES</p> <p>1. AN AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE INSTALLED THOUGHOUT, AS A DEFERRED SUBMITTAL.</p>		
	<p>SCOPE OF WORK</p> <p>A REMODEL AND ADDITION OF A PRE-1941 SINGLE FAMILY RESIDENCE AND A NEW DETACHED GARAGE, WHICH INCLUDE A NEW SECOND STORY & BASEMENT. SCOPE INCLUDES 3 TOTAL BEDROOMS, 5½ BATHS, A GAME ROOM, AN OFFICE AND A COVERED LOGGIA. ALSO INCLUDES SITE RETAINING WALLS AND A POOL. REQUESTING REMOVAL OF 3 PROTECTED TREES, TWO OF WHICH ARE IN POOR CONDITION. 4 UNPROTECTED TREES ARE ALSO PROPOSED FOR REMOVAL.</p>		

REVISIONS

A.

09/25/23

KOHLSAAT & ASSOCIATES

51 UNIVERSITY AVE., L • LOS GATOS, CA • 95030 • (408) 395-2555

AN ADDITION & REMODEL FOR:

THE JELLINEK RESIDENCE

323 PENNSYLVANIA AVENUE LOS GATOS, CA

COVER SHEET

DATE: 07/05/23

SCALE: AS SHOWN

SHEET

A-1

1 OF -

ATTACHMENT 5



Front View



Front Left View



Right Side



Right Side



Front Gable



Left Side View



ADU



Porch Left Side



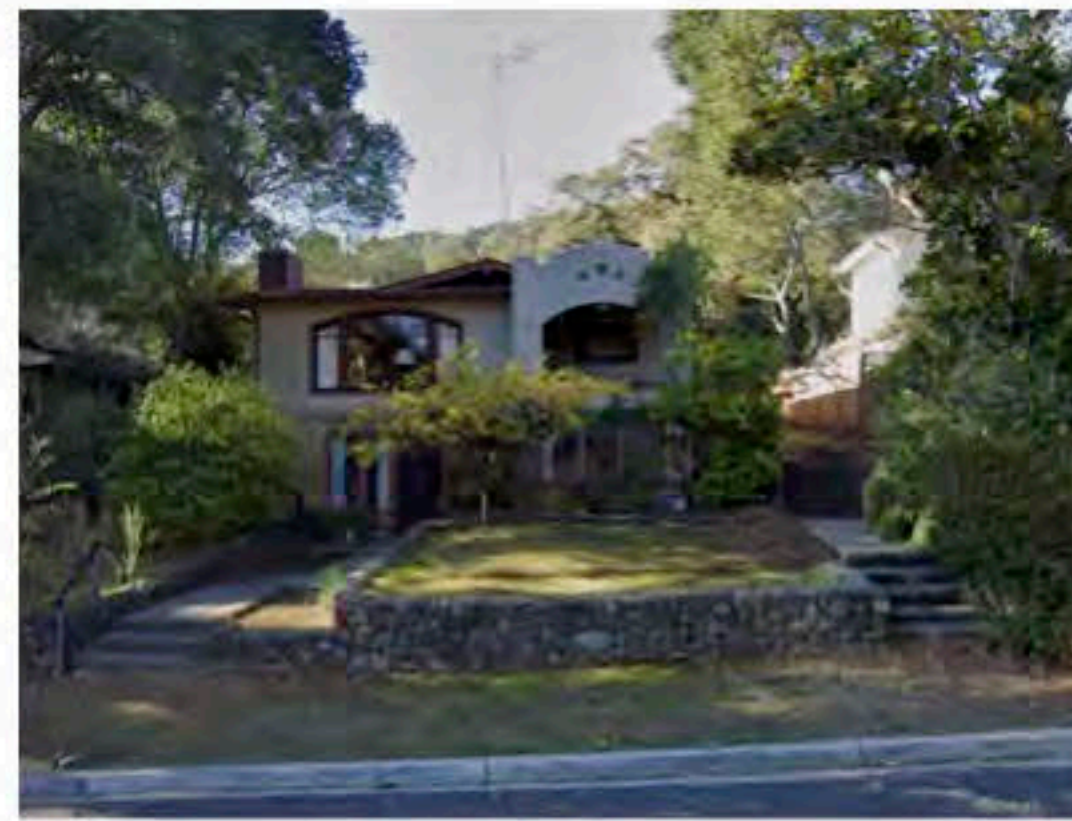
Front Porch



Rear View



Carport



309



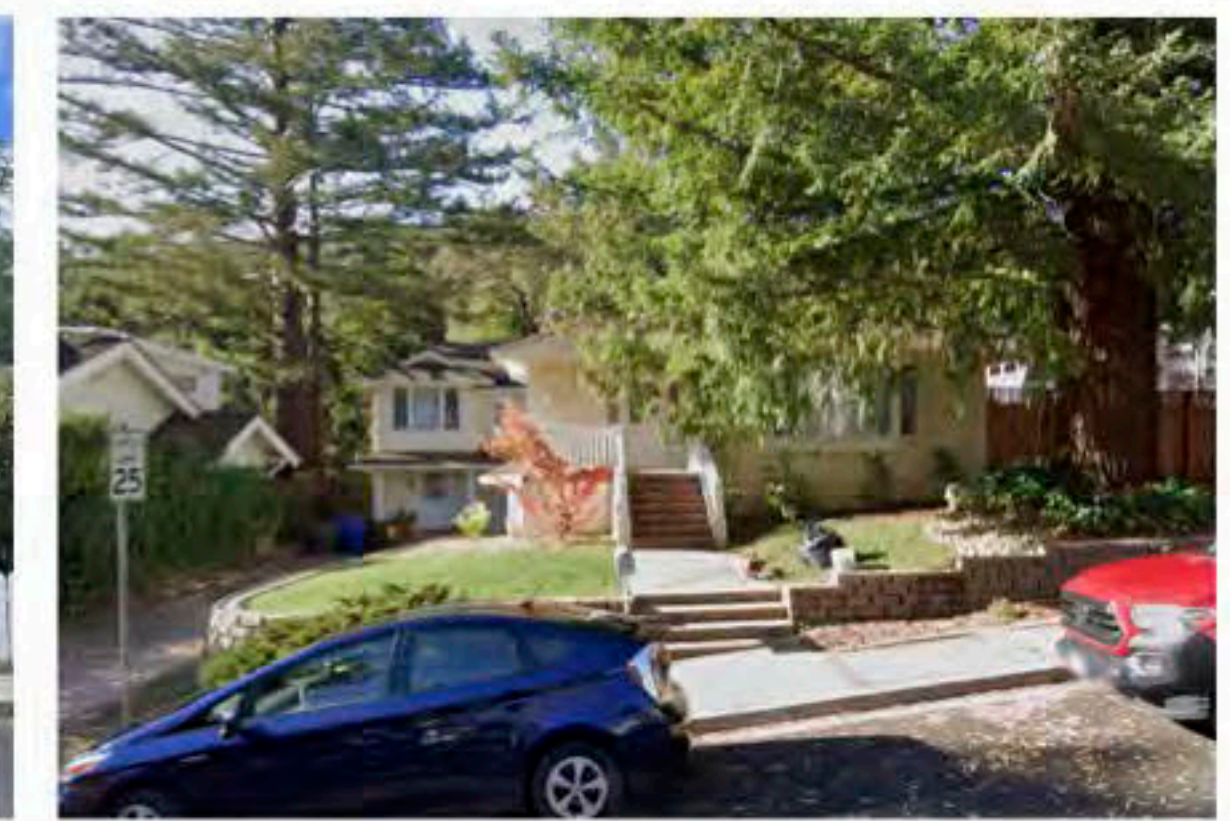
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323

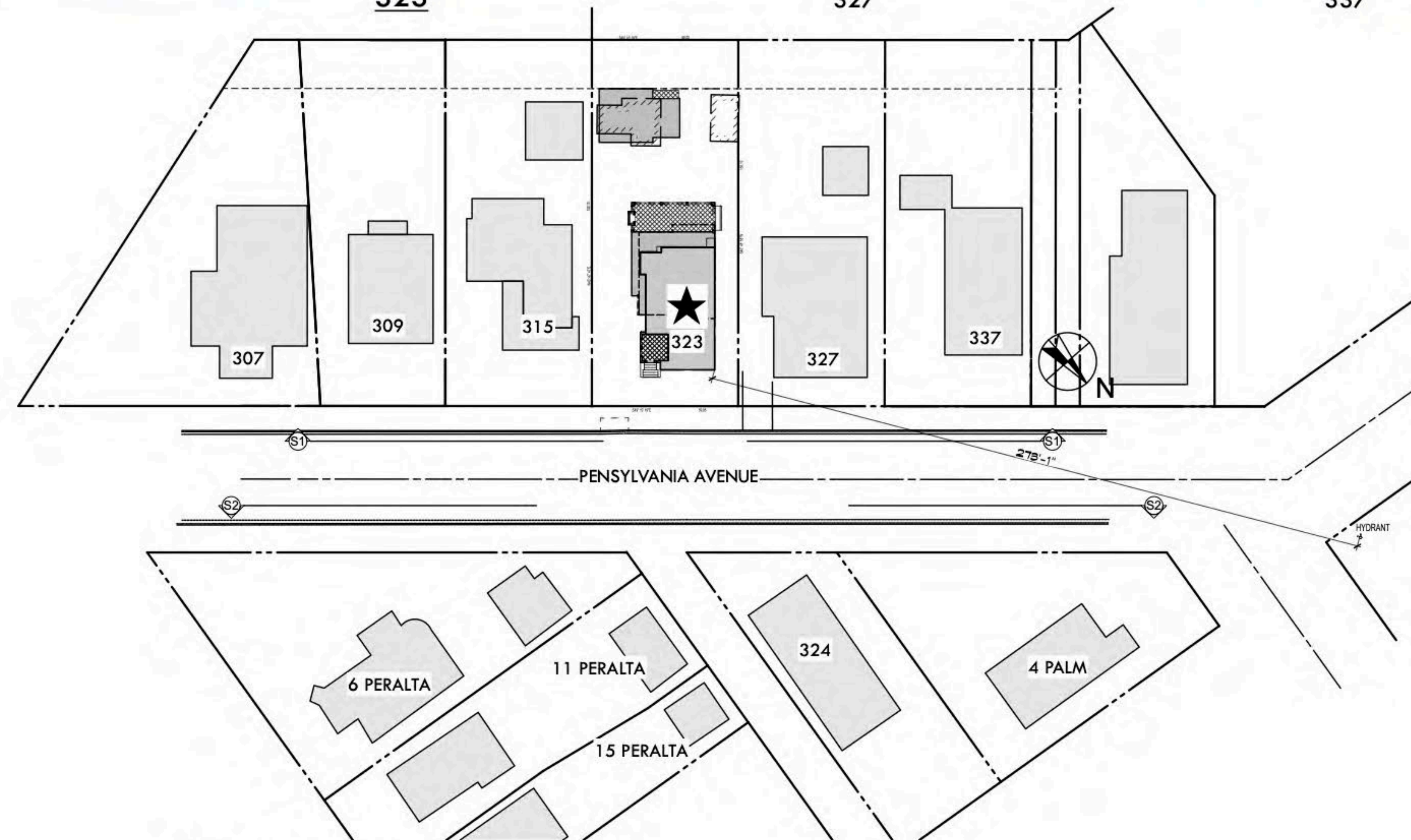


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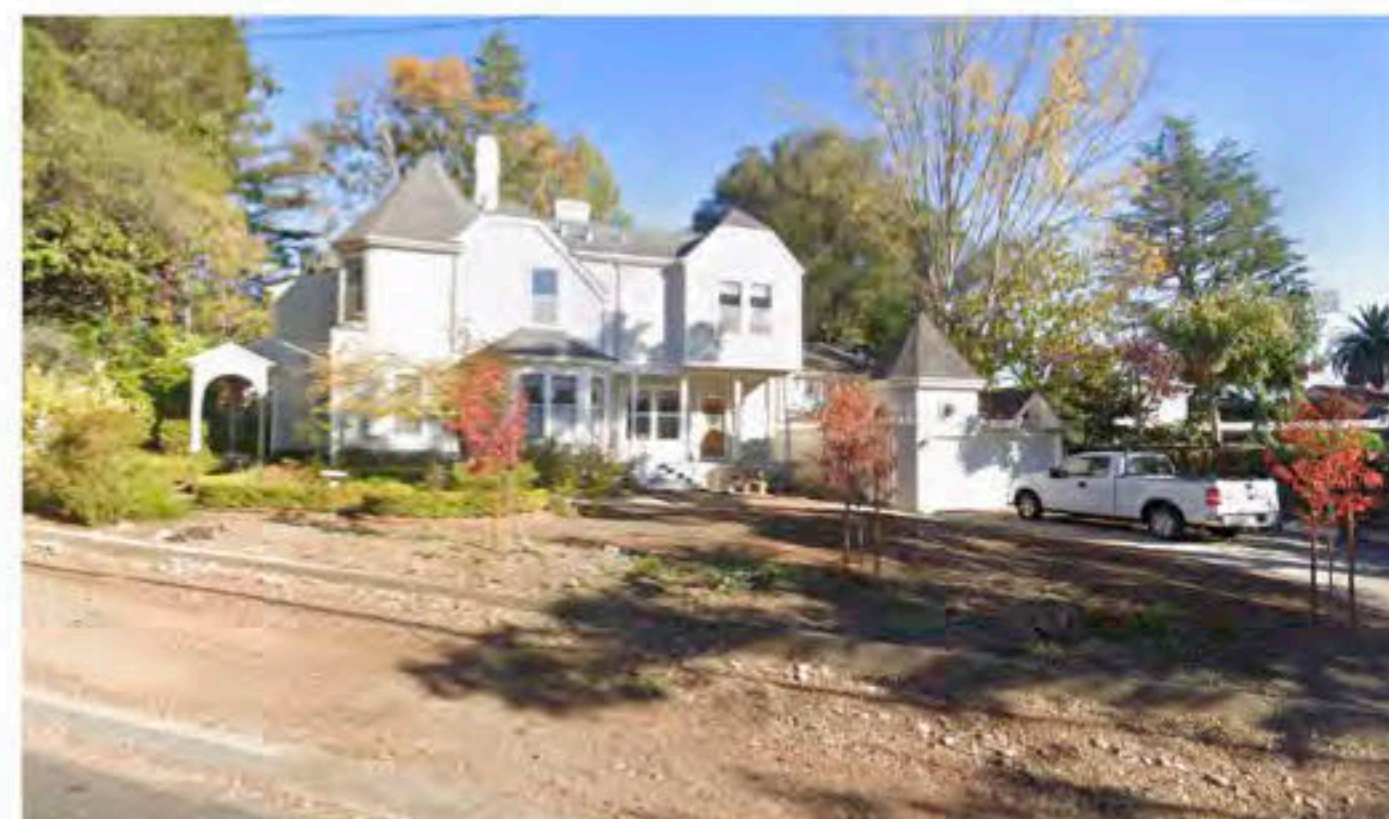
337

STREETSCAPE 1

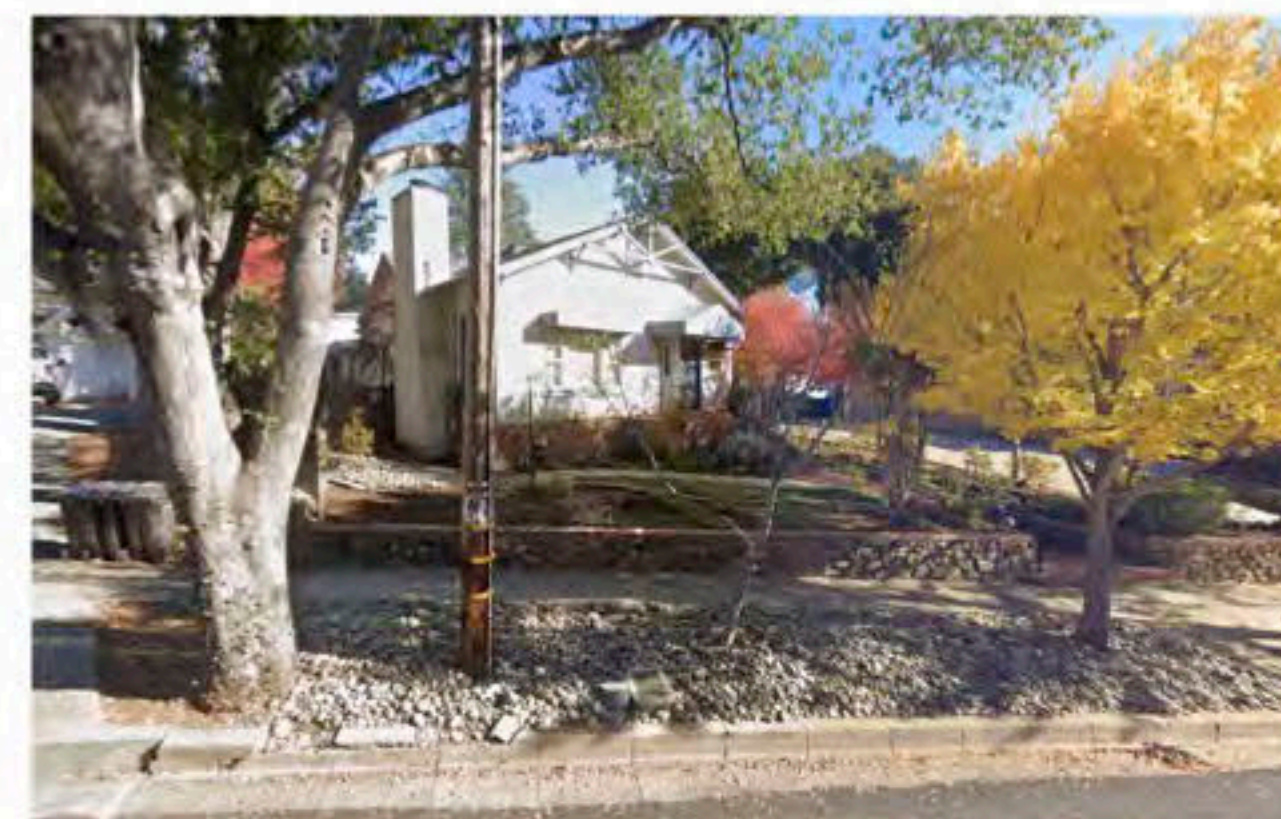


NEIGHBORHOOD PLAN

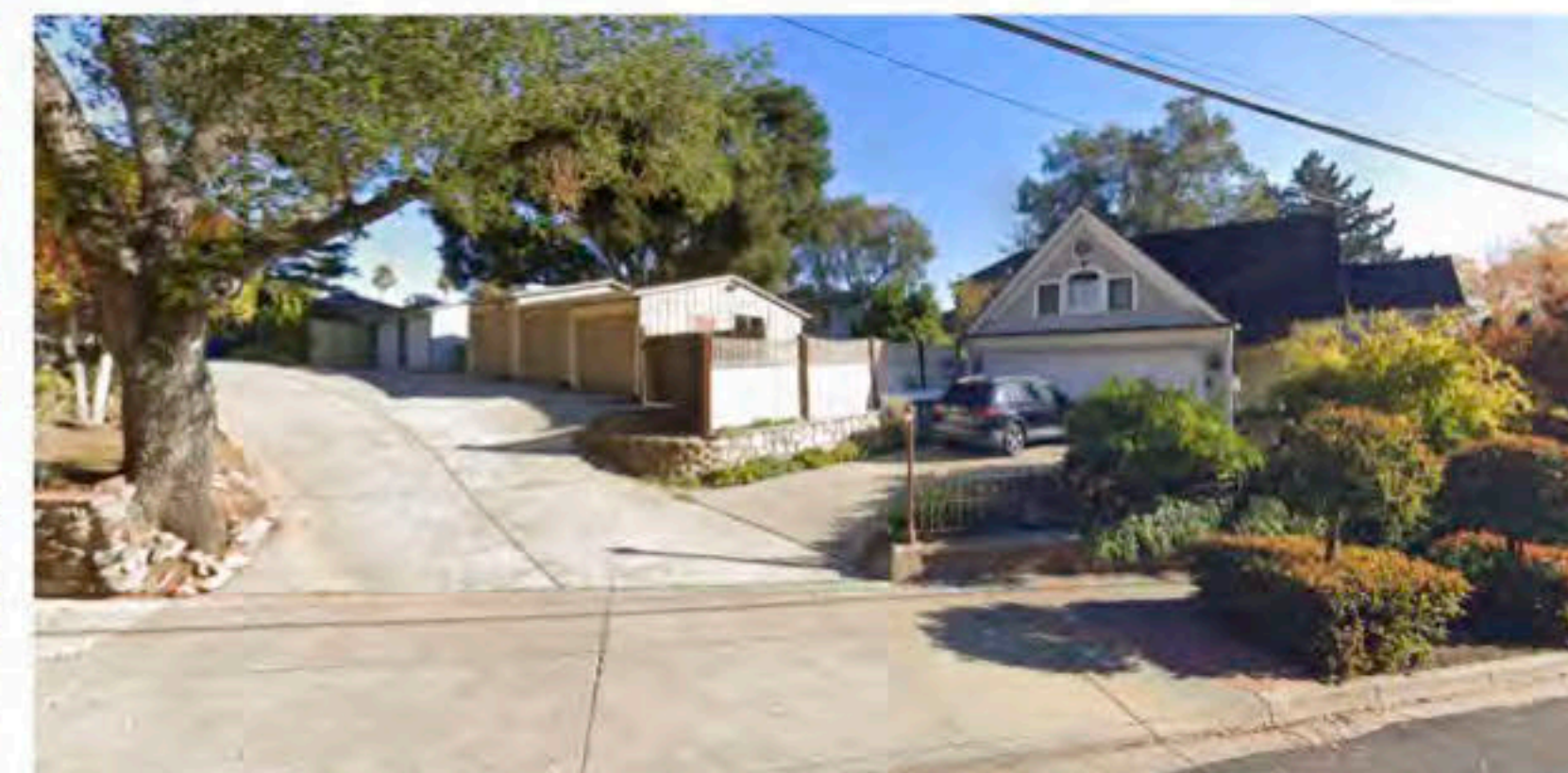
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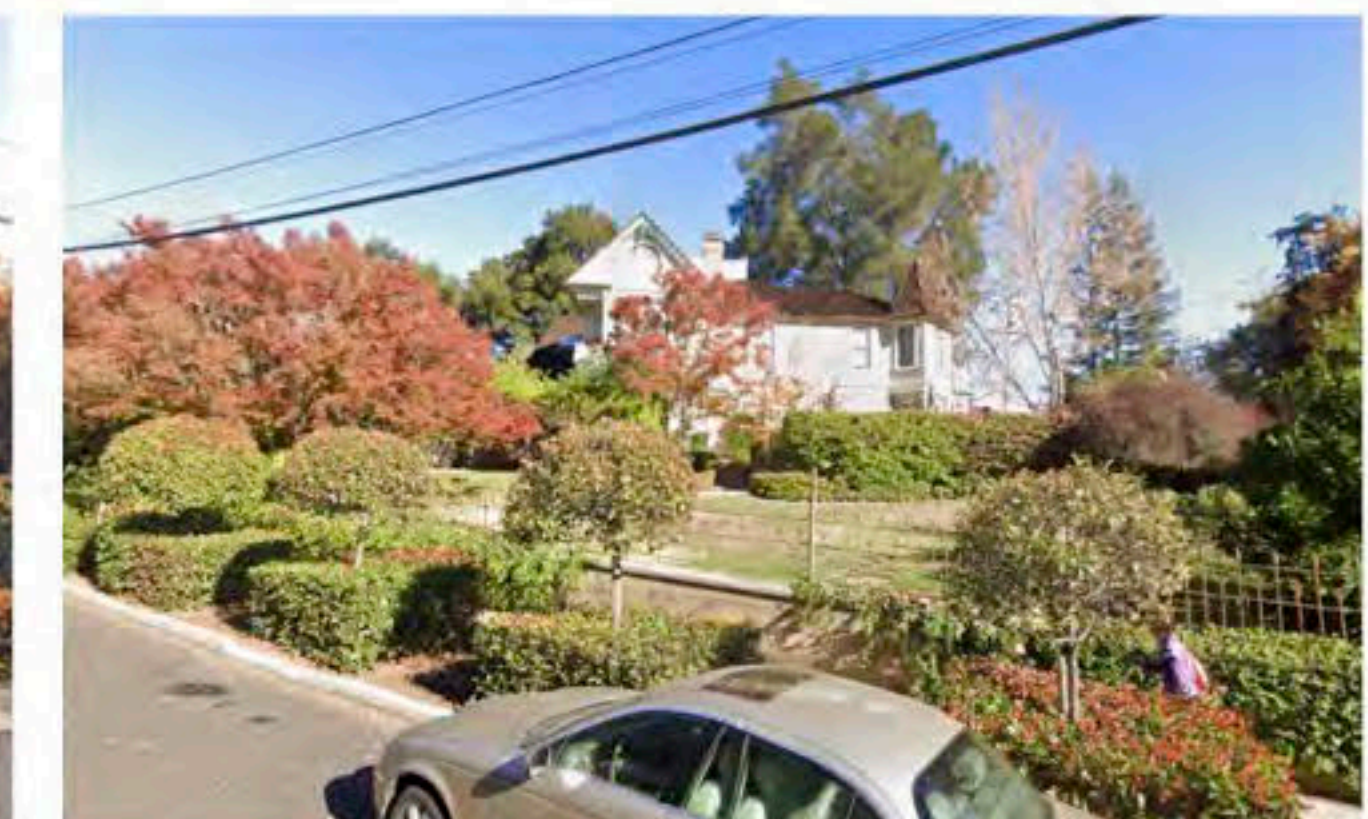
4 Palm



324



11, 15 & 6 Peralta Garages



6 Peralta

STREETSCAPE 2

REVISIONS

A. 04/25/23

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE., T. • LOS GATOS, CA • 95030 • (408) 395-2355

AN ADDITION & REMODEL FOR:
THE JELLINEK RESIDENCE
323 PENNSYLVANIA AVENUE LOS GATOS, CA

NEIGHBORHOOD PLAN &
STREETSCAPE
S

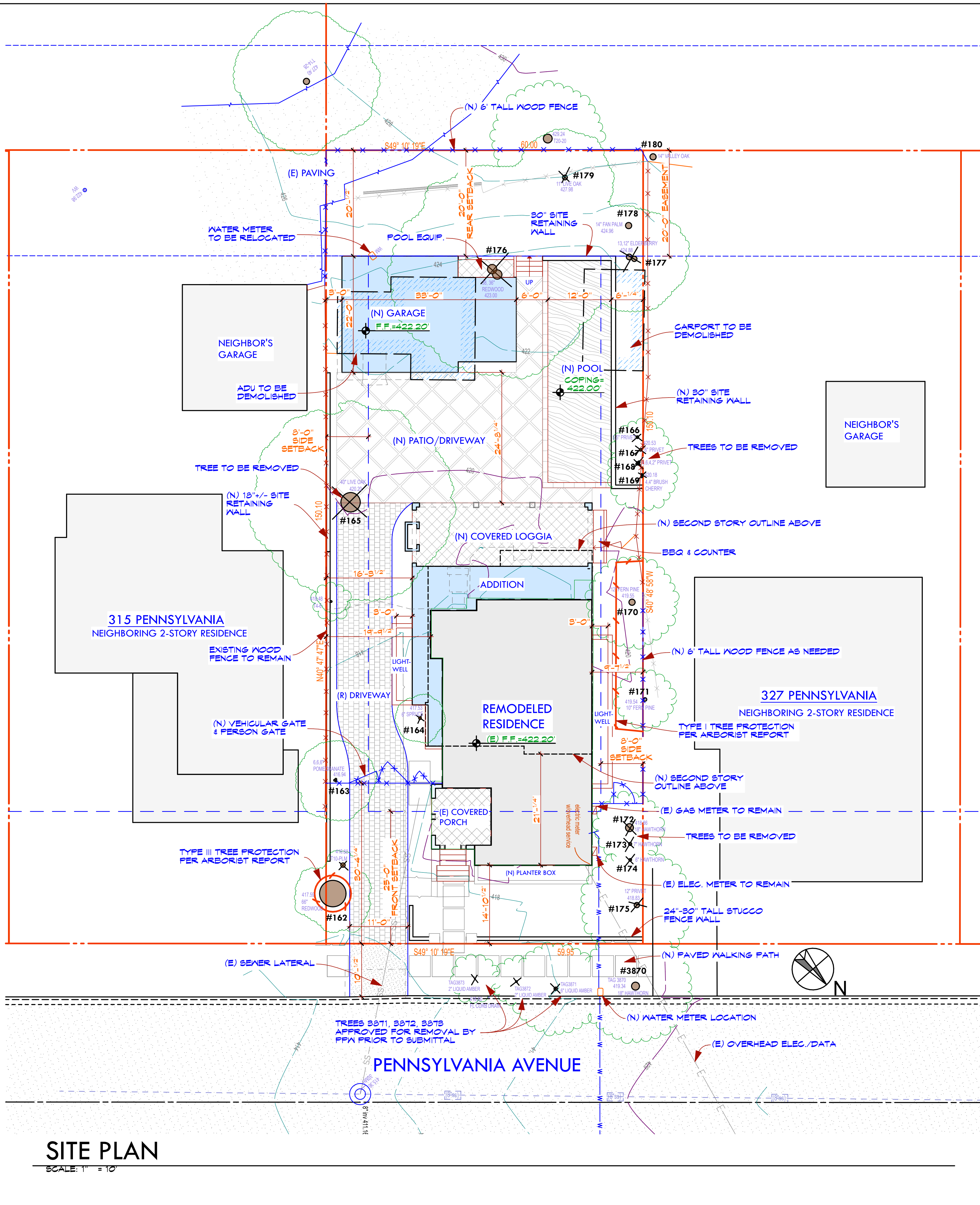
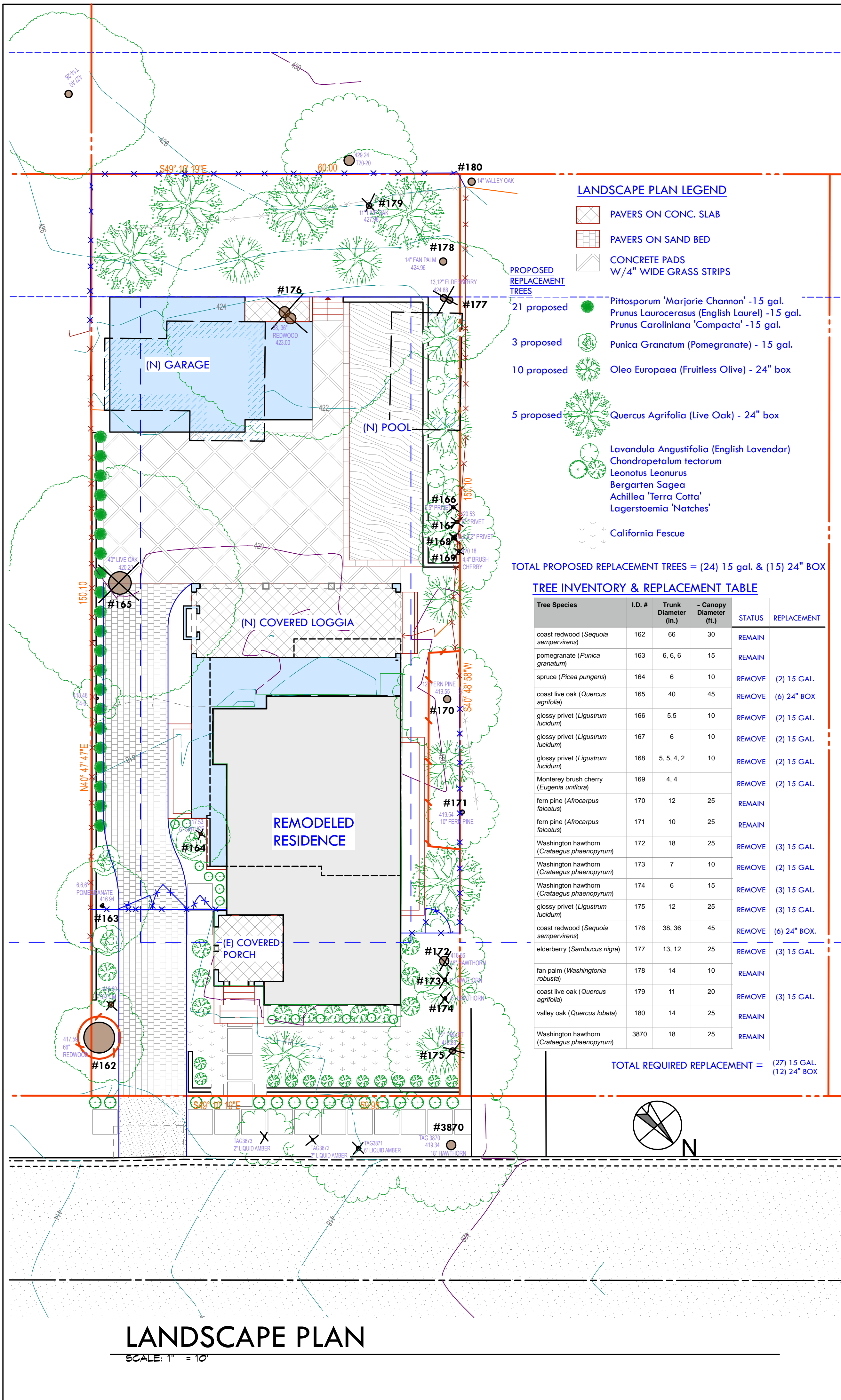
DATE: 07/05/23

SCALE: AS SHOWN

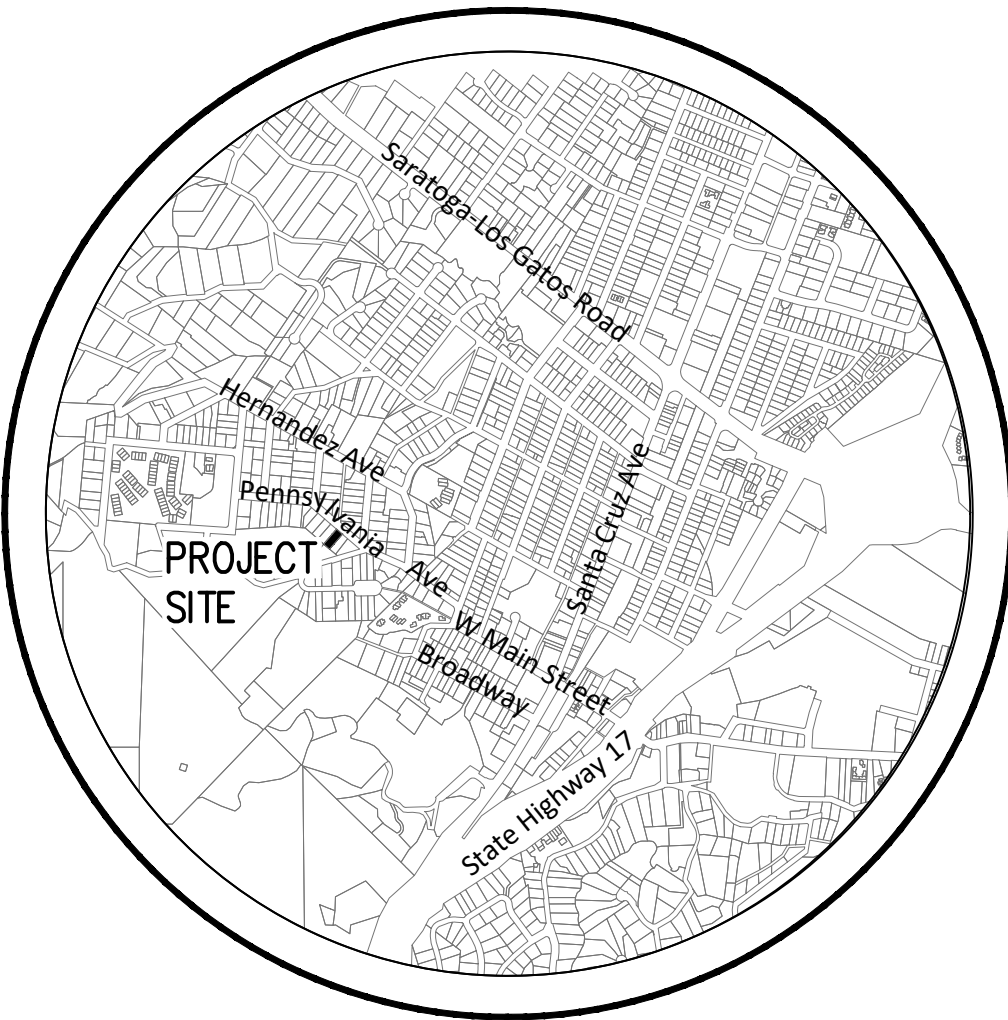
SHEET

A-3

3 OF -



PLAN FOR THE IMPROVEMENT OF
ROADWAY & DRAINAGE PLANS
TOWN OF LOS GATOS
ARCHITECTURAL AND SITE APPLICATION NO. S-23-018



VICINITY MAP

SHEET INDEX

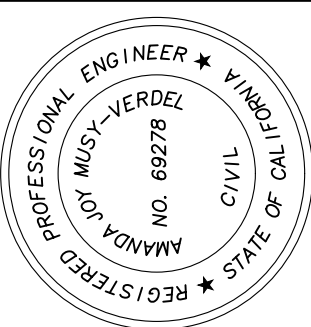
1. TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
2. BLUEPRINT FOR A CLEAN BAY SHEET
3. EXISTING TOPOGRAPHY AND DEMOLITION PLAN
4. GRADING & DRAINAGE PLAN
5. EROSION CONTROL PLAN

SITE ELEMENT	CUT	FILL
GARAGE	2.87'	0'
POOL	0.52'	1.71'
DRIVEWAY	0.62'	1.74'

TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS				
TOTAL SITE AREA: 9000 SF		TOTAL SITE AREA DISTURBED: 7800 SF (INCLUDING CLEARING, GRADING OR EXCAVATING)		
	EXISTING AREA (SF)	PROPOSED AREA (SF)		TOTAL AREA POST-PROJECT (SF)
		REPLACED	NEW	
IMPERVIOUS AREA	2456	1308	2834	5638
TOTAL NEW & REPLACED IMPERVIOUS AREA		4142		
PERVIOUS AREA	6553		3362	

ABBREVIATIONS

GA	GAUGE	R/W	RIGHT-OF-WAY
GB	GRADE BREAK	(S)	SOUTH
GM	GAS METER	S	SLOPE
GS	GAS SERVICE	SCC	SANTA CLARA COUNTY
HDPE	HIGH-DENSITY POLYETHYLENE	SCCFD	SANTA CLARA COUNTY FIRE DEPARTMENT
HP	HIGH POINT	SD	STORM DRAIN
IEE	INGRESS/EGRESS EASEMENT	SDCO	STORM DRAIN CLEANOUT
IN	INCH	SDE	STORM DRAIN EASEMENT
INV	INVERT ELEVATION	SDMH	STORM DRAIN MANHOLE
LAT	LATERAL	SDR	STANDARD DIMENSION RATIO
LG	LIP OF GUTTER	SF	SQUARE FEET
LP	LOW POINT	SJWC	SAN JOSE WATER COMPANY
MAX	MAXIMUM	SS	SANITARY SEWER
MH	MANHOLE	SSCO	SANITARY SEWER CLEANOUT
MIN	MINIMUM	SSSE	SANITARY SEWER EASEMENT
MPH	MILES PER HOUR	SSMH	SANITARY SEWER MANHOLE
(N)	NORTH	STD	STANDARD
N.T.S.	NOT TO SCALE	S/W	SIDEWALK
O.C.	ON CENTER	TC	TOP OF CURB
O.D.	OUTSIDE DIAMETER	TELE	TELEPHONE
PAD	PAD ELEVATION	TLG	TOWN OF LOS GATOS
PCC	PORTLAND CEMENT CONCRETE	TW	TOP OF WALL
PERF	PERFORATED	TPY	TYPICAL
PG&E	PACIFIC GAS & ELECTRIC COMPANY	VCP	VERTIFIED CLAY PIPE
PIE	PRIVATE INGRESS/EGRESS EASEMENT	(W)	WEST
PL	PROPERTY LINE	W	WATER
PR	PROPOSED	WM	WATER METER
PSDE	PRIVATE STORM DRAIN EASEMENT	WS	WATER SERVICE
PSE	PUBLIC SERVICE EASEMENT	WV	WATER VALVE
PSSE	PRIVATE SANITARY SEWER EASEMENT	WVSD	WEST VALLEY SANITATION DISTRICT
PUE	PUBLIC UTILITY EASEMENT	XING	CROSSING
PVC	POLYVINYL CHLORIDE		
R	RADIUS		
RCP	REINFORCED CONCRETE PIPE		
RIM	RIM ELEVATION		



DATE:	SEPT 5 2023
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM
PROJECT NO. : 23065	

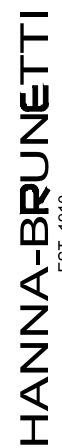
LANDS OF JELLINEK - 323 PENNSYLVANIA AVENUE

APN 510-43-044

COVER SHEET

ARCHITECTURAL AND SITE APPLICATION S-23-018

TOWN OF LOS GATOS

CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

STREET • GILROY • 95020 • CALIFORNIA

OFFICE (408) 842-2173 • FAX (408) 842-3662
EMAIL: ENGINEERING@HANABRUNETTI.COM

◇	REVISIONS	BY	DATE
①	REVISE PER CITY COMMENTS	AM/TM	8/30/23

SHEET 1 OF 5

HB JOB NO. 22066

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

TOWN OF LOS GATOS STANDARD PUBLIC IMPROVEMENT NOTES

- a. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - a. TOWN OF LOS GATOS ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS (UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS).
 - b. ALL TOWN OF LOS GATOS CONDITIONS OF APPROVAL RELATED TO THE PROJECT.
 - c. THESE PLANS AND DETAILS.
 - d. RECOMMENDATIONS OF THE PROJECT SOILS INVESTIGATION SOILS ENGINEER
- REFERENCE REPORT NO. _____, DATED _____
LETTER NO. _____, DATED _____, SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THESE PLANS.
2. NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
3. A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY- EIGHT (48) HOURS PRIOR TO ANY GRADING OR ON SITE WORK. THIS MEETING SHOULD INCLUDE:
 - a. A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - b. ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
4. APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
5. APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
6. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
7. ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
8. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
9. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
10. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE, WATER, SEWER, ELECTRICAL OR TELECOMMUNICATION FACILITIES WHETHER ABOVE GROUND OR UNDERGROUND. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THEREO.
11. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING.
12. DURING CONSTRUCTION, ALL APPLICABLE WORK (SUBGRADE, PAVING, ETC.) SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING SUCH WORK. THE ENGINEER SHALL BE ON-SITE TO VERIFY CONDITIONS AS REQUIRED. IN HIS REPORT, SHOULD ANY CHANGES TO THE REPORT RECOMMENDATIONS BE NECESSARY, TOWN APPROVAL SHALL BE OBTAINED PRIOR TO ANY ASSOCIATED WORK.
13. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHALL BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
14. ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE, AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
15. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
16. OWNER/APPLICANT: _____ PHONE: _____
17. GENERAL CONTRACTOR: _____ PHONE: _____
18. A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
19. GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.

TOWN OF LOS GATOS NPDES NOTES

1. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
2. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
3. APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
4. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
5. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
6. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
7. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
8. DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

UTILITY INFORMATION:

WATER	SAN JOSE WATER COMPANY
SANITARY SEWER	WEST VALLEY SANITATION DISTRICT
GAS & ELECTRIC SERVICES	PACIFIC GAS & ELECTRIC
GARBAGE COLLECTION CO.	WEST VALLEY COLLECTION & RECYCLING, LLC
TELEPHONE	FRONTIER COMMUNICATIONS
STORM DRAIN	TOWN OF LOS GATOS

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

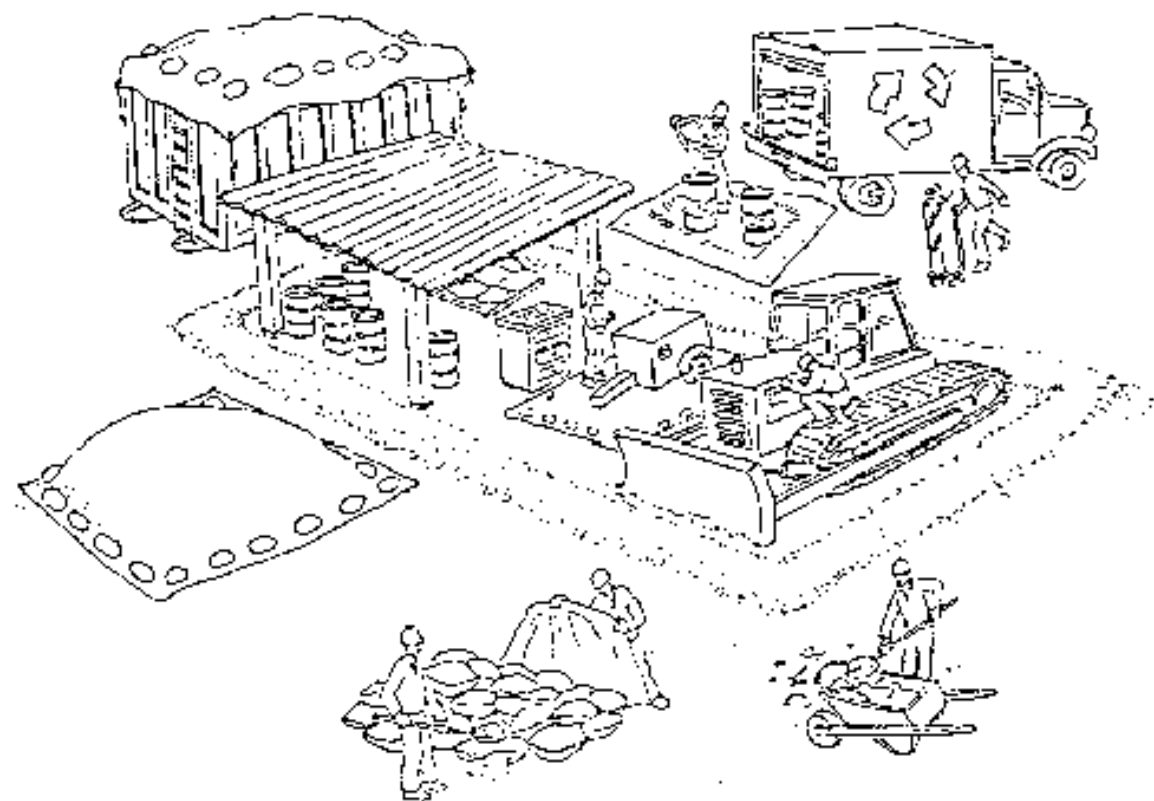
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ARV	AIR RELEASE VALVE
BC	BACK OF CURB
BFP	BACKFLOW PREVENTER
BW	BOTTOM OF WALL
CATV	CABLE TELEVISION
CB	CATCH BASIN
CF5	CUBIC FEET PER SECOND
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CY	CUBIC YARD
DCVA	DOUBLE CHECK VALVE ASSEMBLY
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWY	DRIVEWAY
(E)	EAST
EG	EXISTING GRADE
ELEC	ELECTRICAL
EP	EDGE OF PATH
EVE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FM	FORCED MAIN
FS	FIRE SERVICE
FT	FEET
G	GAS

GA	GAUGE
GB	GRADE BREAK
GM	GAS METER
GS	GAS SERVICE
HDPE	HIGH-DENSITY POLYETHYLENE
HP	HIGH POINT
IEE	INGRESS/EGRESS EASEMENT
IN	INCH
INV	INVERT ELEVATION
LAT	LATERAL
LG	LIP OF GUTTER
LP	LOW POINT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MPH	MILES PER HOUR
(N)	NORTH
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
PAD	PAD ELEVATION
PCC	PORTLAND CEMENT CONCRETE
PERF	PERFORATED
PG&E	PACIFIC GAS & ELECTRIC COMPANY
PIEE	PRIVATE INGRESS/EGRESS EASEMENT
PL	PROPERTY LINE
PR	PROPOSED
PSDE	PRIVATE STORM DRAIN EASEMENT
PSE	PUBLIC SERVICE EASEMENT
PSSE	PRIVATE SANITARY SEWER EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RIM	RIM ELEVATION

R/W	RIGHT-OF-WAY
(S)	SOUTH
S	SLOPE
SCC	SANTA CLARA COUNTY
SCCFD	SANTA CLARA COUNTY FIRE DEPARTMENT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SDE	STORM DRAIN EASEMENT
SDMH	STORM DRAIN MANHOLE
SDR	STANDARD DIMENSION RATIO
SF	SQUARE FEET
SIJWC	SAN JOSE WATER COMPANY
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSE	SANITARY SEWER EASEMENT
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
S/W	SIDEWALK
TC	TOP OF CURB
TELE	TELEPHONE
TLG	TOWN OF LOS GATOS
TW	TOP OF WALL
TYT	TYPICAL
VCP	VITRIFIED CLAY PIPE
(W)	WEST
W	WATER
WM	WATER METER
WS	WATER SERVICE
WV	WATER VALVE
WVSD	WEST VALLEY SANITATION DISTRICT
XING	CROSSING

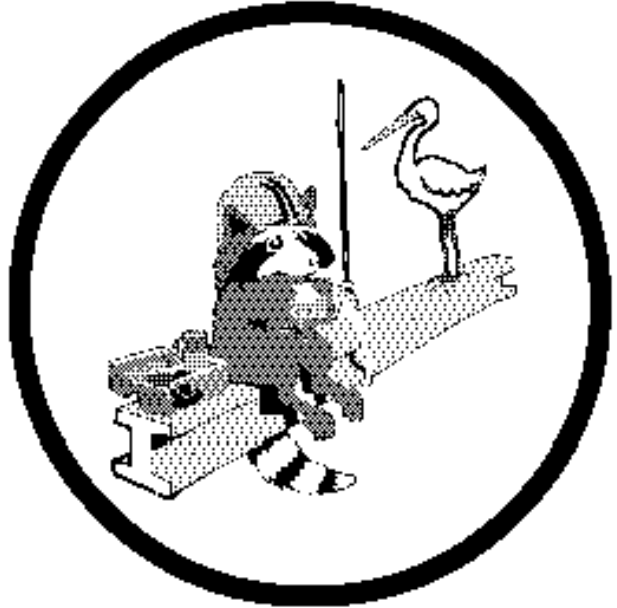
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Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow on to dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



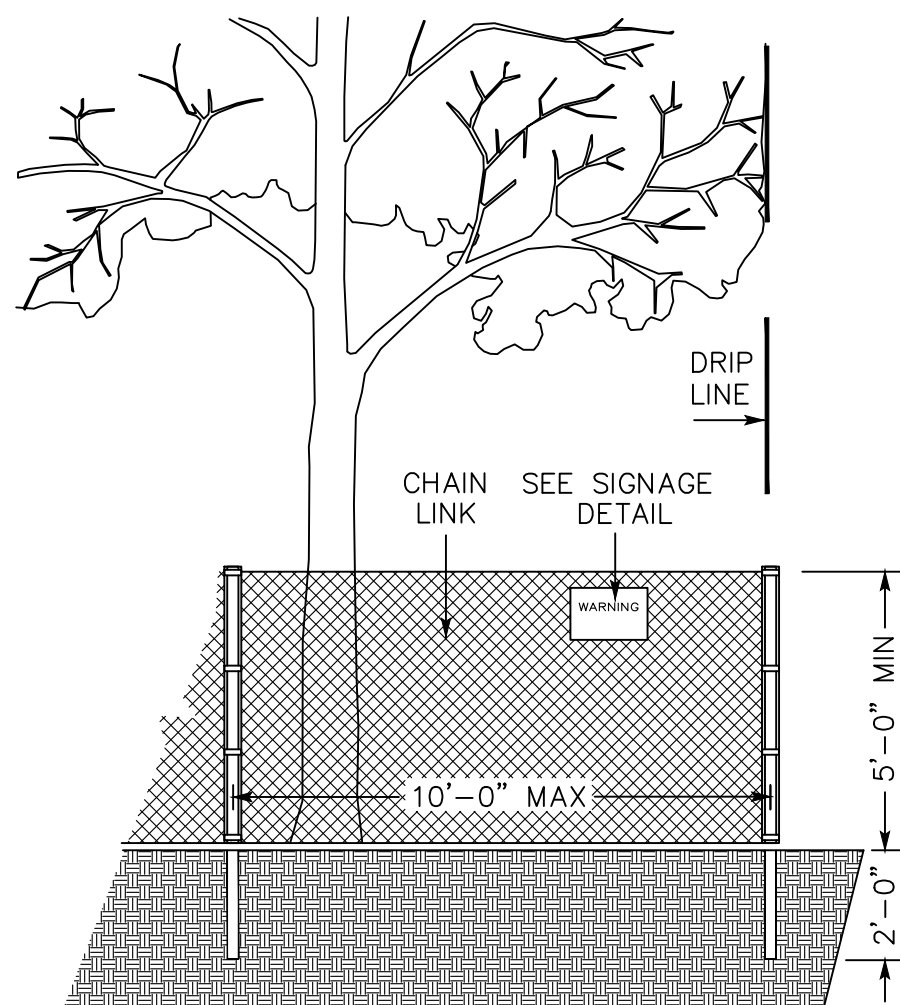
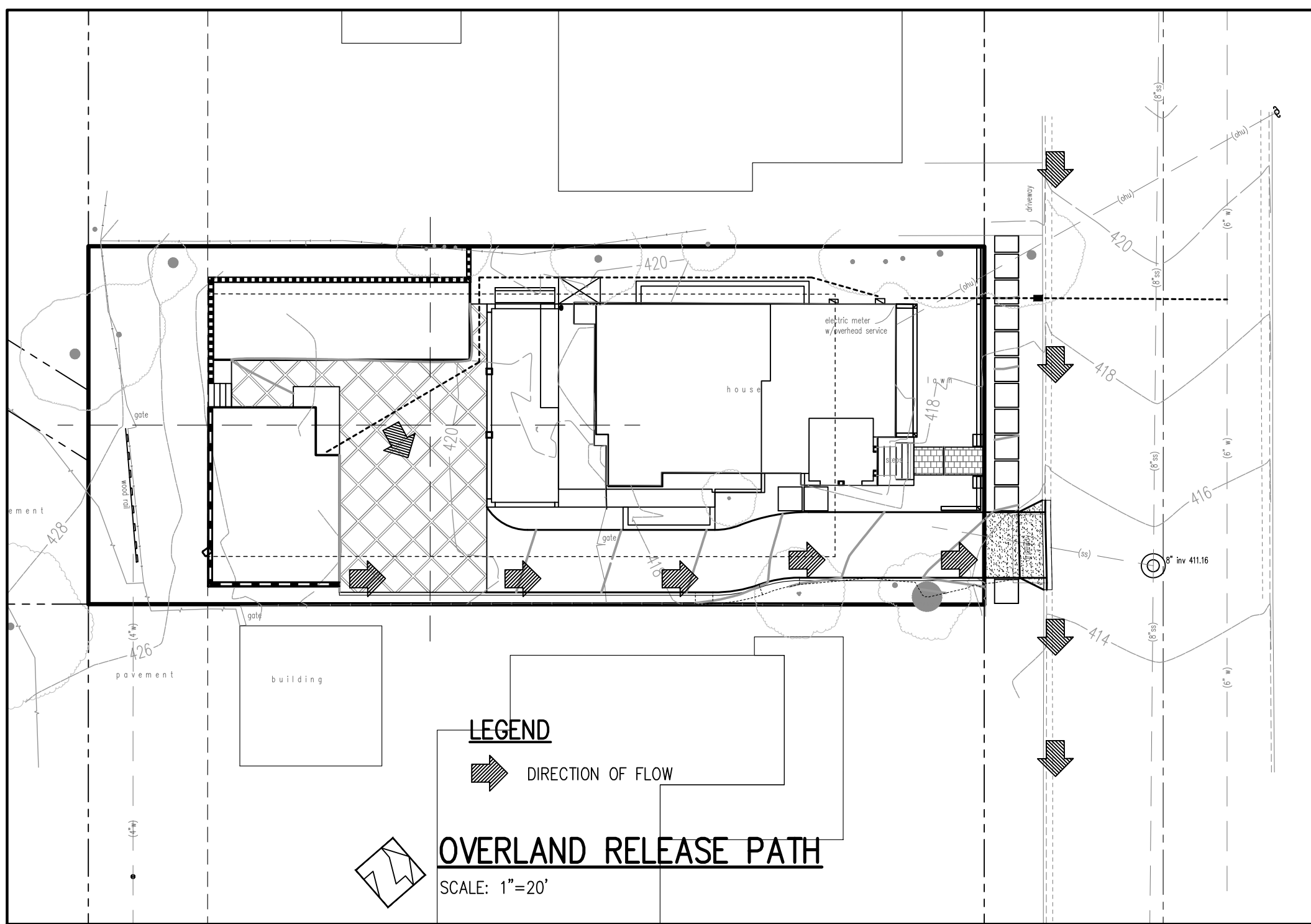
GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

BASIS OF BEARINGS:
THE BEARINGS SHOWN ON THIS TOPOGRAPHIC SURVEY IS BASED ON THE FOUND MONUMENTS ALONG "PENNSYLVANIA AVENUE" WITH A BEARING OF NORTH 49° 10' 19" WEST AS FILED IN THE RECORD OF SURVEY BOOK 922 OF MAPS AT PAGE 34 ON APRIL 10th, 2019. RECORDER OF SANTA CLARA COUNTY.

BENCHMARK:
BENCHMARK ID: LG33
ELEVATION: 563.56 FEET
ORGANIZATION: TOWN OF LOS GATOS
INTERSECTION OF WISSAHICKON AVENUE AND PENNSYLVANIA AVENUE

FLOOD ZONE:
PANEL NUMBER: 060343-0608500376H
REVISION DATE: MAY 18th, 2009
COMMUNITY NAME: LOS GATOS
ZONE X
AN AREA INUNDED BY 500-YEAR FLOODING; AN AREA INUNDED BY 100-YEAR FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; OR AN AREA PROTECTED BY LEVEES FROM 100-YEAR FLOODING.

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE TRUNKS SHALL BE CONTAINED WITHIN THE FENCE LINE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, RISK OF ACCIDENT, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.

REV.: DEC. 2015

Slope Density of Proposed Developed Area

$$S = \frac{0.0023 (l \times L)}{A}$$

S = the slope density
l = the contour interval in feet = 2 ft
L = the sum length of contour lines in feet = 537
A = the area in acres = 0.21

$$S = \frac{0.0023 (2 \times 537)}{0.21} = 1.3\%$$

GRADING

DRIVEWAY	POOL	TOTAL
CUT 35± C.Y.	CUT 105± C.Y.	CUT 140± C.Y.
FILL 20± C.Y.	FILL 0± C.Y.	FILL 20± C.Y.

EXCAVATION (UNDER SEPARATE PERMIT)

ADDITION	GARAGE
CUT 12± C.Y.	CUT 21± C.Y.
FILL 0± C.Y.	FILL 0± C.Y.

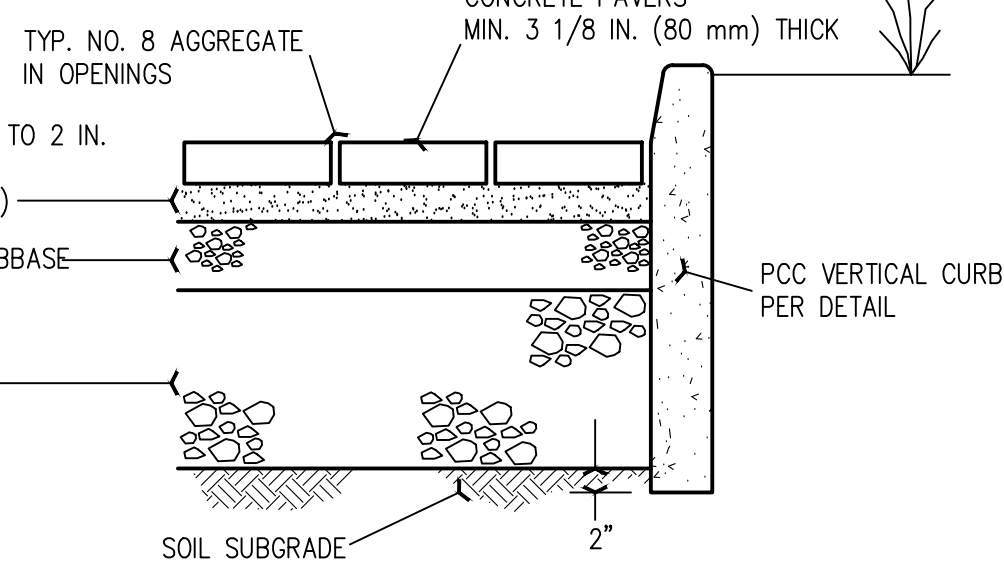
PROJECT TOTAL

CUT 173± C.Y.
FILL 20± C.Y.

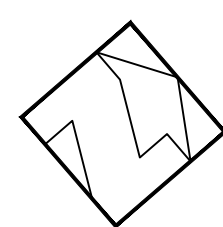
BEDDING COURSE 1 1/2 TO 2 IN.
(40 TO 50 mm) THICK
(TYP. NO. 8 AGGREGATE)

6 IN. NO. 57 STONE SUBBASE
THICKNESS VARIES
WITH DESIGN

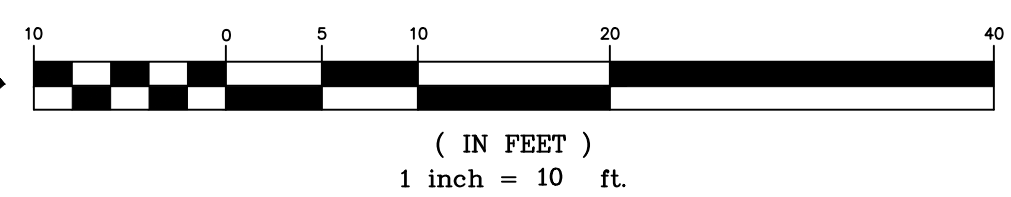
6 IN. (100 mm) THICK
NO. 2 STONE
OPEN-GRADED BASE



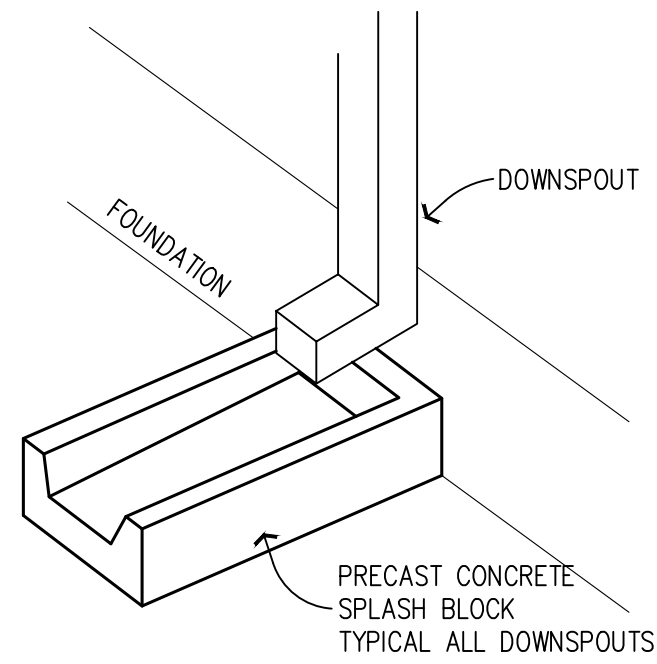
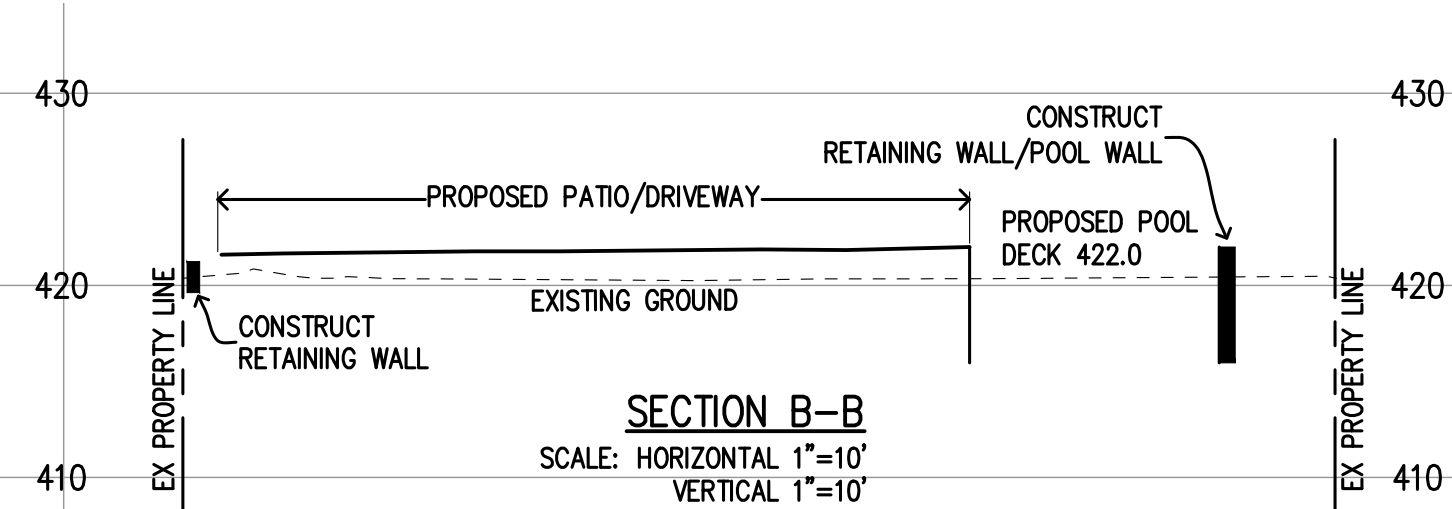
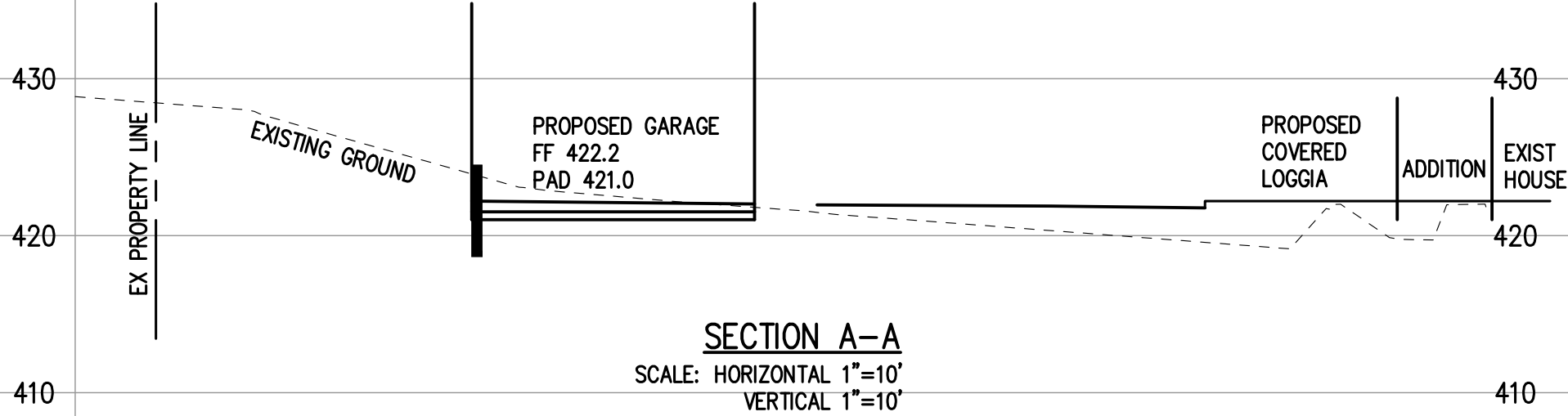
TYPICAL PERMEABLE PAVER DETAIL
NO SCALE



GRAPHIC SCALE

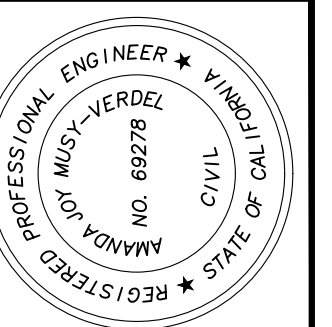


PRELIMINARY PLANS
NOT FOR CONSTRUCTION



DOWNSPOUT WITH SPLASH BLOCK DETAIL
NO SCALE

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.



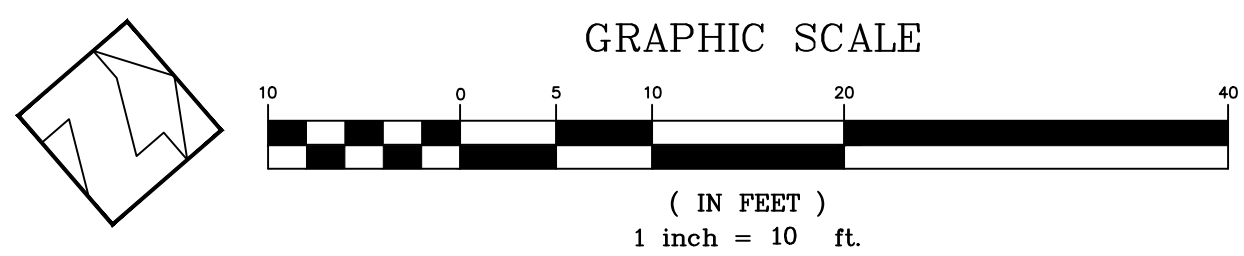
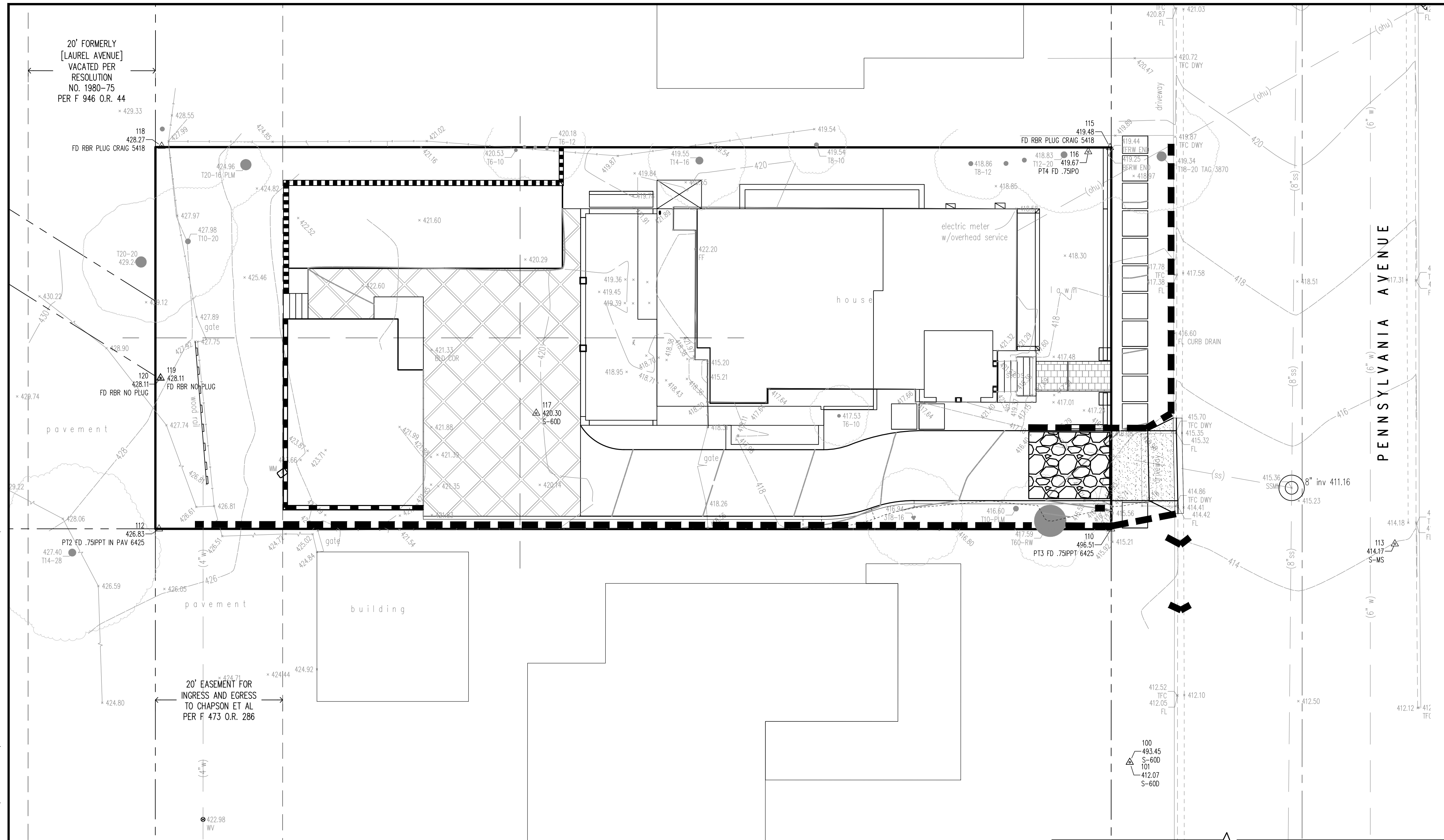
DATE: SEPT 15 2023
SCALE: 1"=10'
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 22066

PLAN FOR THE IMPROVEMENT OF
LANDS OF JELLINEK - 323 PENNSYLVANIA AVENUE
APN 510-43-044
GRADING & DRAINAGE PLAN
ARCHITECTURAL AND SITE APPLICATION 5/23-018
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

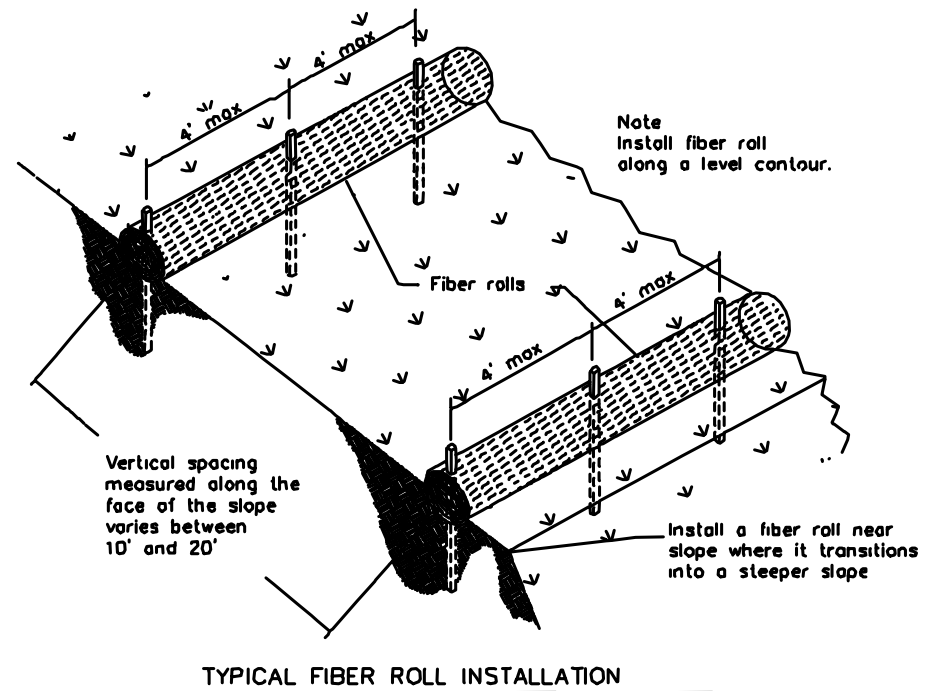
HANNA BRUNETTI
EST. 1996
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGLERBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3662
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE	BY
REVISE PER CITY COMMENTS	8/30/23	AM/TM

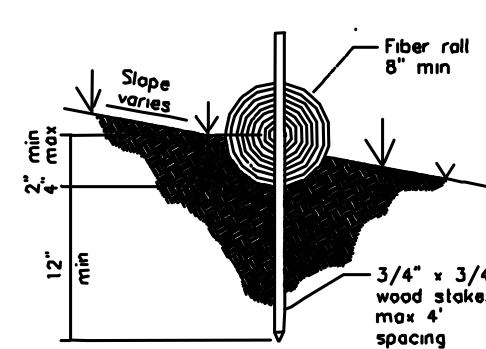
CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, RISK OF ACCIDENT, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR DAMAGE TO THE PROPERTY OF THE OWNER OR THE ENGINEER.



SE-5 Fiber Rolls

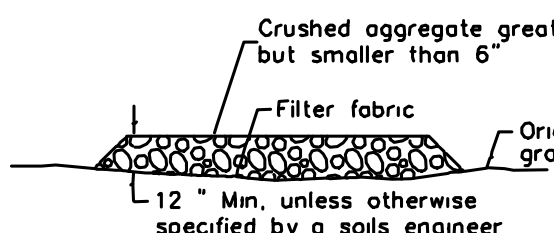


TYPICAL FIBER ROLL INSTALLATION N.T.S.

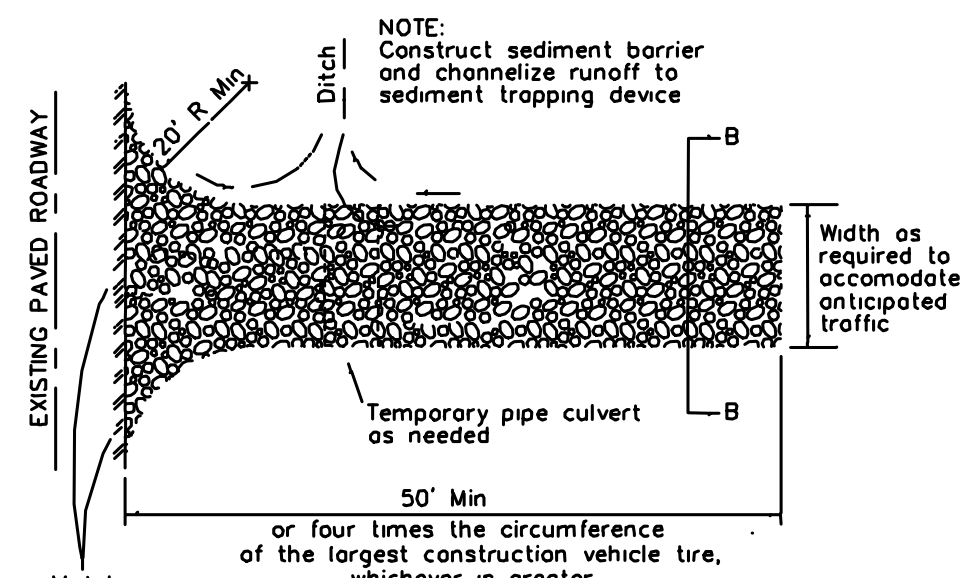


ENTRENCHMENT DETAIL N.T.S.

Stabilized Construction Entrance/Exit TC-1



SECTION B-B N.T.S.



PLAN N.T.S.

LEGEND



CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1



FIBER ROLL BARRIER PER DETAIL SE-5



FIBER ROLL CHECK DAM



STORM DRAIN INLET PROTECTION PER DETAIL SE-10

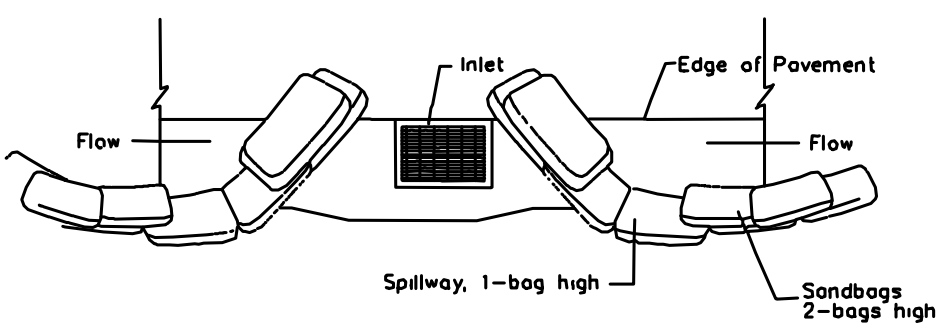
EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
2. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
3. A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
4. ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
5. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
6. PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
7. ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL CITY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO CITY ENGINEER'S APPROVAL.
8. ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
11. ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
12. INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRATOR SHALL MAINATN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
13. IF THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

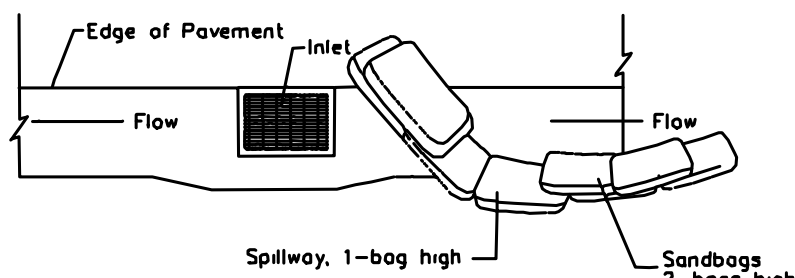
HYDROSEED TABLE

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

SE-10 Storm Drain Inlet Protection



TYPICAL PROTECTION FOR INLET ON SUMP

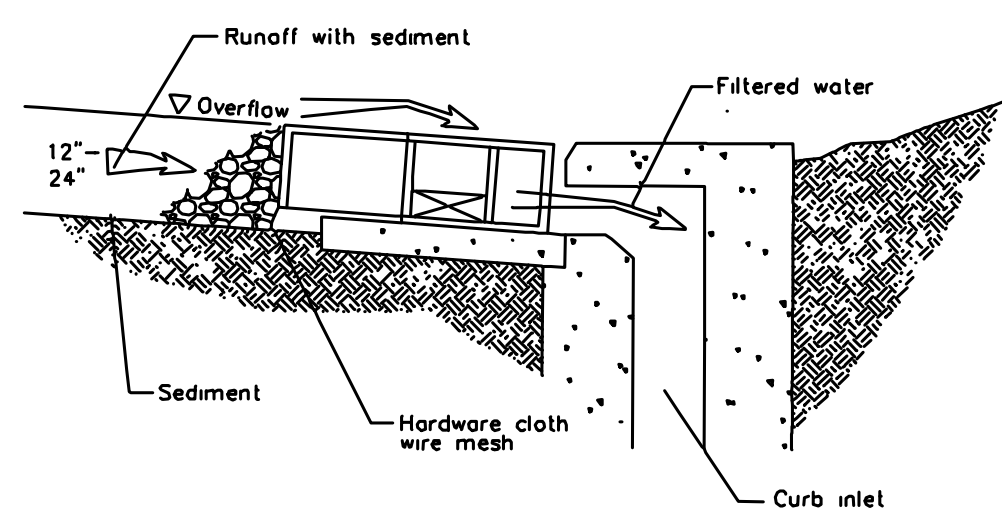
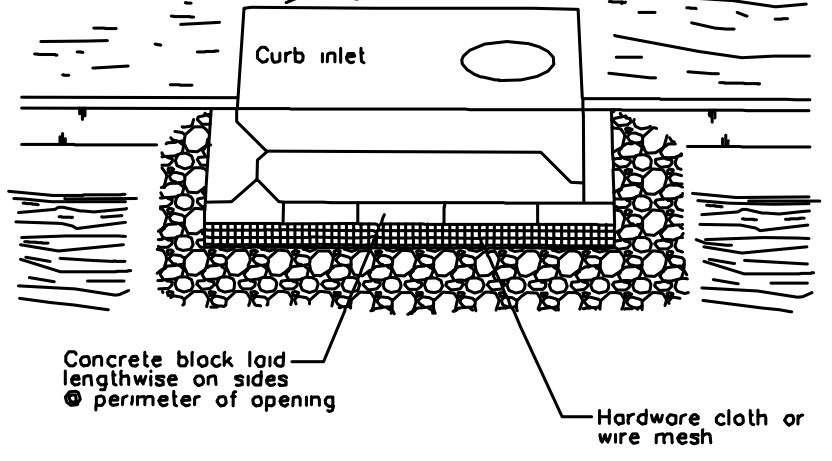


TYPICAL PROTECTION FOR INLET ON GRADE

- NOTES:
1. Intended for short-term use
 2. Use to inhibit non-storm water flow
 3. Allow for proper maintenance and cleanup
 4. Bags must be removed after adjacent operation is completed
 5. Not applicable in areas with high silt and clay without filter fabric.

DI PROTECTION - TYPE 3 NOT TO SCALE

Storm Drain Inlet Protection SE-10



DI PROTECTION - TYPE 4 NOT TO SCALE

PROFESSIONAL ENGINEER
MASSACHUSETTS
NO. 68278
CIVIL
STATE OF CALIF.

DATE: SEPT 15 2023
SCALE: 1"=10'
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM

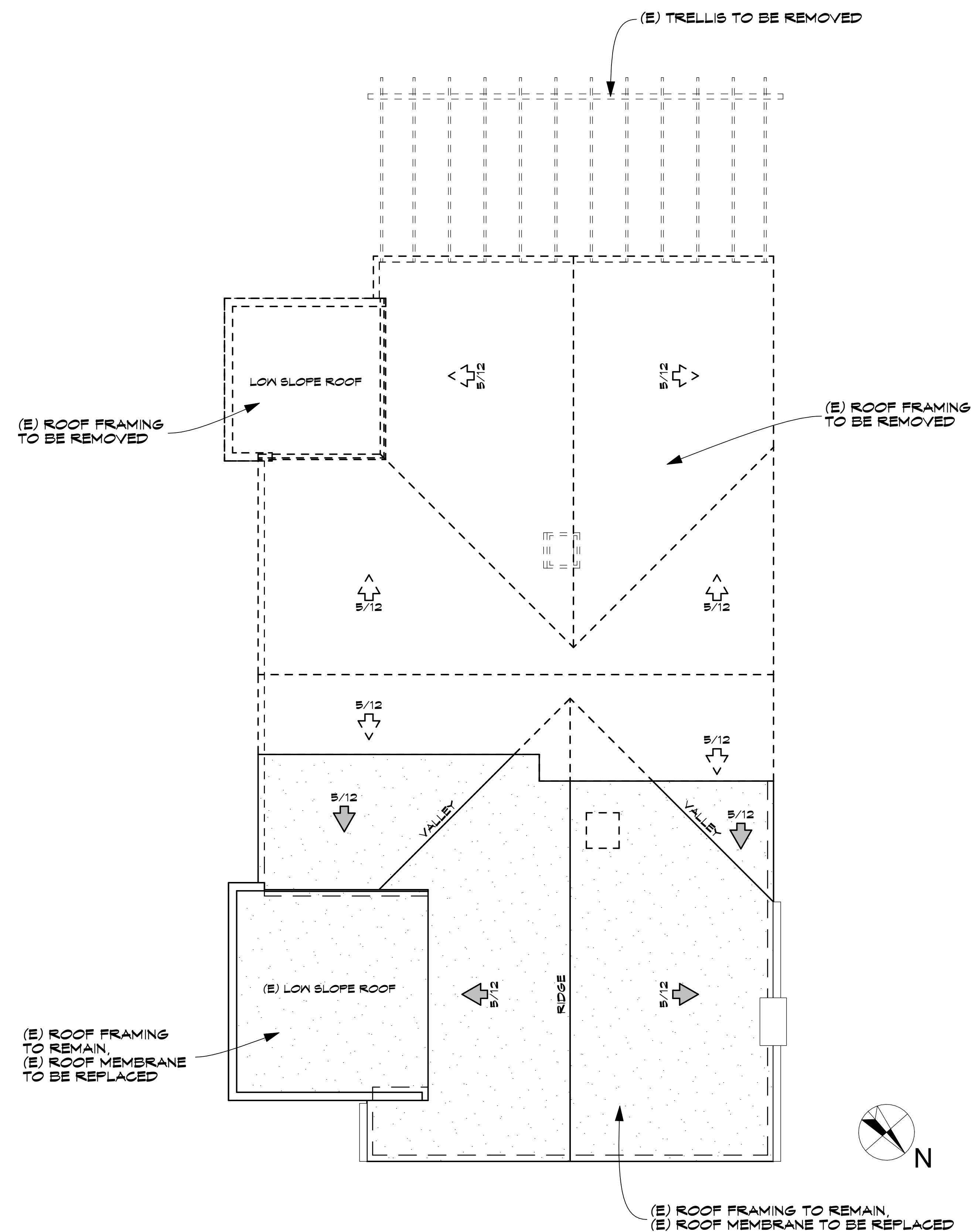
PLAN FOR THE IMPROVEMENT OF
LANDS OF JELLINEK - 323 PENNSYLVANIA AVENUE
APN 510-43-044
EROSION CONTROL PLAN
ARCHITECTURAL AND SITE APPLICATION S-23-018
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
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EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS
REVISE PER CITY COMMENTS

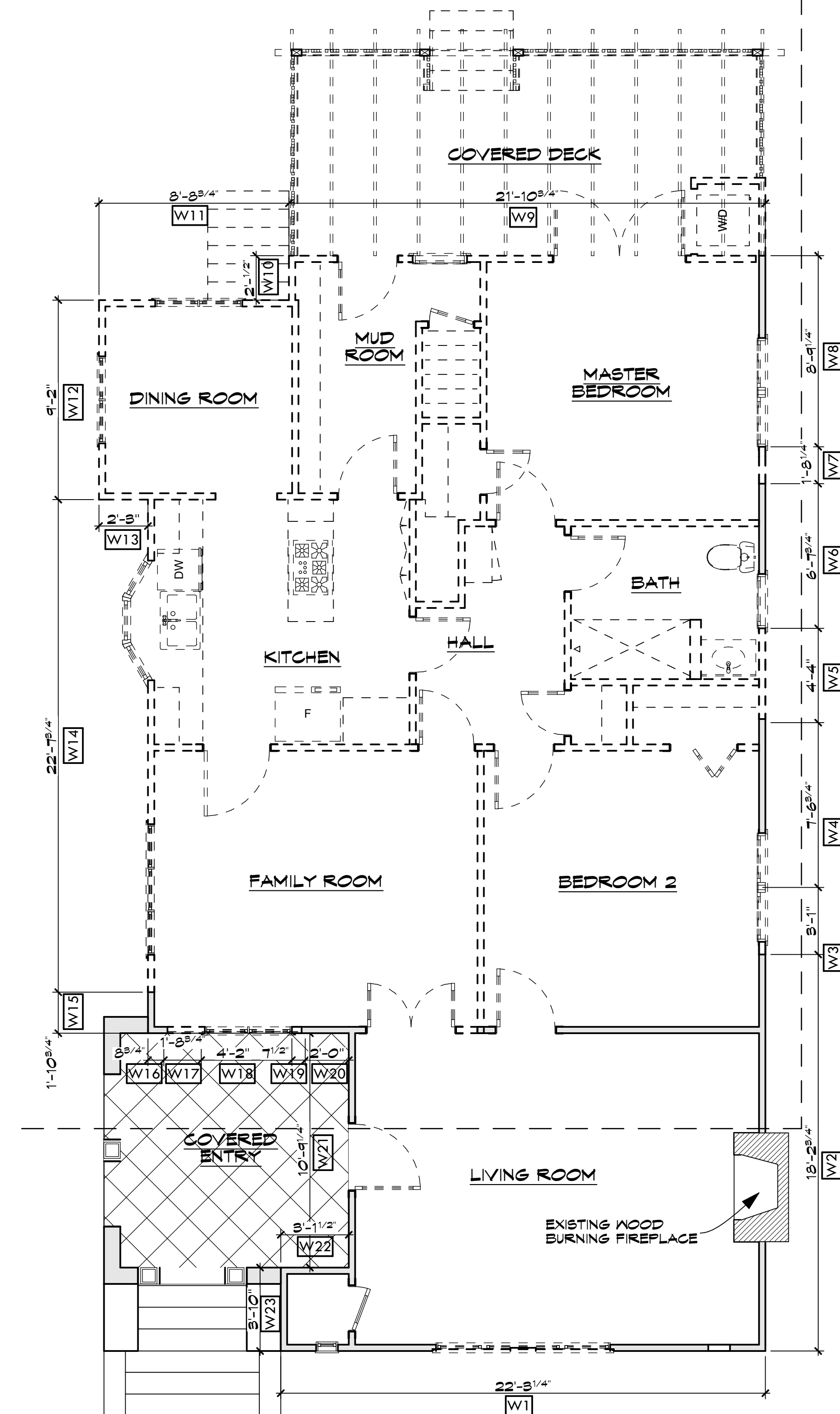
BY DATE
AM/TM 8/29/23

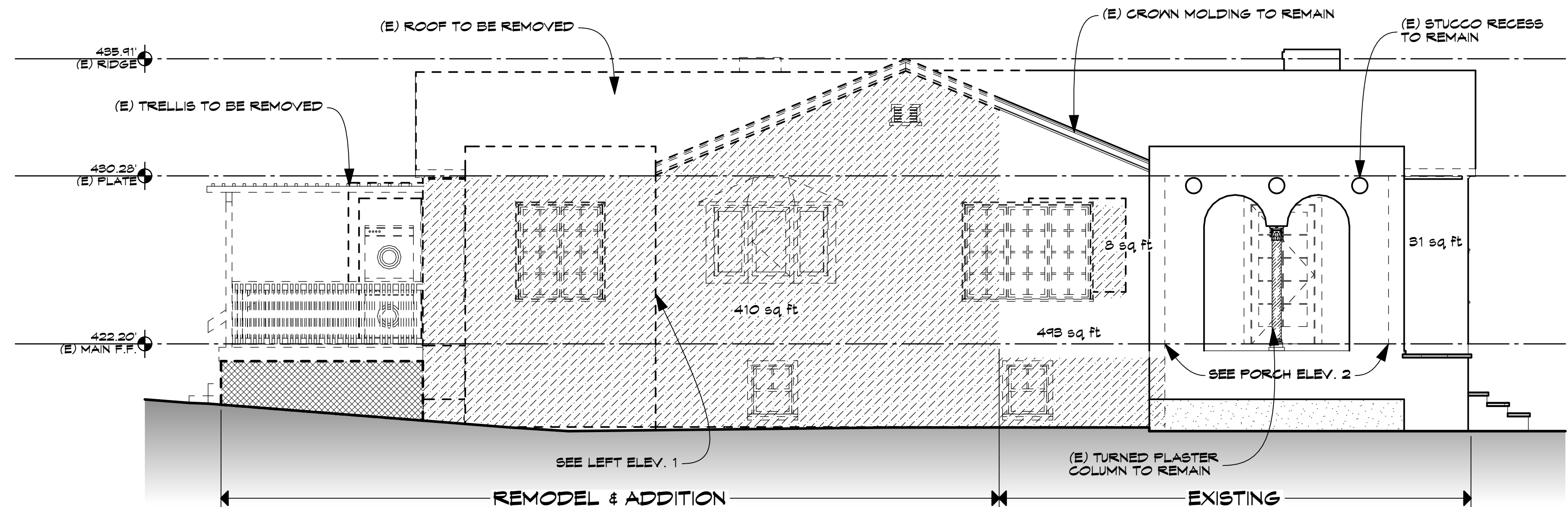
SHEET 5 OF 5



REMODEL CALCULATIONS

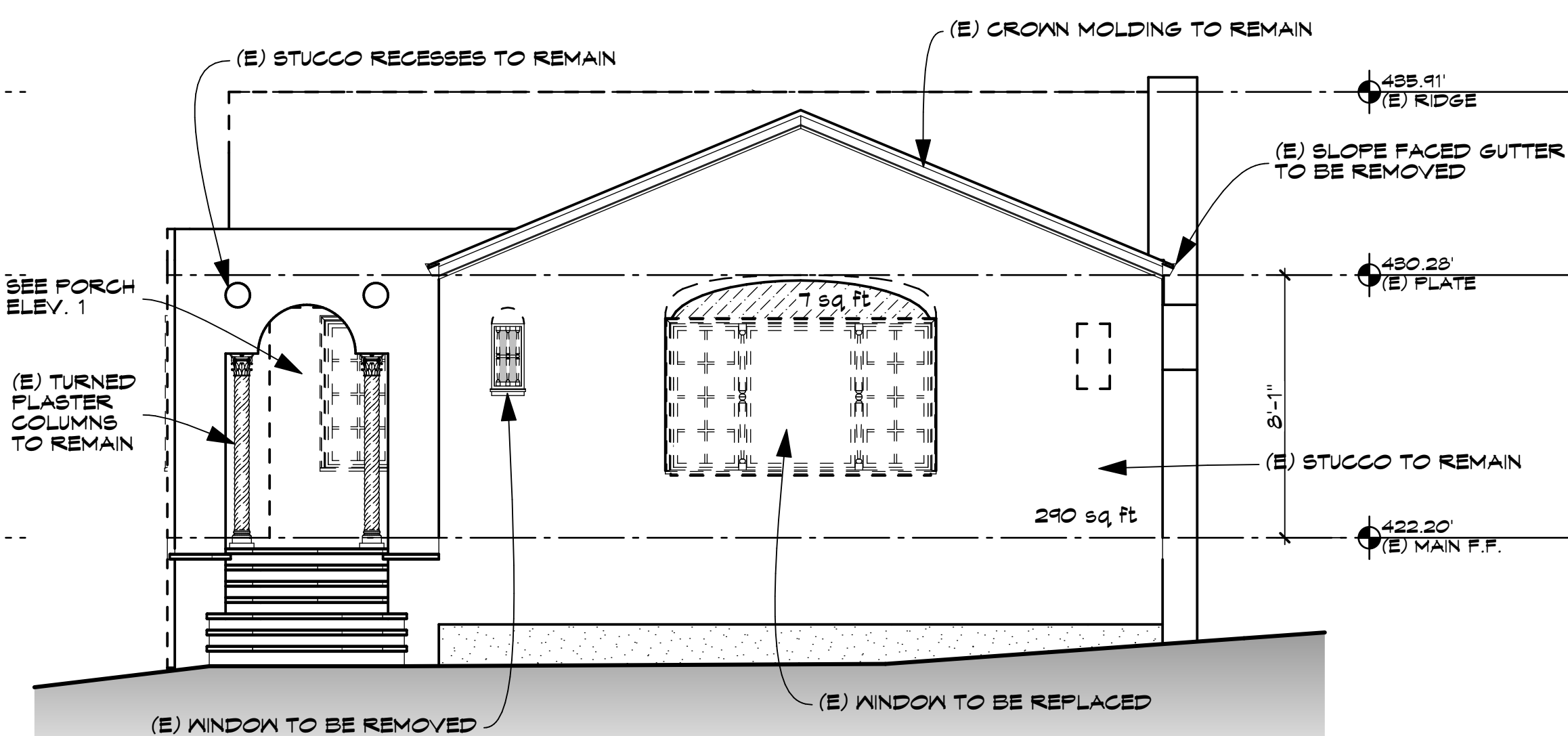
EXTERIOR WALLS		
Wall #	Existing	Demo
W1	22.3	
W2	18.2	
W3		0.6
W4	10.1	
W5		4.3
W6	6.6	
W7		1.7
W8	8.8	
W9		21.9
W10		2
W11		8.7
W12		9.2
W13		2.3
W14		22.6
W15	1.9	
W16	0.8	
W17		1.6
W18	4.2	
W19		0.5
W20	2.1	
W21	10.9	
W22	3.1	
W23	3.8	
TOTAL	92.8	75.4





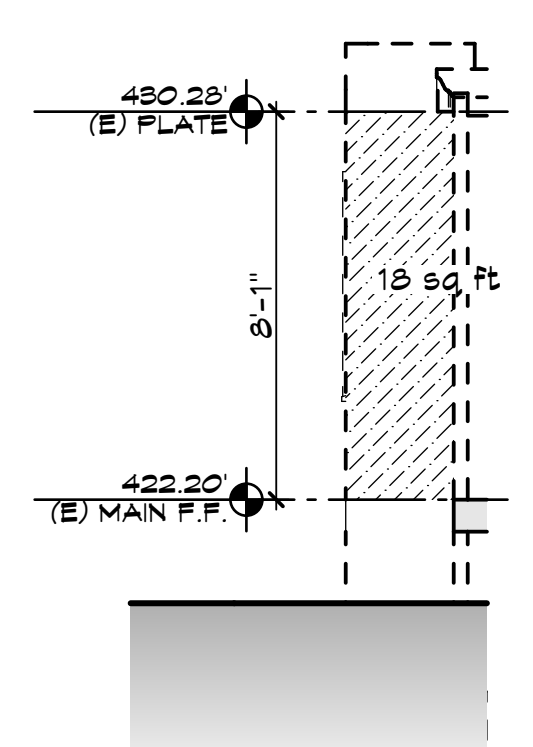
AS-BUILT/DEMO LEFT ELEVATION

SCALE: 1/4" = 1'-0"



AS-BUILT/DEMO FRONT ELEVATION

SCALE: 1/4" = 1'-0"



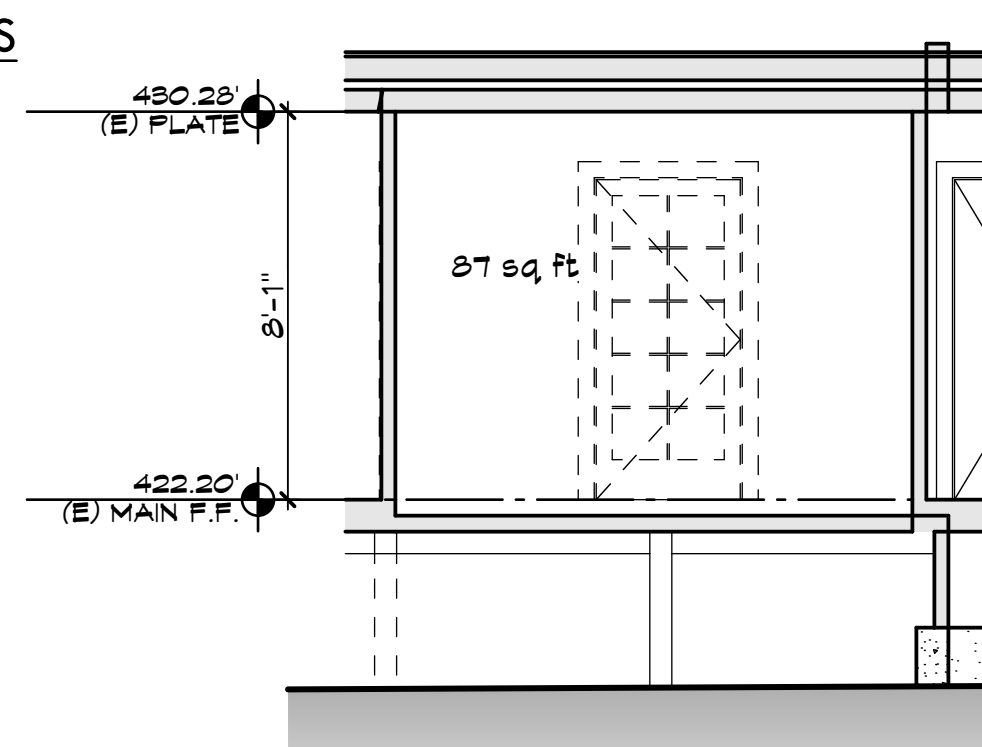
LEFT ELEV 1

SCALE: 1/4" = 1'-0"

LEFT ELEVATION - DEMO CALCULATIONS

TOTAL LEFT ELEVATION AREA = 524 SF
TOTAL PORCH ELEVATION 2 AREA = 87 SF
TOTAL LEFT ELEV 1 AREA = 18 SF
TOTAL LEFT EXISTING AREA = 629 SF

DEMO LEFT ELEVATION AREA = 418 SF
DEMO PORCH ELEVATION 2 AREA = 0 SF
DEMO LEFT ELEV 1 AREA = 18 SF
TOTAL DEMO AREA = 436 SF



PORCH ELEVATION 2

SCALE: 1/4" = 1'-0"

DEMOLITION CALCULATIONS

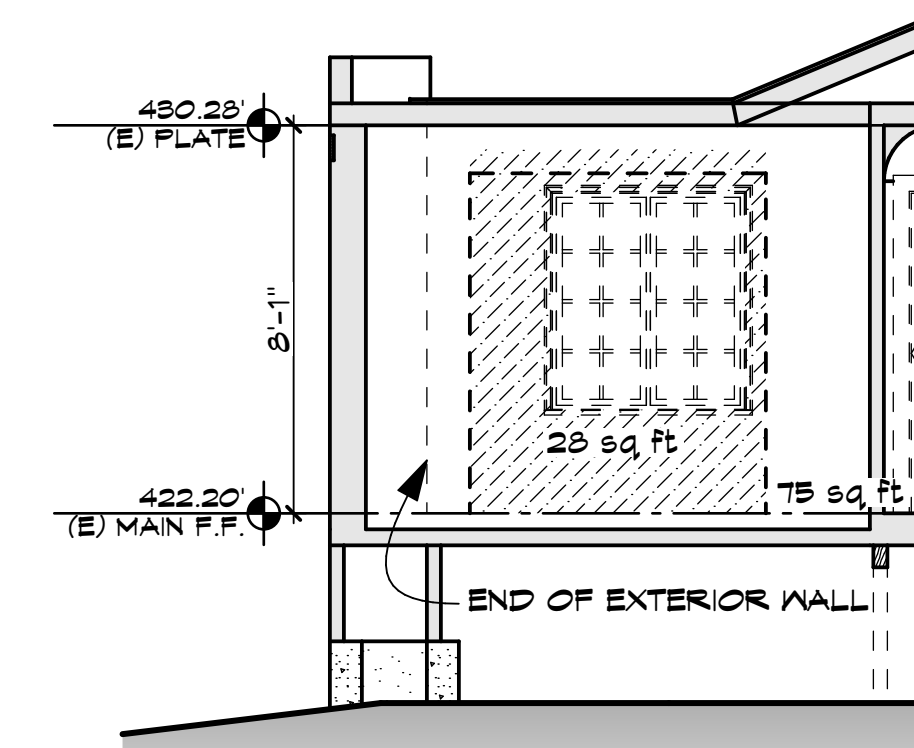
TOTAL FRONT ELEVATION AREA = 365 SF
TOTAL LEFT ELEVATION AREA = 629 SF
TOTAL REAR ELEVATION AREA = 404 SF
TOTAL RIGHT ELEVATION AREA = 602 SF
TOTAL ALL ELEVATION AREA = 2,000 SF

DEMO FRONT ELEVATION AREA = 35 SF
DEMO LEFT ELEVATION AREA = 436 SF
DEMO REAR ELEVATION AREA = 378 SF
DEMO RIGHT ELEVATION AREA = 90 SF
DEMO ALL ELEVATION AREA = 939 SF
46.9%

FRONT ELEVATION - DEMO CALCULATIONS

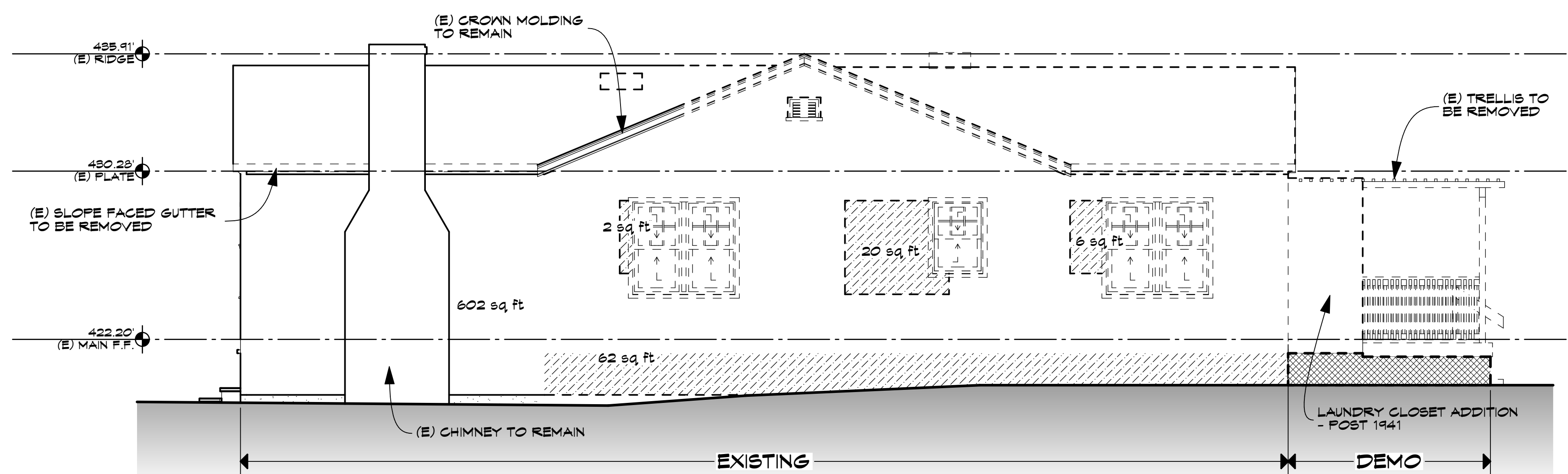
TOTAL FRONT ELEVATION AREA = 290 SF
TOTAL PORCH ELEVATION 1 AREA = 75 SF
TOTAL FRONT EXISTING AREA = 365 SF

DEMO FRONT ELEVATION AREA = 7 SF
DEMO PORCH ELEVATION 1 AREA = 28 SF
TOTAL DEMO AREA = 35 SF = 9.6%



PORCH ELEVATION 1

SCALE: 1/4" = 1'-0"



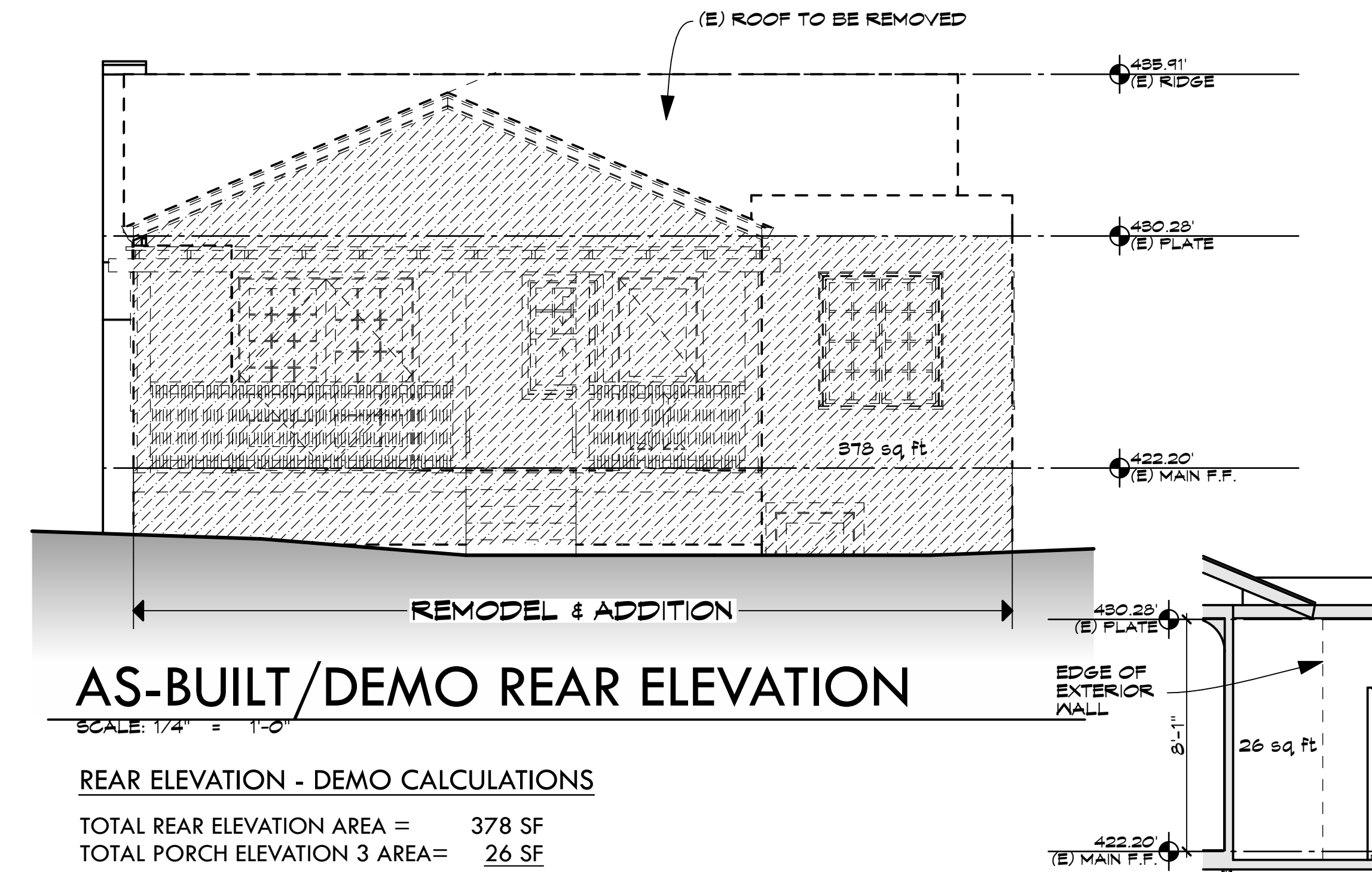
AS-BUILT/DEMO RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

RIGHT ELEVATION - DEMO CALCULATIONS

TOTAL RIGHT ELEVATION AREA = 602 SF

DEMO RIGHT ELEVATION AREA = 90 SF



AS-BUILT/DEMO REAR ELEVATION

SCALE: 1/4" = 1'-0"

REAR ELEVATION - DEMO CALCULATIONS

TOTAL REAR ELEVATION AREA = 378 SF
TOTAL PORCH ELEVATION 3 AREA = 26 SF
TOTAL REAR EXISTING AREA = 404 SF

DEMO REAR ELEVATION AREA = 378 SF
DEMO PORCH ELEVATION 3 AREA = 0 SF
DEMO TOTAL REAR ELEVATION = 378 SF

PORCH ELEVATION 3

SCALE: 1/4" = 1'-0"

REVISIONS

A. 09/25/23

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE., 11 • LOS GATOS, CA • 95030 • (408) 395-2555

AN ADDITION & REMODEL FOR:
THE JELLINEK RESIDENCE
323 PENNSYLVANIA AVENUE LOS GATOS, CA

AS-BUILT/
DEMO
ELEVATIONS
& DEMO
CALCULATIONS

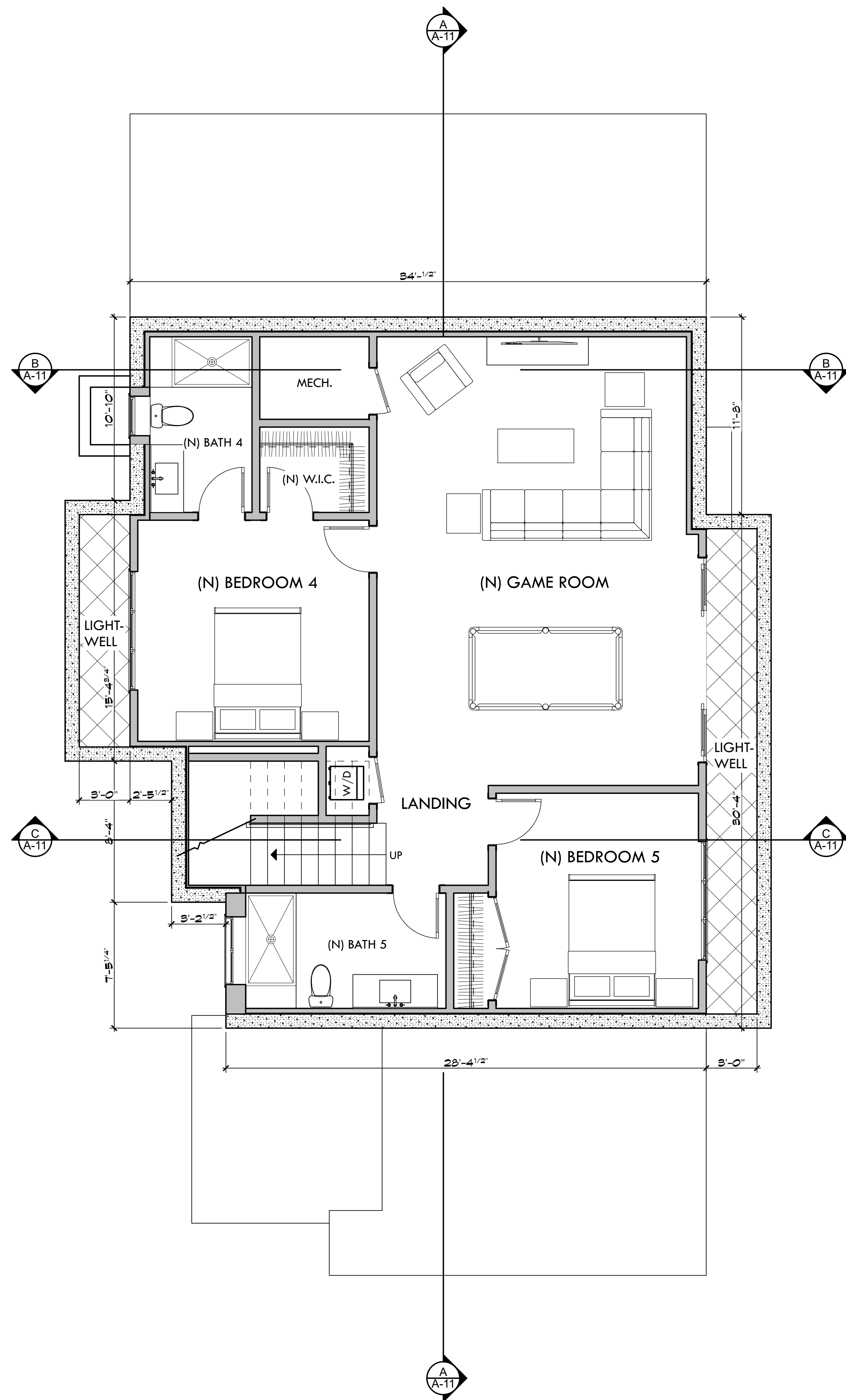
DATE: 07/05/23

SCALE: AS SHOWN

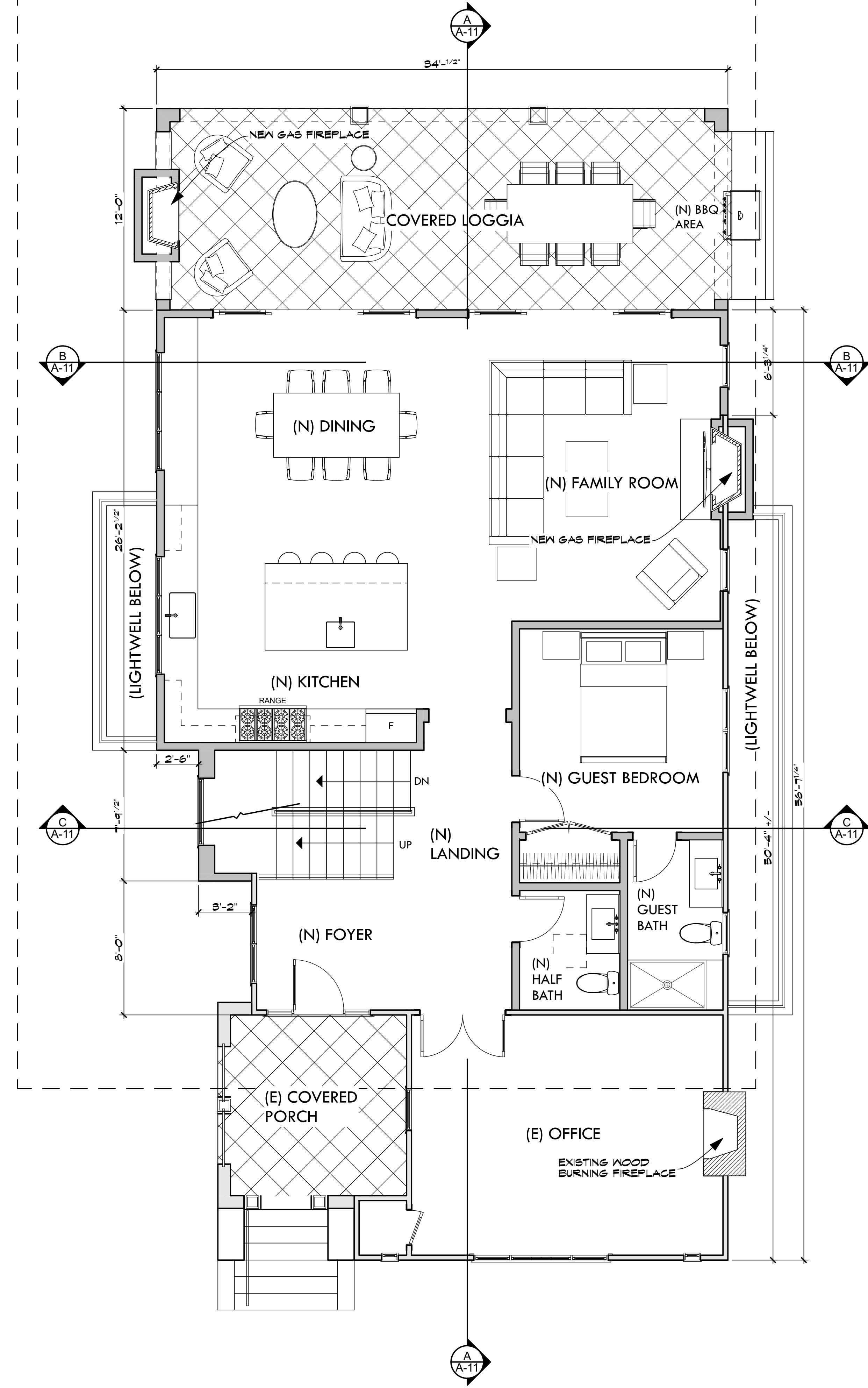
SHEET

A-6

11 OF -



PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	
A.	09/25/23

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE. "L" • LOS GATOS, CA • 95030 • (408) 395-2555

AN ADDITION & REMODEL FOR:
THE JELLINEK RESIDENCE
323 PENNSYLVANIA AVENUE LOS GATOS, CA

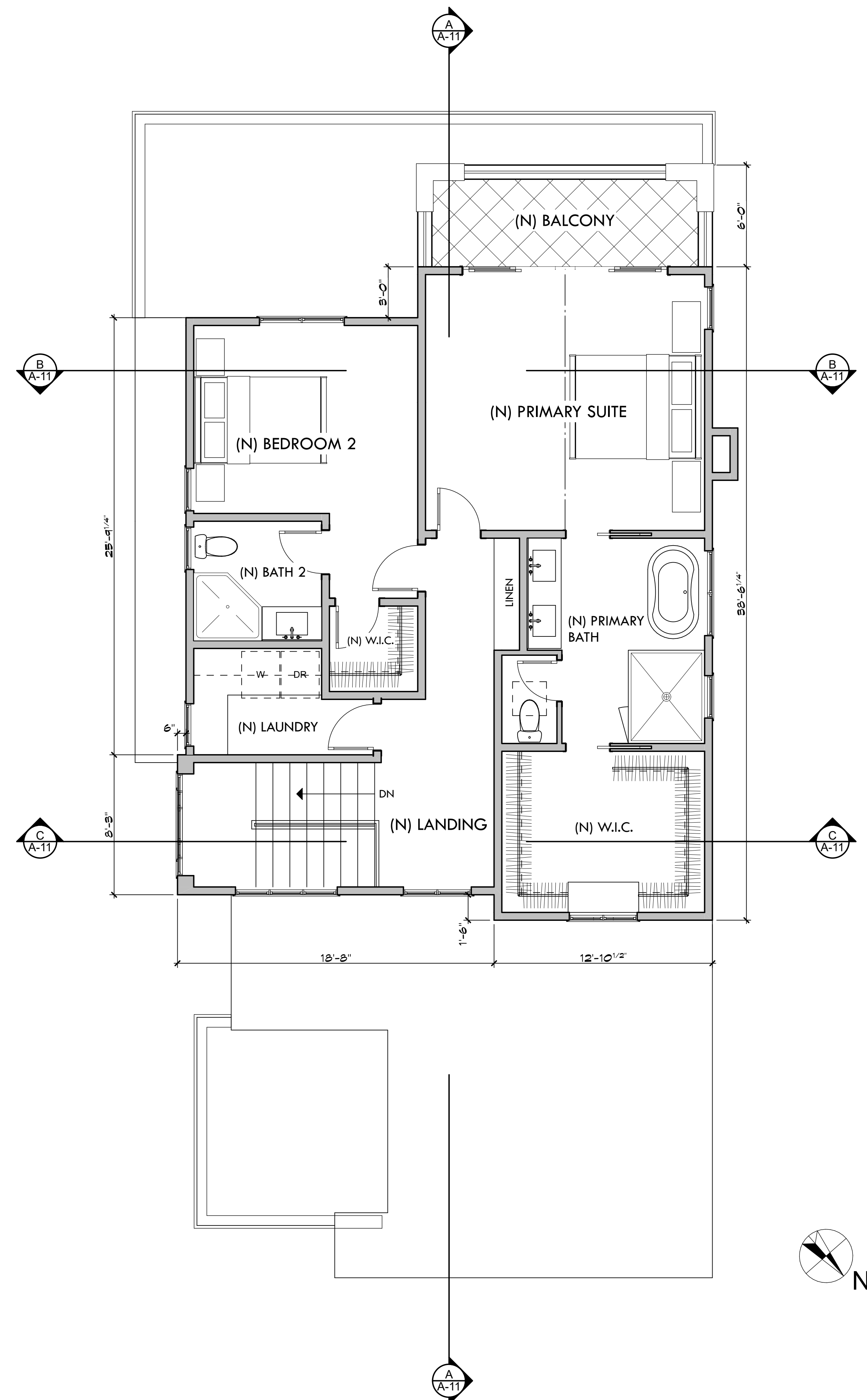
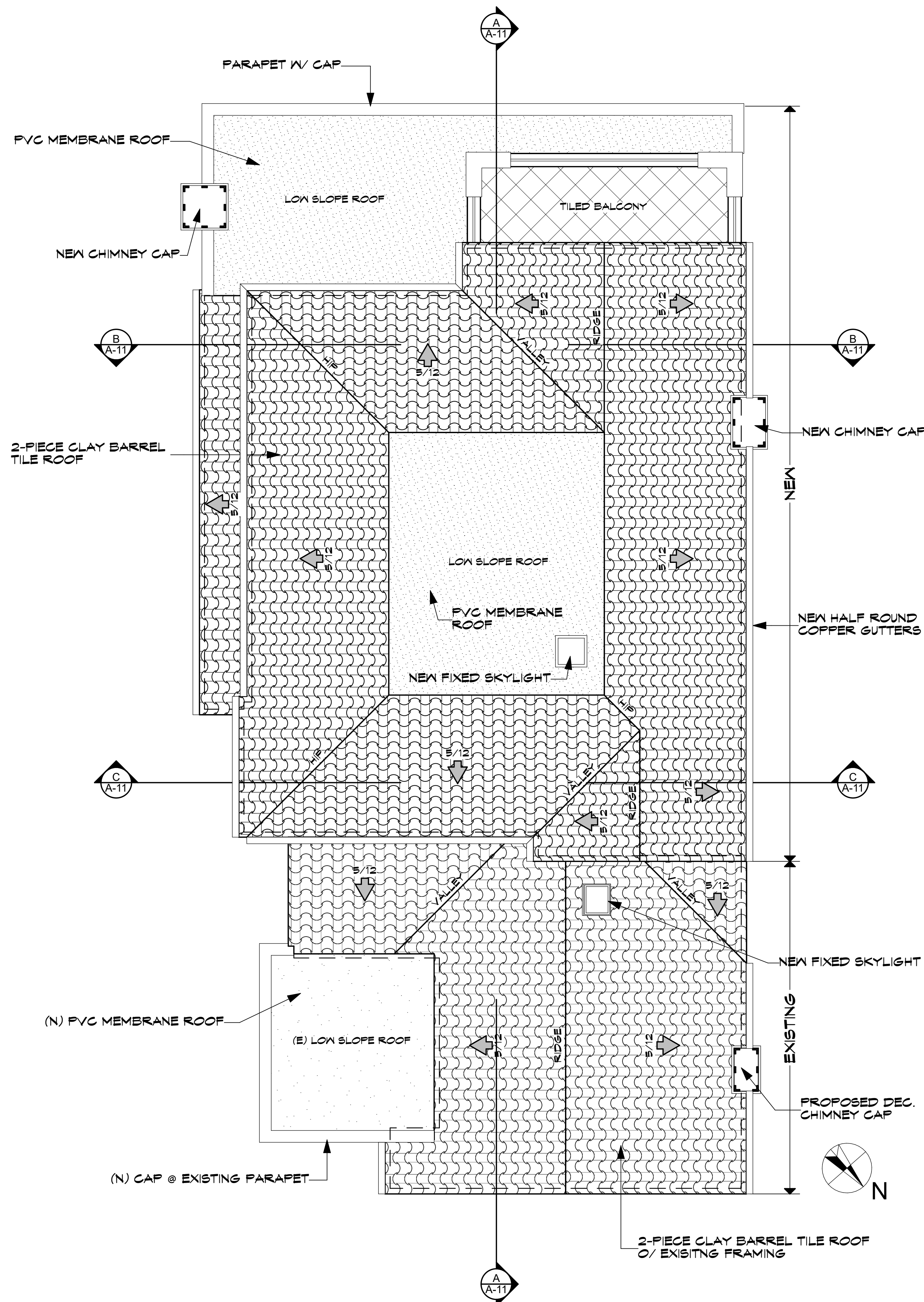
**PROPOSED
MAIN &
LOWER
FLOOR PLAN**

DATE: 07/05/23

SCALE: AS SHOWN

SHEET

A-7
12 OF -



REVISIONS

A. 09/25/23

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE. 11 • LOS GATOS, CA • 95030 • (408) 395-2555

AN ADDITION & REMODEL FOR:
THE JELLINEK RESIDENCE
323 PENNSYLVANIA AVENUE LOS GATOS, CA

PROPOSED
SECOND
FLOOR PLAN
& ROOF
PLAN

DATE: 07/05/23

SCALE: AS SHOWN

SHEET

A-8

13 OF -

ELEVATION NOTES / MATERIALS



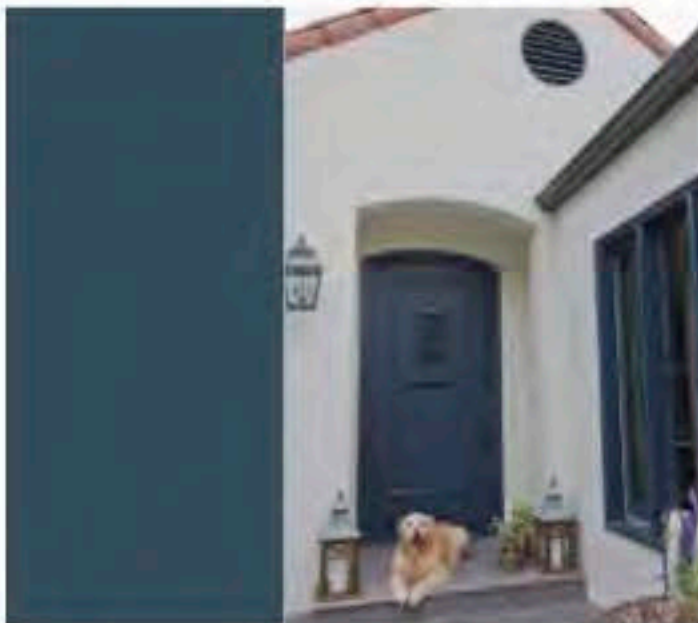
BENJAMIN MOORE
OC-18 DOVE WING



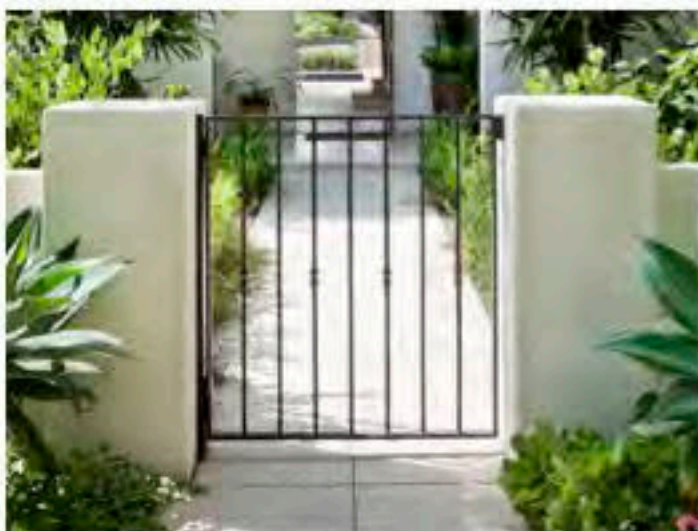
REDLANDS, 2-PIECE CLAY
BARREL TILE ROOF
OLD SEDONA BLEND



CABOT CORDOVAN BROWN
SEMI-TRANSPARENT STAIN



KOLBE HERITAGE SERIES,
WOOD FRAMED WINDOWS,
K-KRON FINISH, COASTAL STORM



WROUGHT IRON RAILING,
BLACK



- 1 EXISTING SMOOTH STUCCO FINISH, NEW STUCCO TO MATCH
- 2 EXISTING TURNED PLASTER COLUMN
- 3 NEW TURNED PLASTER COLUMN
- 4 EXISTING CROWN MOLDING
- 5 NEW CROWN MOLDING TO MATCH EXISTING
- 6 NEW STEPPED TRIM @ PARAPET
- 7 NEW DECORATIVE CHIMNEY SHROUD

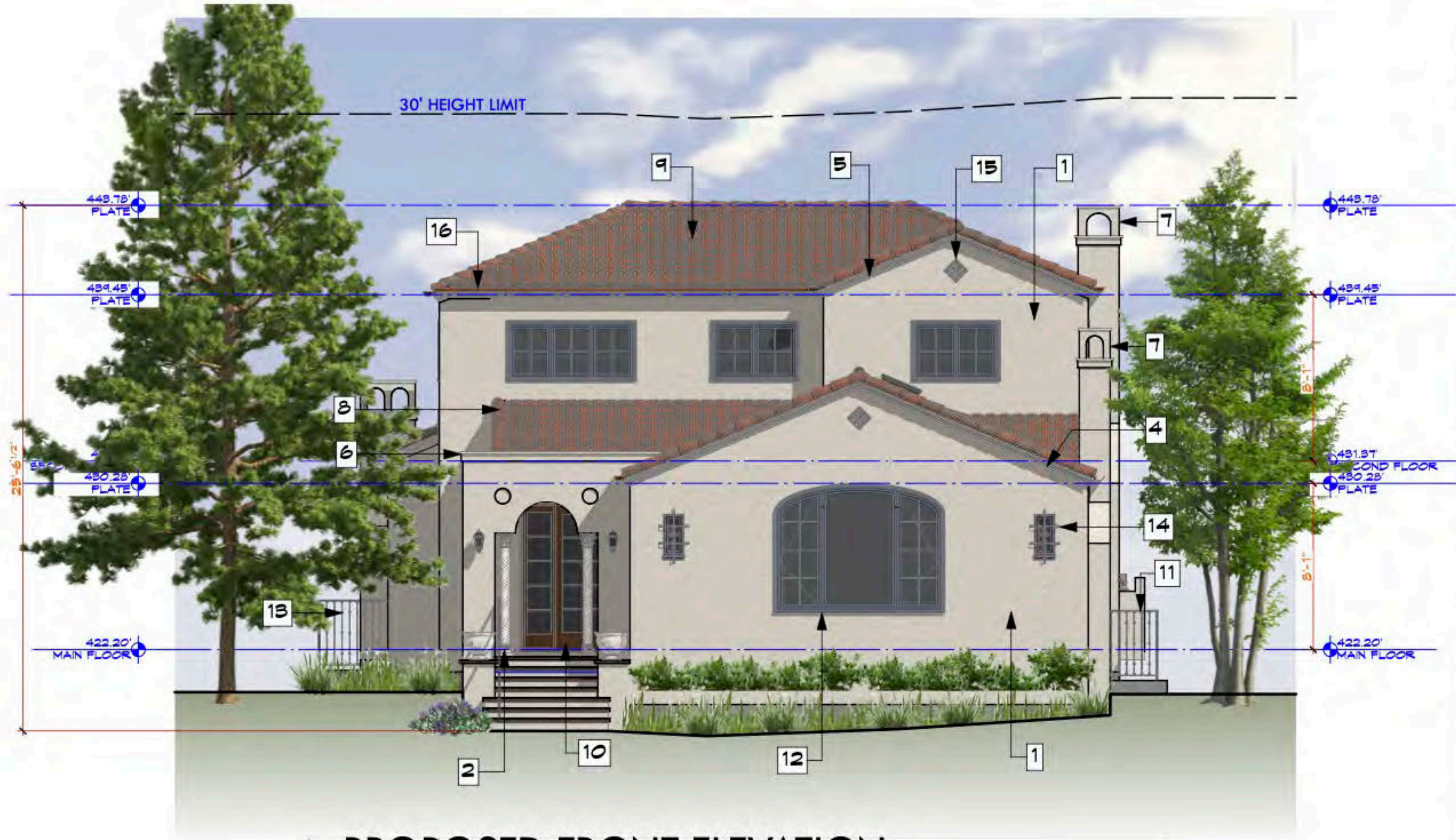
- 8 NEW 2-PIECE BARREL TILE @ EXISTING ROOF FRAMING
- 9 NEW 2-PIECE BARREL TILE @ NEW ROOF FRAMING

- 10 NEW STAINED WOOD FRONT DOOR W/ SIDELITES
- 11 NEW STAINED WOOD GARAGE DOOR W/ LITES

- 12 NEW WOOD FRAMED CASEMENT WINDOWS W/STUCCO MOLDING & SILL

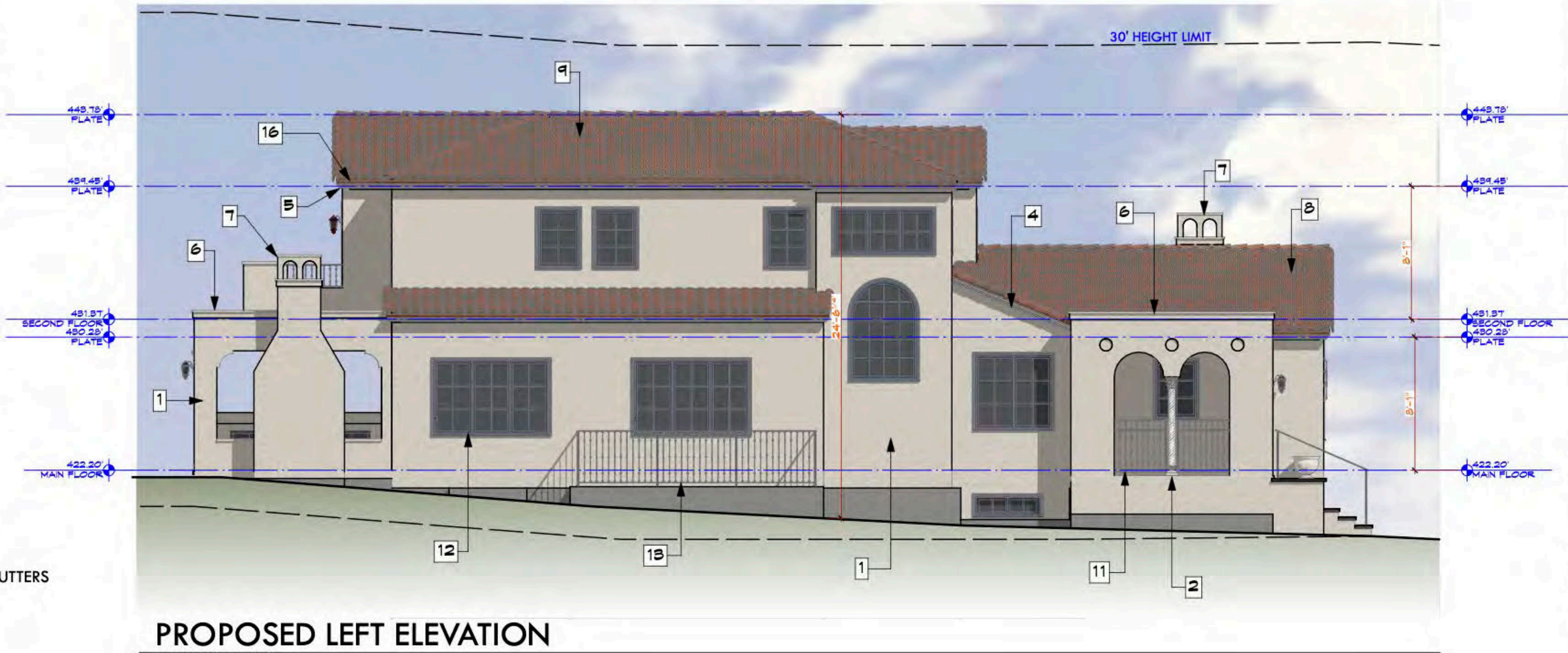
- 13 NEW WROUGHT IRON GUARDRAIL @ LIGHTWELLS & BALCONY
- 14 NEW WROUGHT IRON DECORATIVE GRILL OVER WINDOWS
- 15 NEW RECESSED DECORATIVE METAL GABLE END GRILL @ VENT

- 16 HALF ROUND COPPER GUTTERS



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

A.	09/25/23

KOHLSAAT & ASSOCIATES

51 UNIVERSITY AVE. "U" - LOS GATOS, CA - 95030 • (408) 395-2355

AN ADDITION & REMODEL FOR:

THE JELLINEK RESIDENCE

323 PENNSYLVANIA AVENUE LOS GATOS, CA

PROPOSED FRONT & LEFT ELEVATIONS

DATE: 07/05/23

SCALE: AS SHOWN

SHEET

A-9

14 OF -

ELEVATION NOTES / MATERIALS



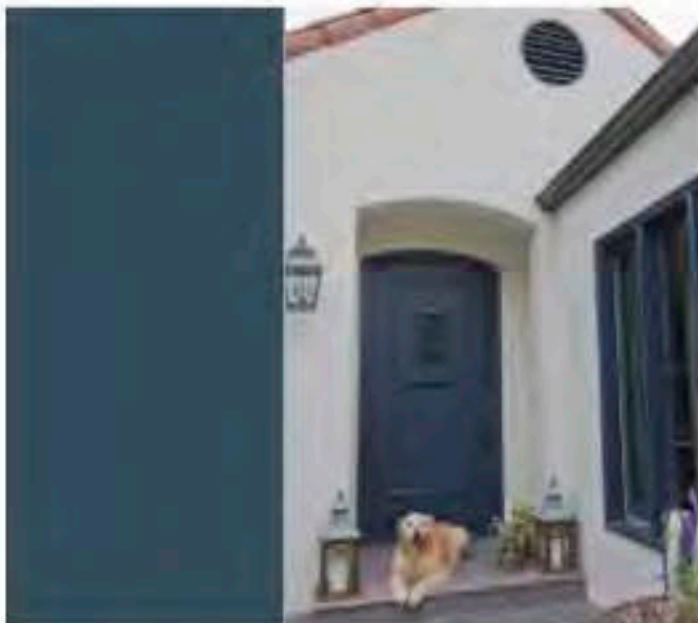
BENJAMIN MOORE
OC-18 DOVE WING



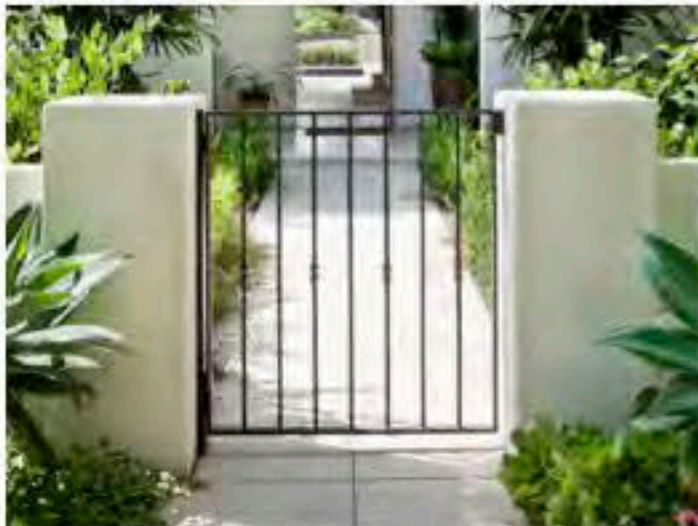
REDLANDS, 2-PIECE CLAY
BARREL TILE ROOF
OLD SEDONA BLEND



CABOT CORDOVAN BROWN
SEMI-TRANSPARENT STAIN



KOLBE HERITAGE SERIES,
WOOD FRAMED WINDOWS,
K-KRON FINISH, COASTAL STORM



WROUGHT IRON RAILING,
BLACK



- 1 EXISTING SMOOTH STUCCO FINISH, NEW STUCCO TO MATCH
- 2 EXISTING TURNED PLASTER COLUMN
- 3 NEW TURNED PLASTER COLUMN
- 4 EXISTING CROWN MOLDING
- 5 NEW CROWN MOLDING TO MATCH EXISTING
- 6 NEW STEPPED TRIM @ PARAPET
- 7 NEW DECORATIVE CHIMNEY SHROUD

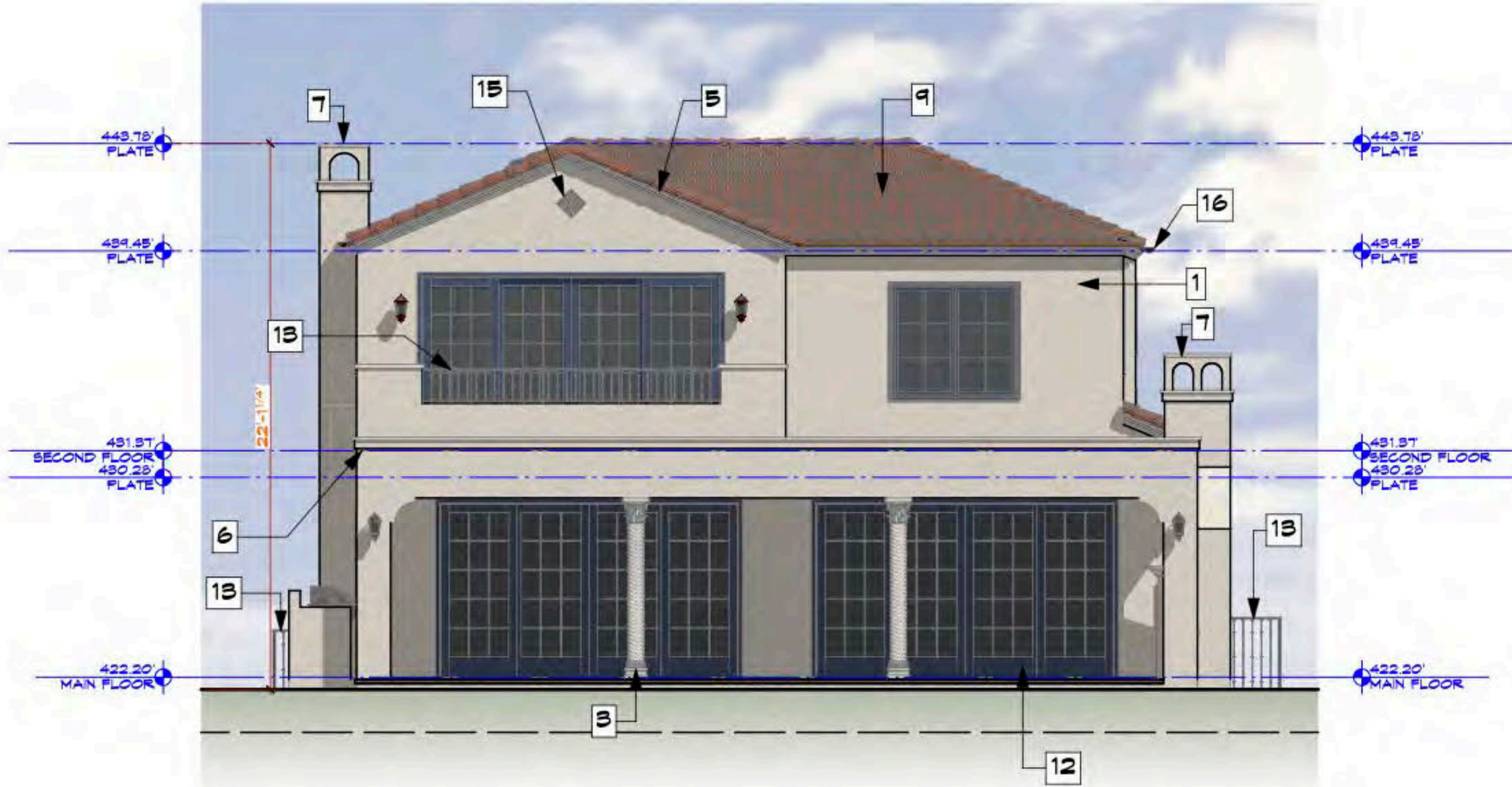
- 8 NEW 2-PIECE BARREL TILE @ EXISTING ROOF FRAMING
- 9 NEW 2-PIECE BARREL TILE @ NEW ROOF FRAMING

- 10 NEW STAINED WOOD FRONT DOOR W/ SIDELITES
- 11 NEW STAINED WOOD GARAGE DOOR W/ LITES

- 12 NEW WOOD FRAMED CASEMENT WINDOWS W/ STUCCO MOLDING & SILL

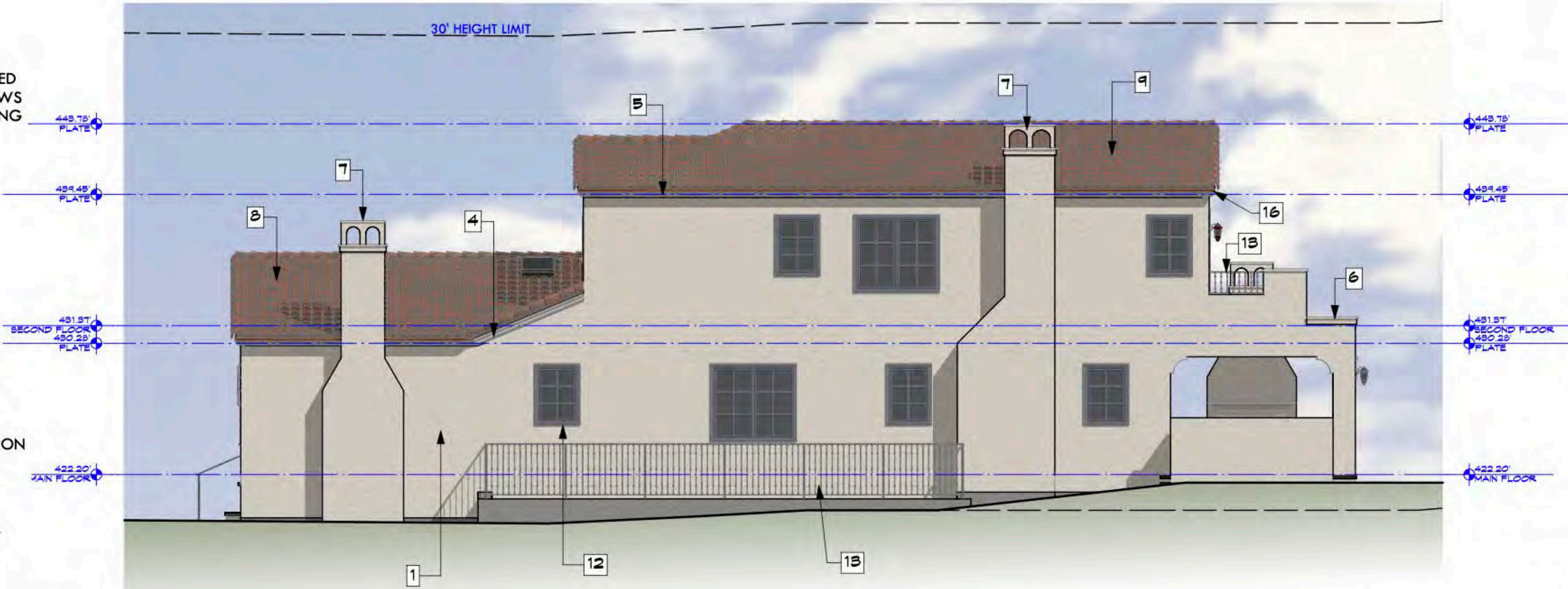
- 13 NEW WROUGHT IRON GUARDRAIL @ LIGHTWELLS & BALCONY
- 14 NEW WROUGHT IRON DECORATIVE GRILL OVER WINDOWS
- 15 NEW RECESSED DECORATIVE METAL GABLE END GRILL @ VENT

- 16 HALF ROUND COPPER GUTTERS



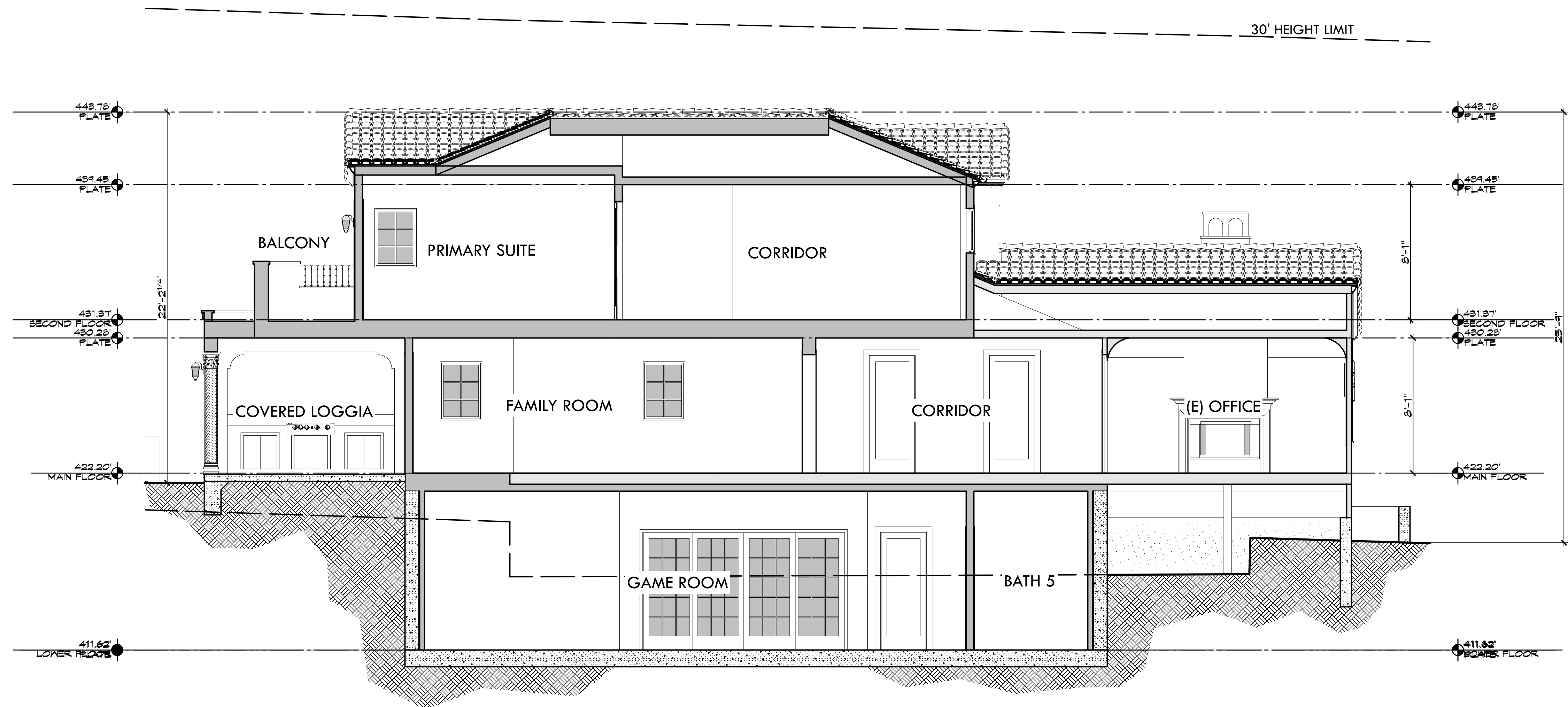
PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

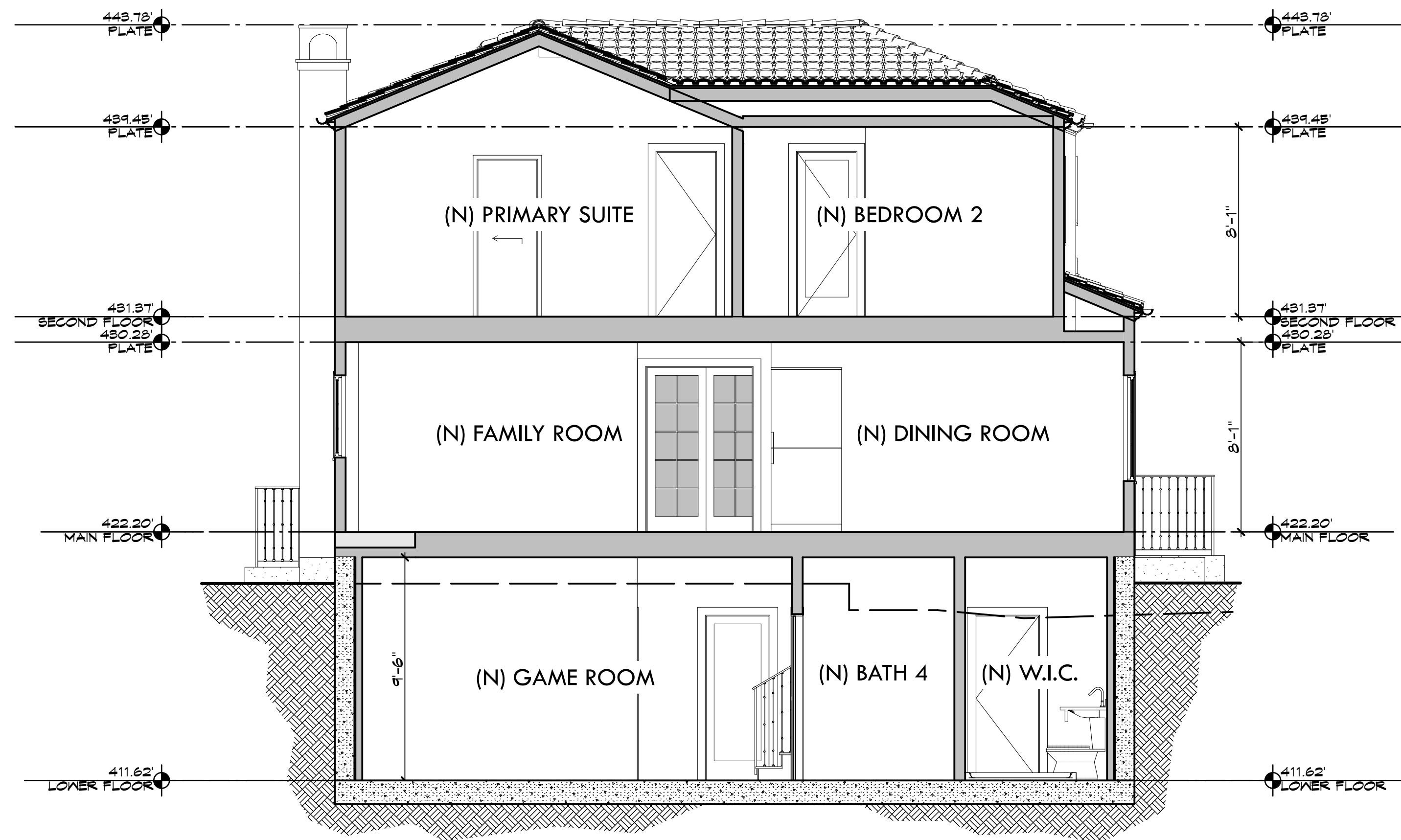


PROPOSED RIGHT ELEVATION

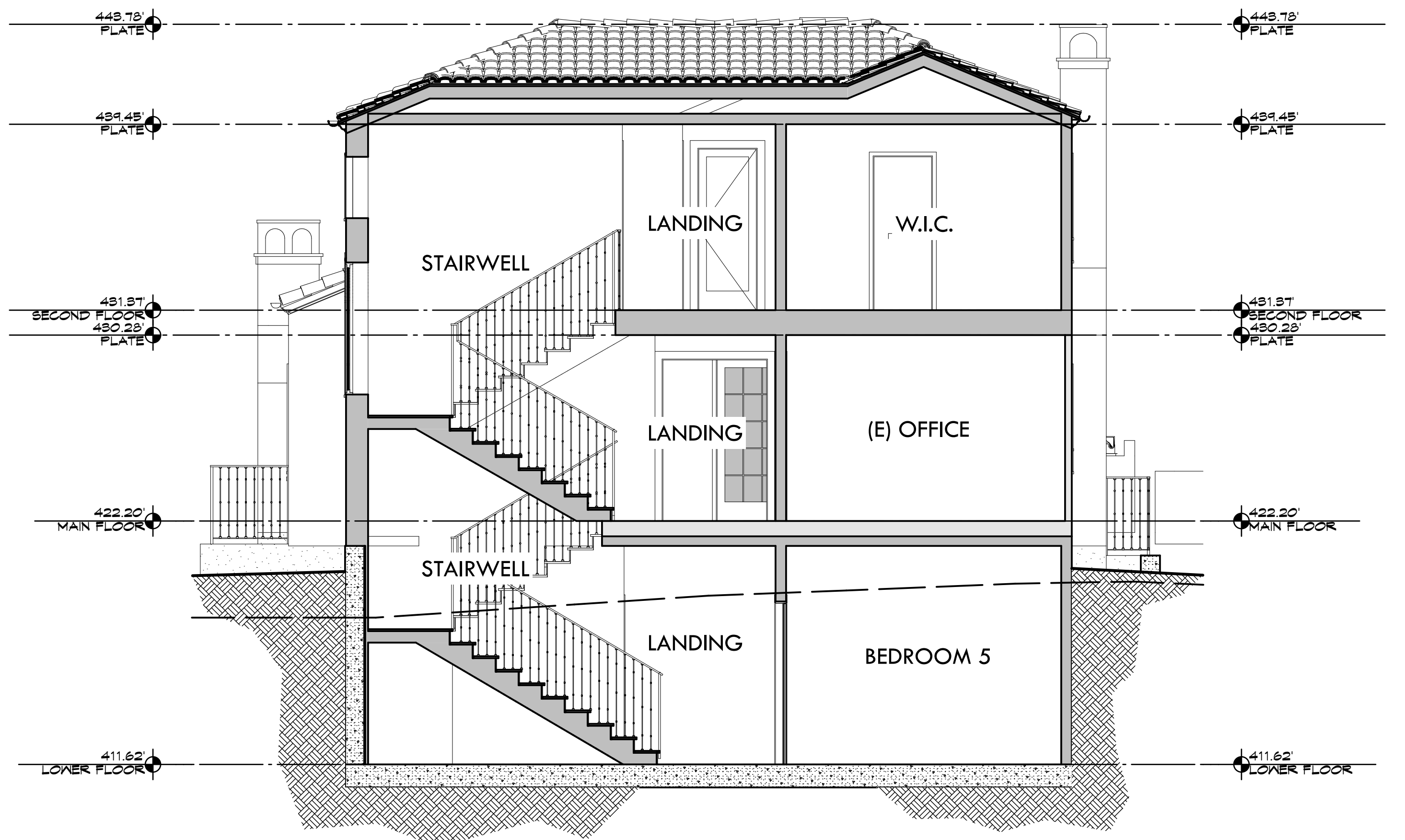
SCALE: 1/4" = 1'-0"



SECTION A-A
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 1/4" = 1'-0"



SECTION C-C
SCALE: 1/4" = 1'-0"

REVISIONS

A. 09/25/23

**KOHLSAAT
& ASSOCIATES**
51 UNIVERSITY AVE., 11 • LOS GATOS, CA • 95030 • (408) 395-2555

AN ADDITION & REMODEL FOR:
THE JELLINEK RESIDENCE
323 PENNSYLVANIA AVENUE LOS GATOS, CA

CROSS
SECTIONS

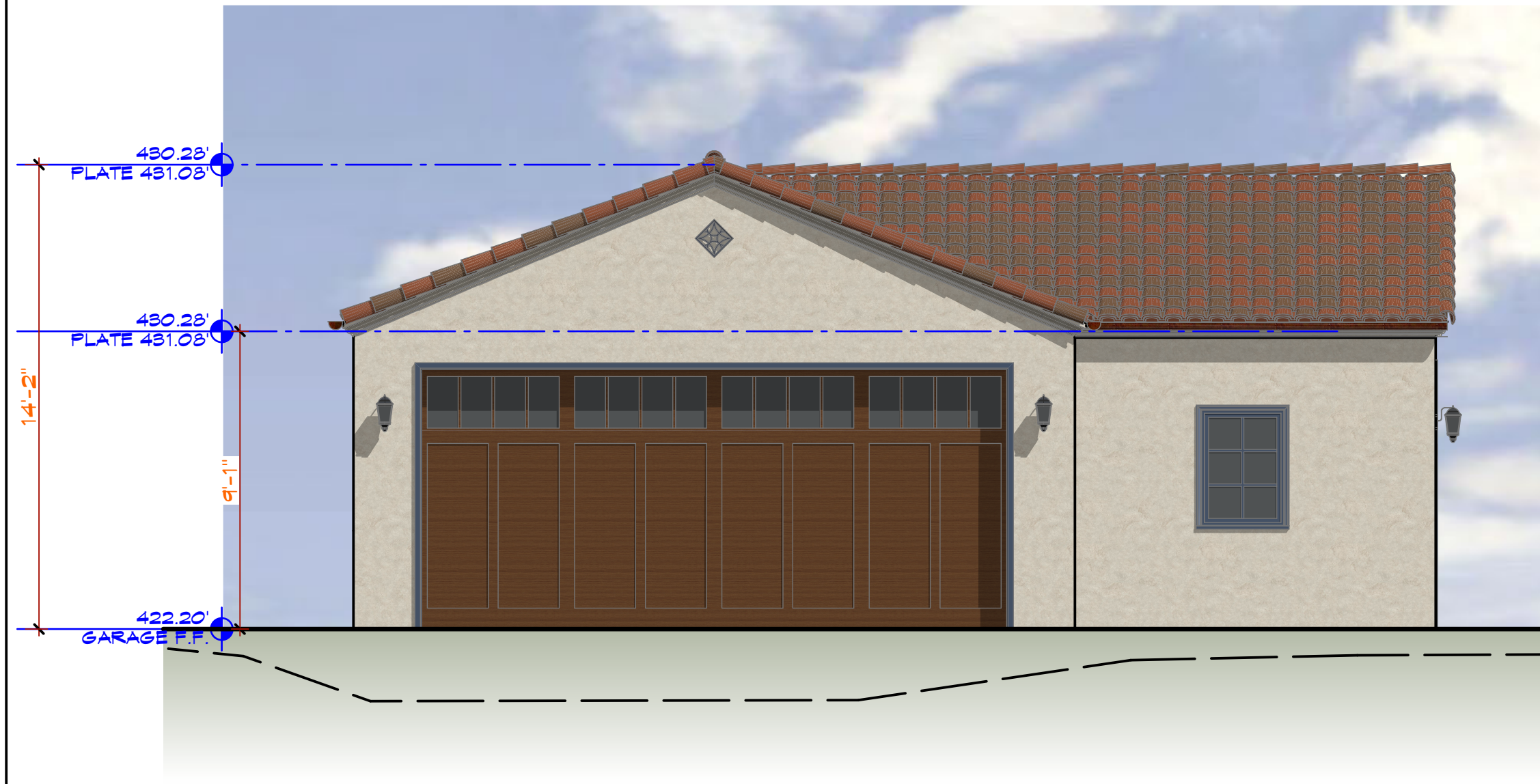
DATE: 07/05/23

SCALE: AS SHOWN

SHEET

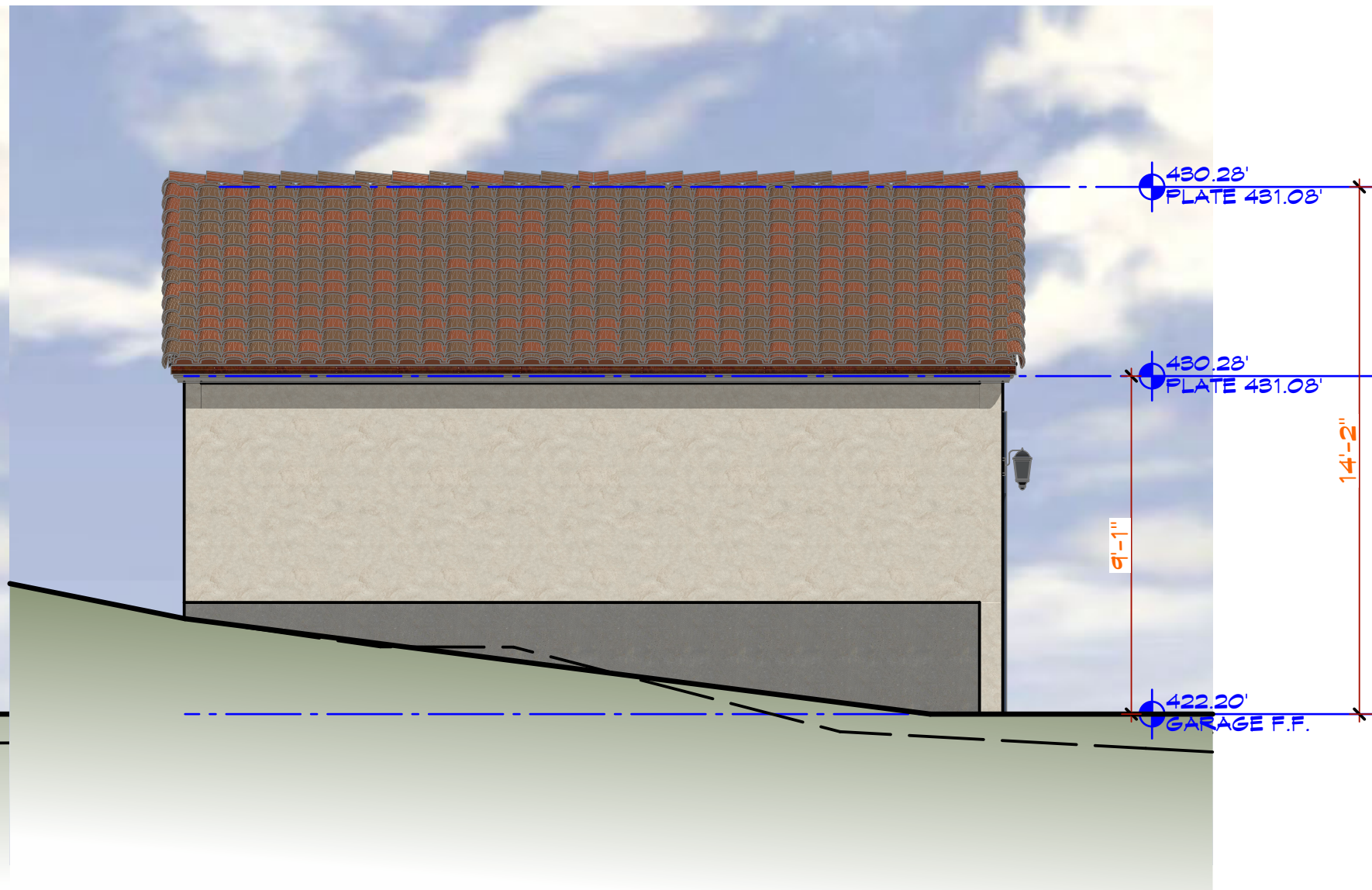
A-11

16 OF -



GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



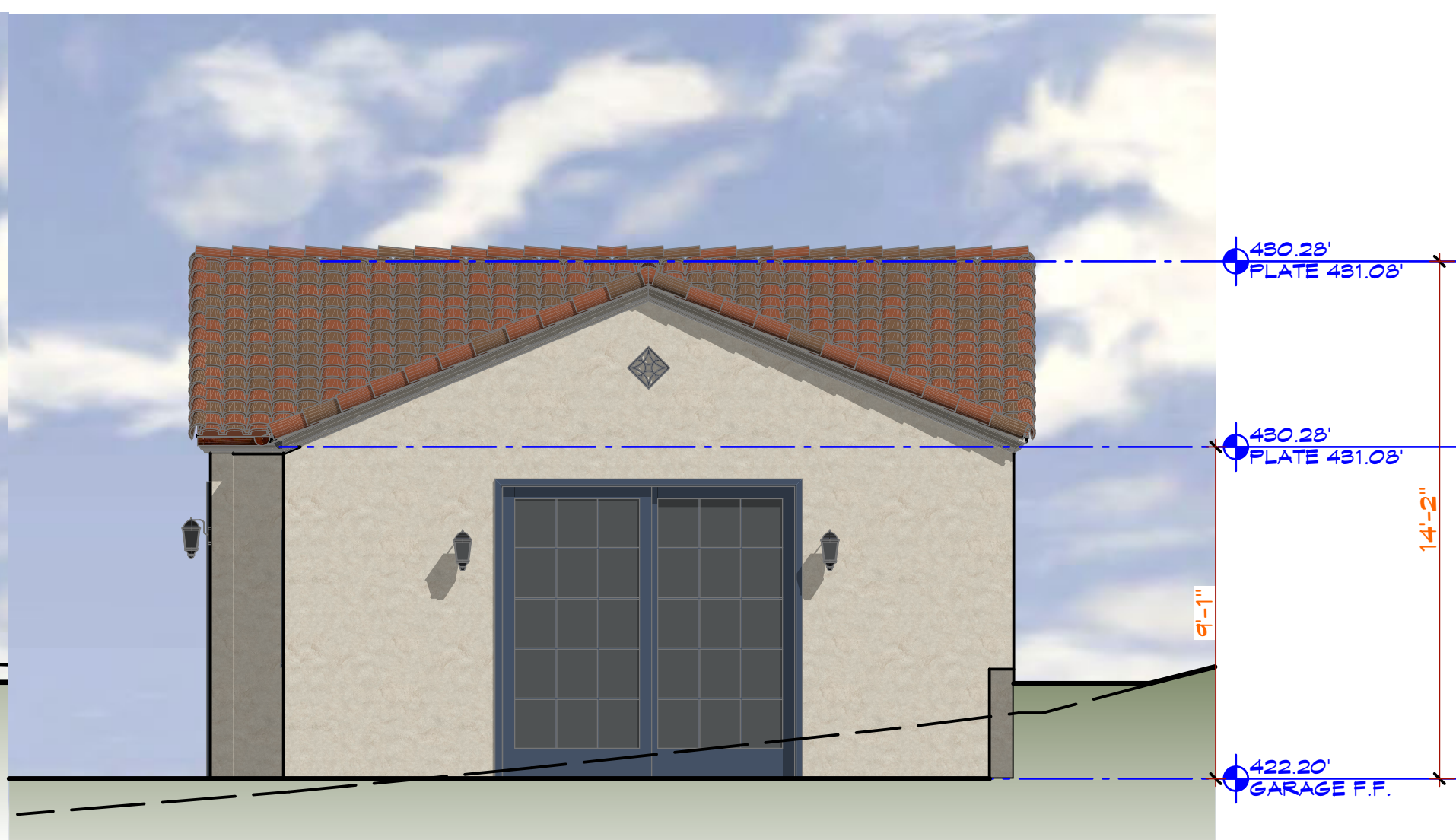
GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE REAR ELEVATION

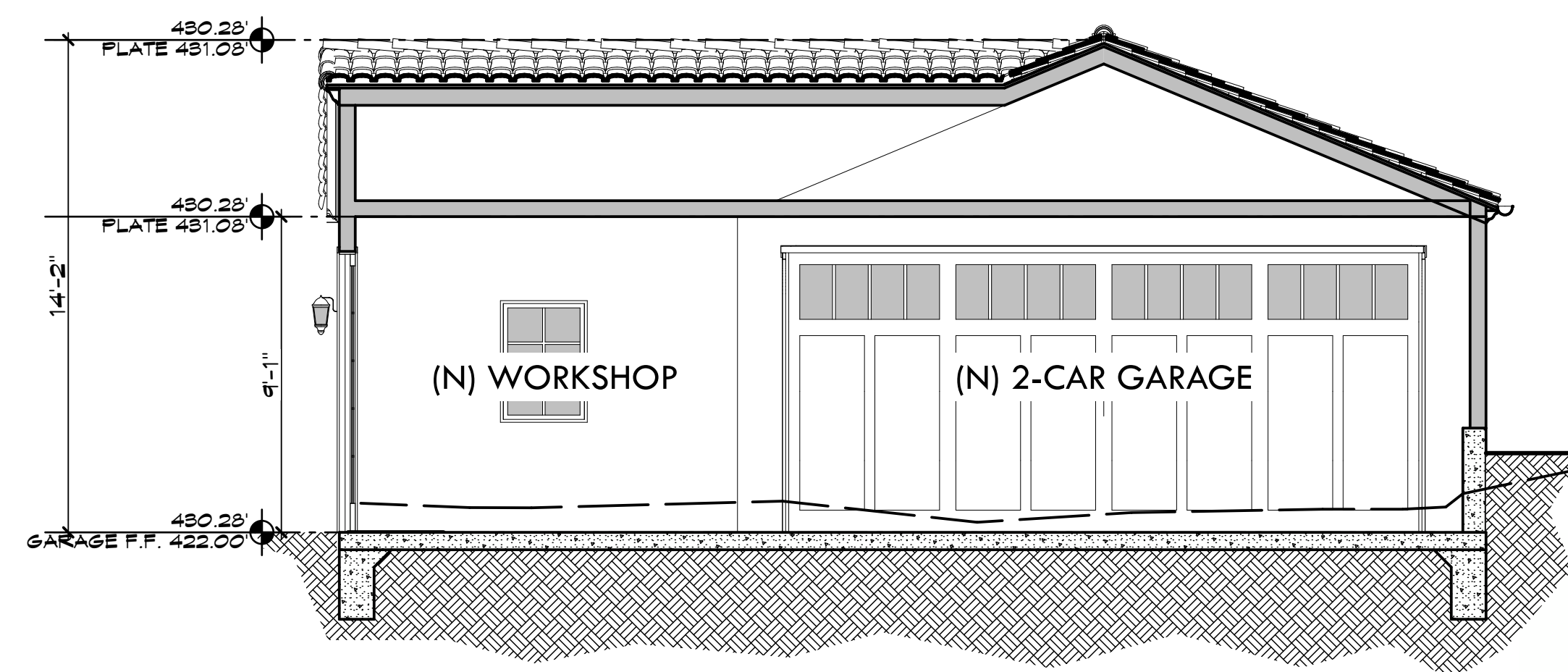
SCALE: 1/4" = 1'-0"



GARAGE RIGHT ELEVATION

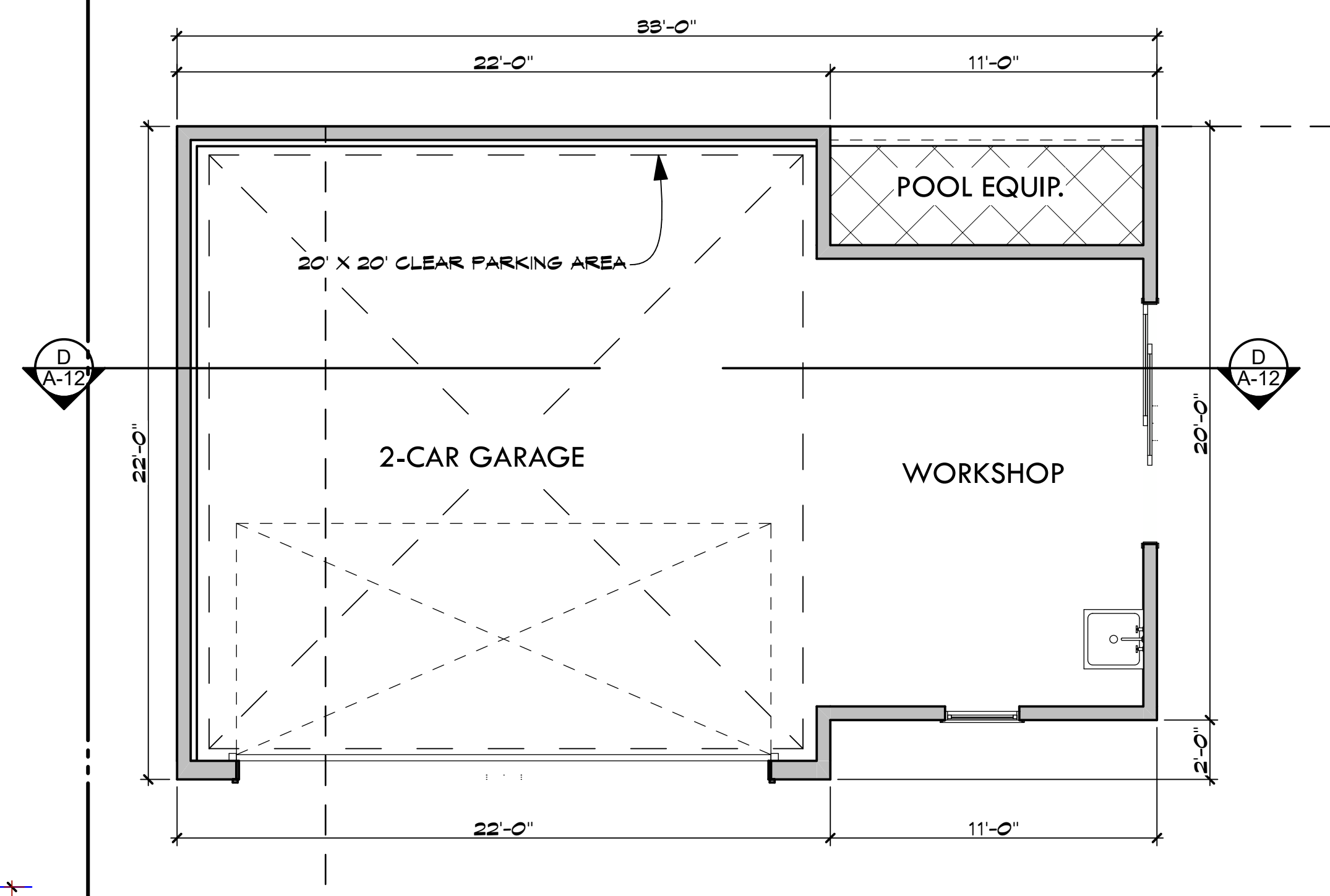
SCALE: 1/4" = 1'-0"

* SEE FINISHES AND MATERIALS ON THE MAIN RESIDENCE ELEVATION SHEETS.



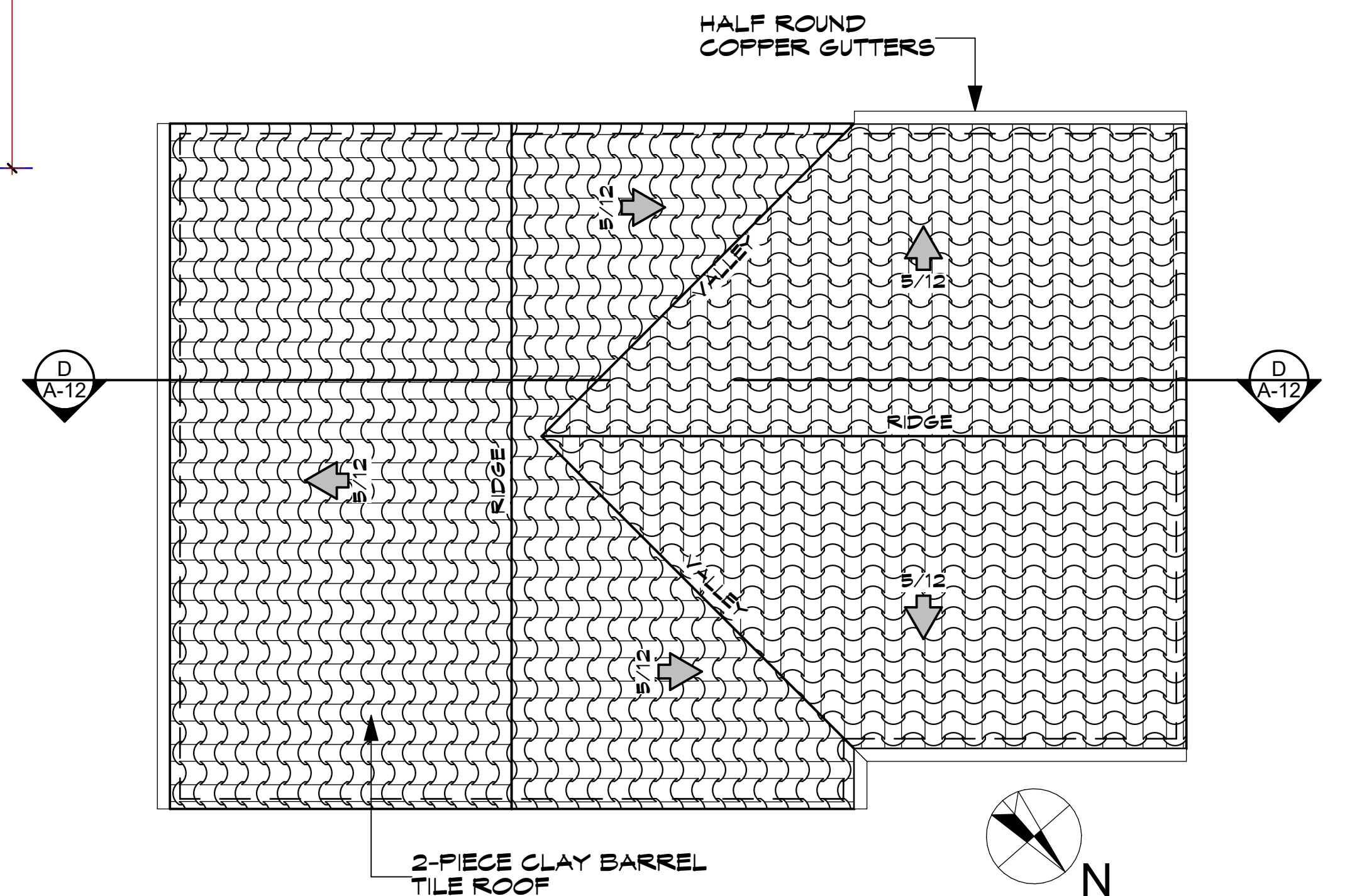
SECTION D-D

SCALE: 1/4" = 1'-0"



GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	
A.	09/25/23

KOHLSAAT & ASSOCIATES
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AN ADDITION & REMODEL FOR:

THE JELLINEK RESIDENCE

323 PENNSYLVANIA AVENUE LOS GATOS, CA

GARAGE PLANS

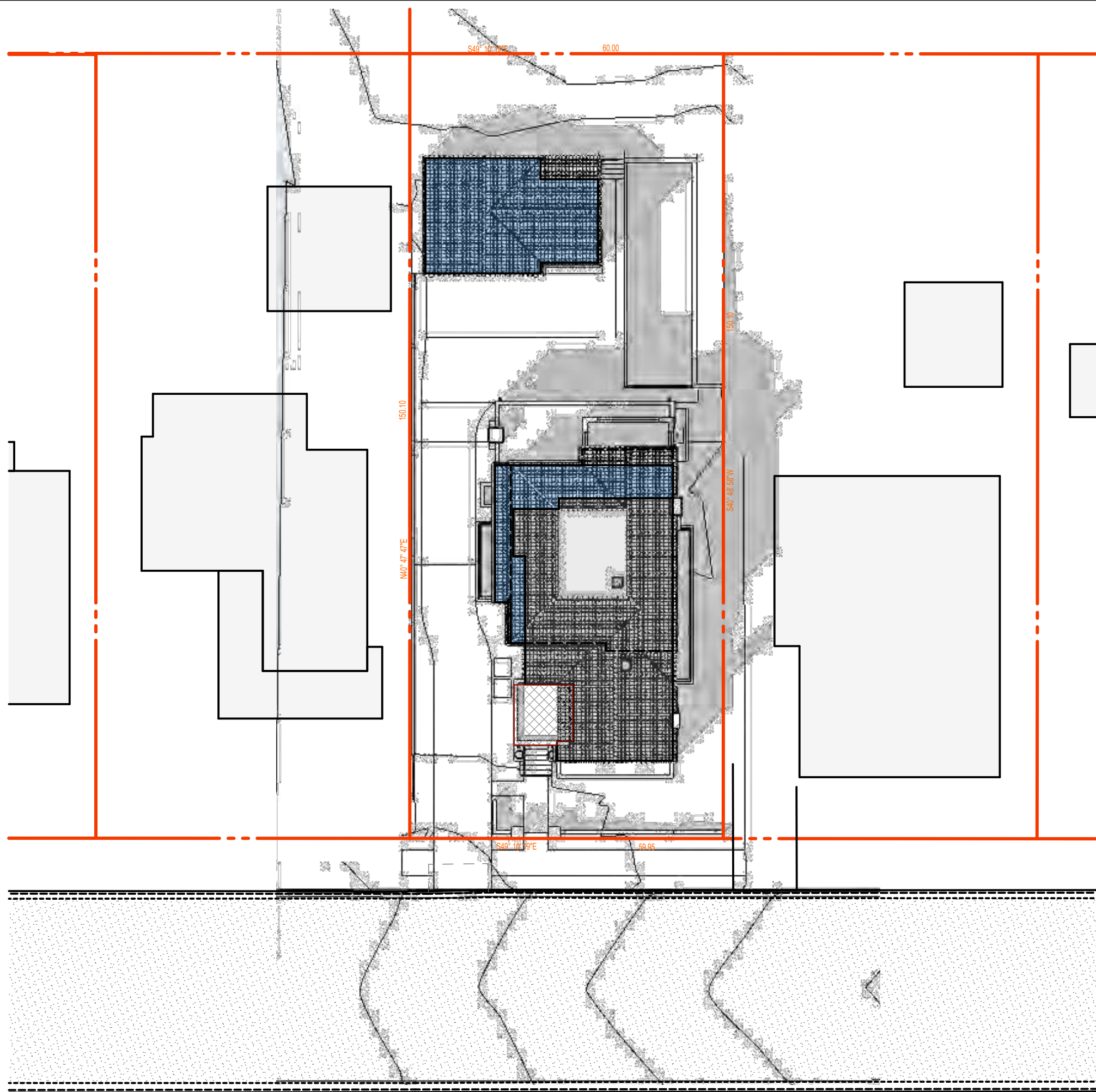
DATE: 07/05/23

SCALE: AS SHOWN

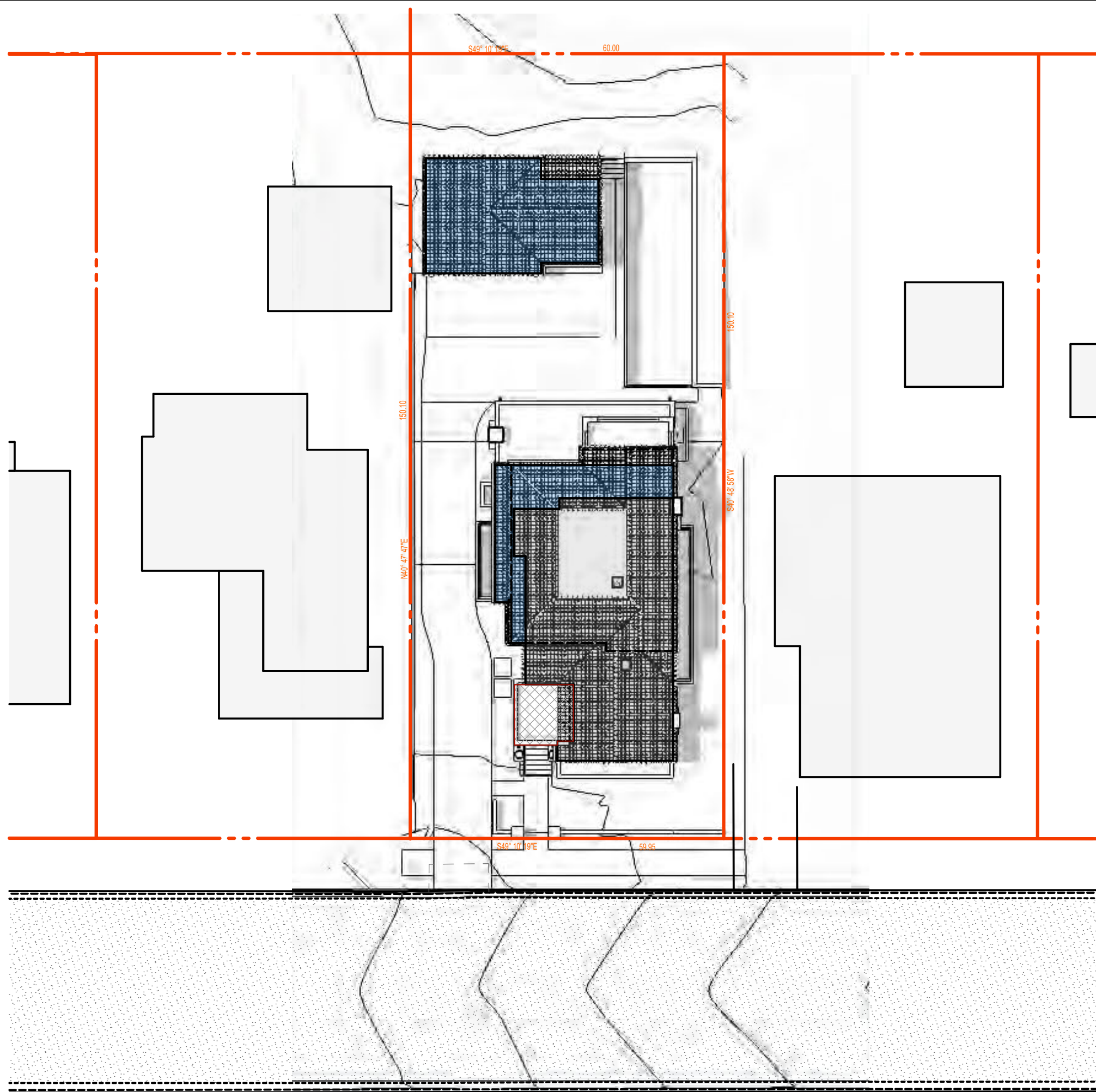
SHEET

A-12

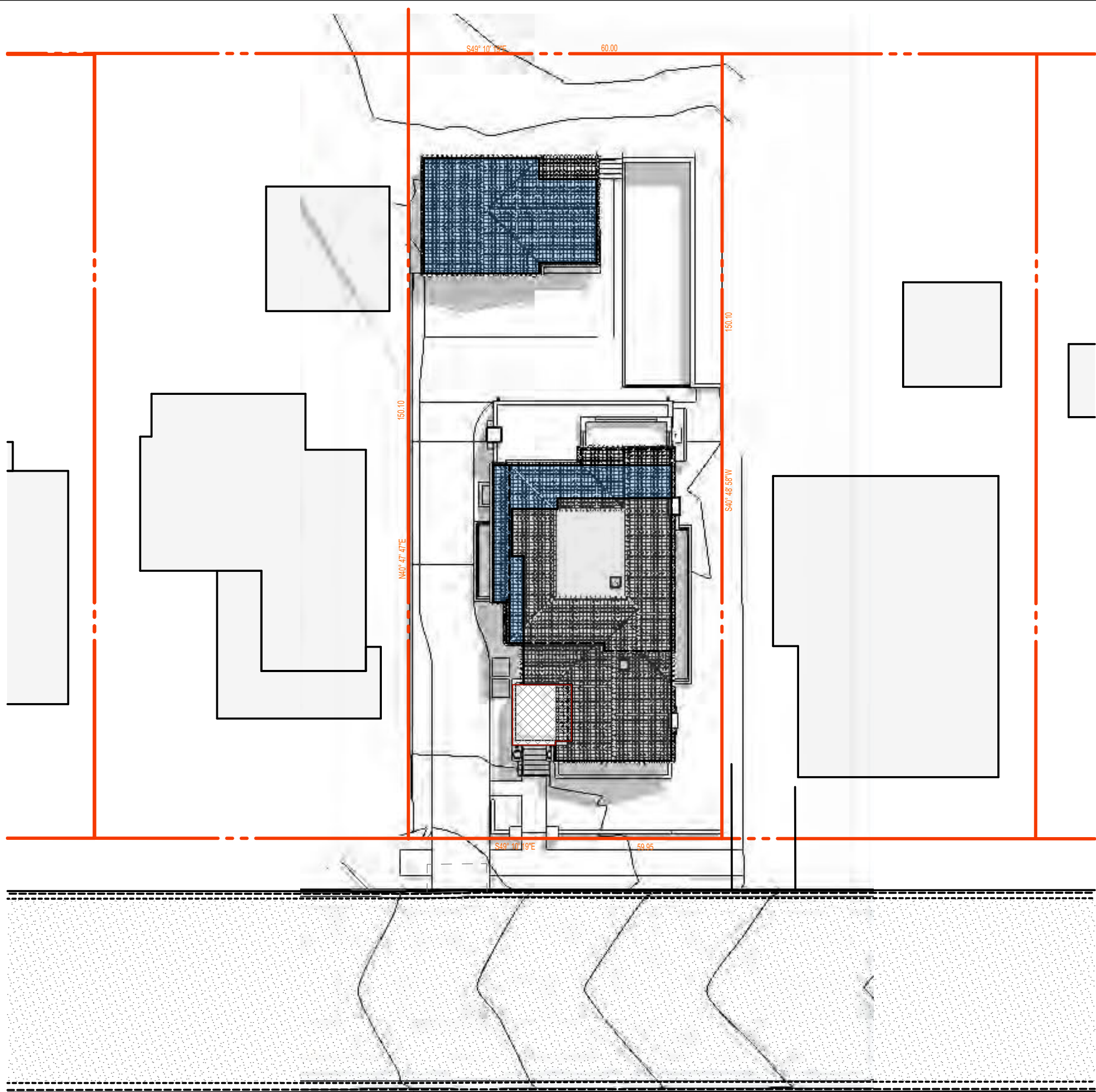
17 OF -



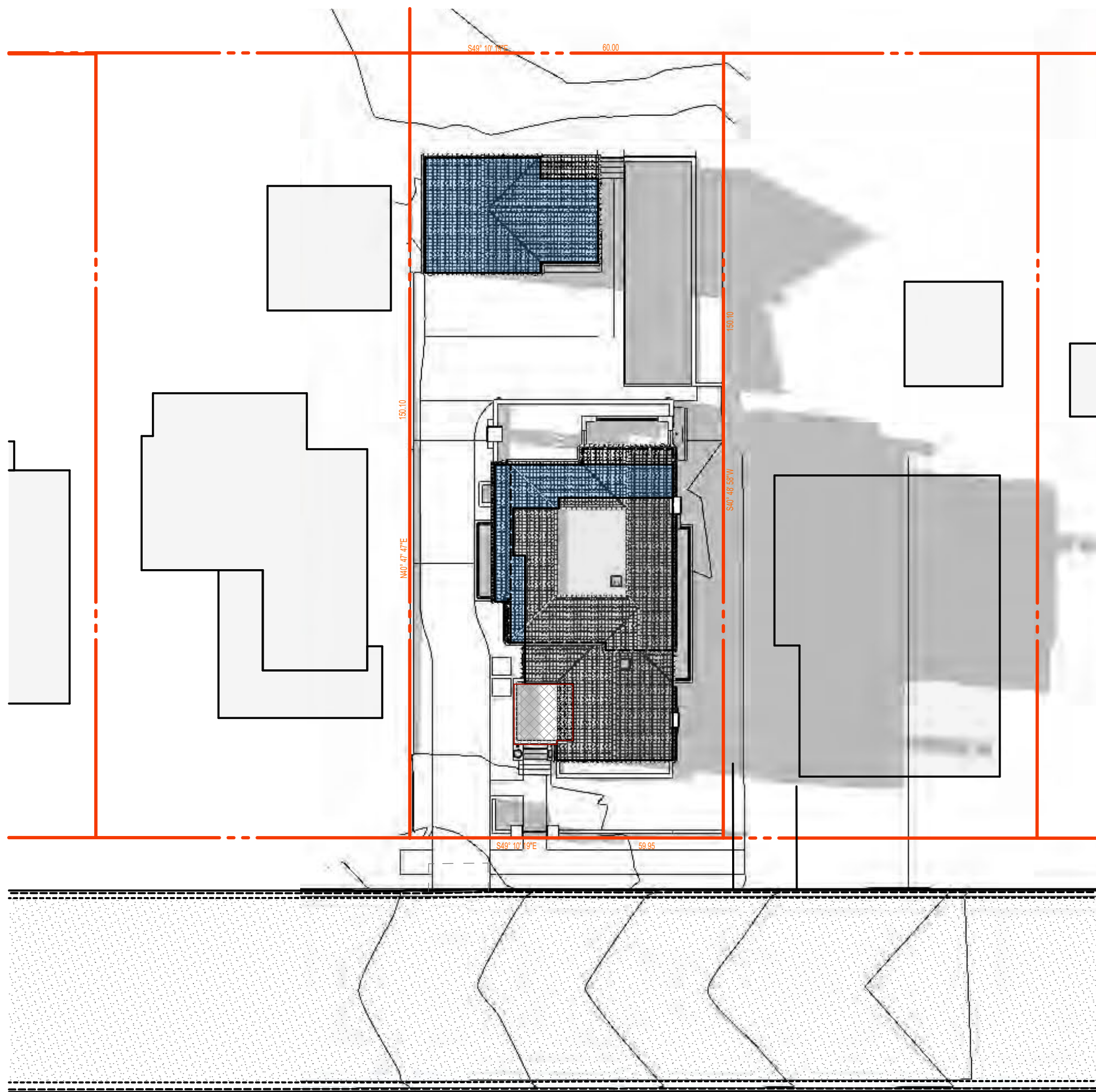
June 21 @9:00am



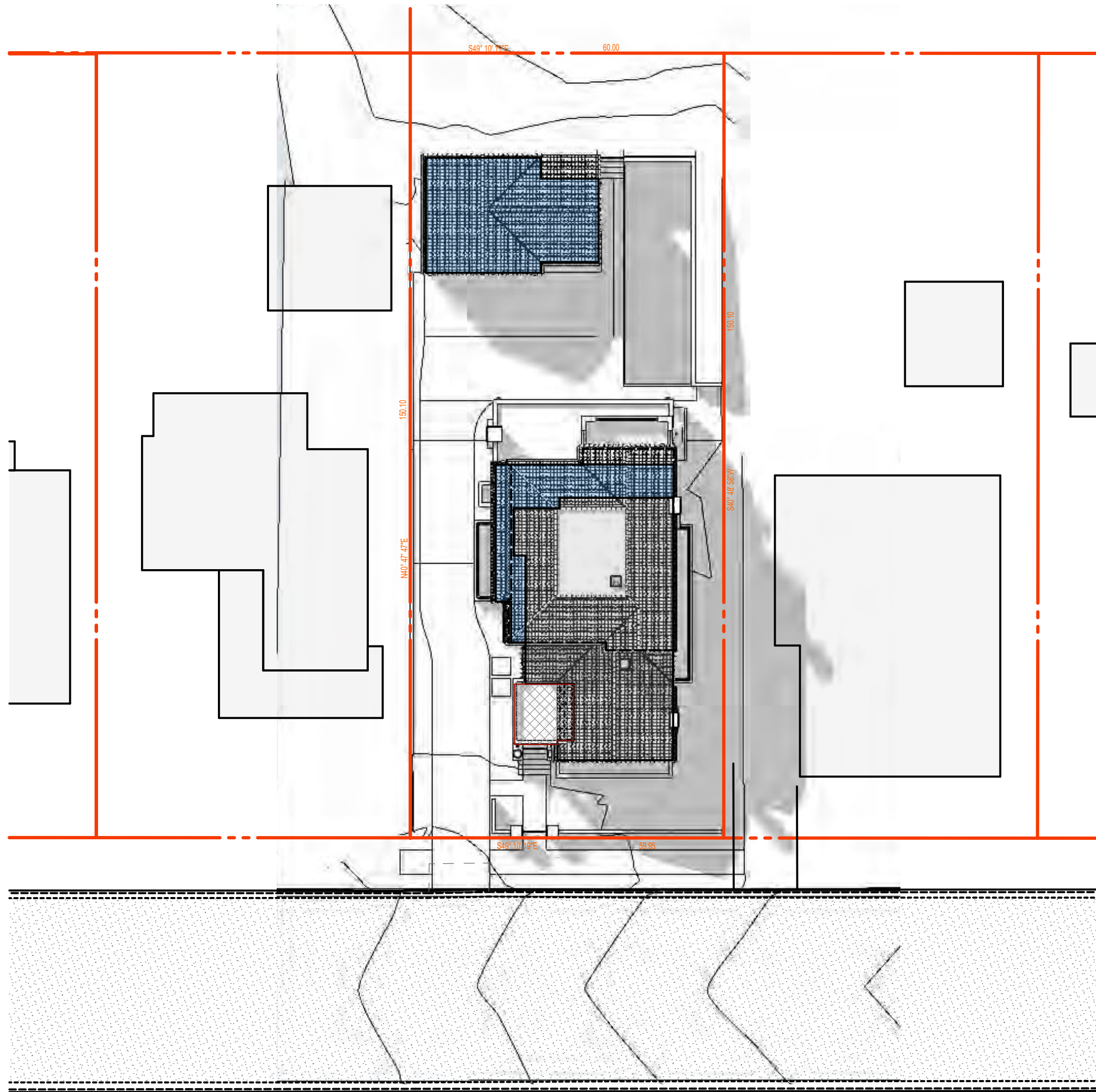
June 21 @12pm



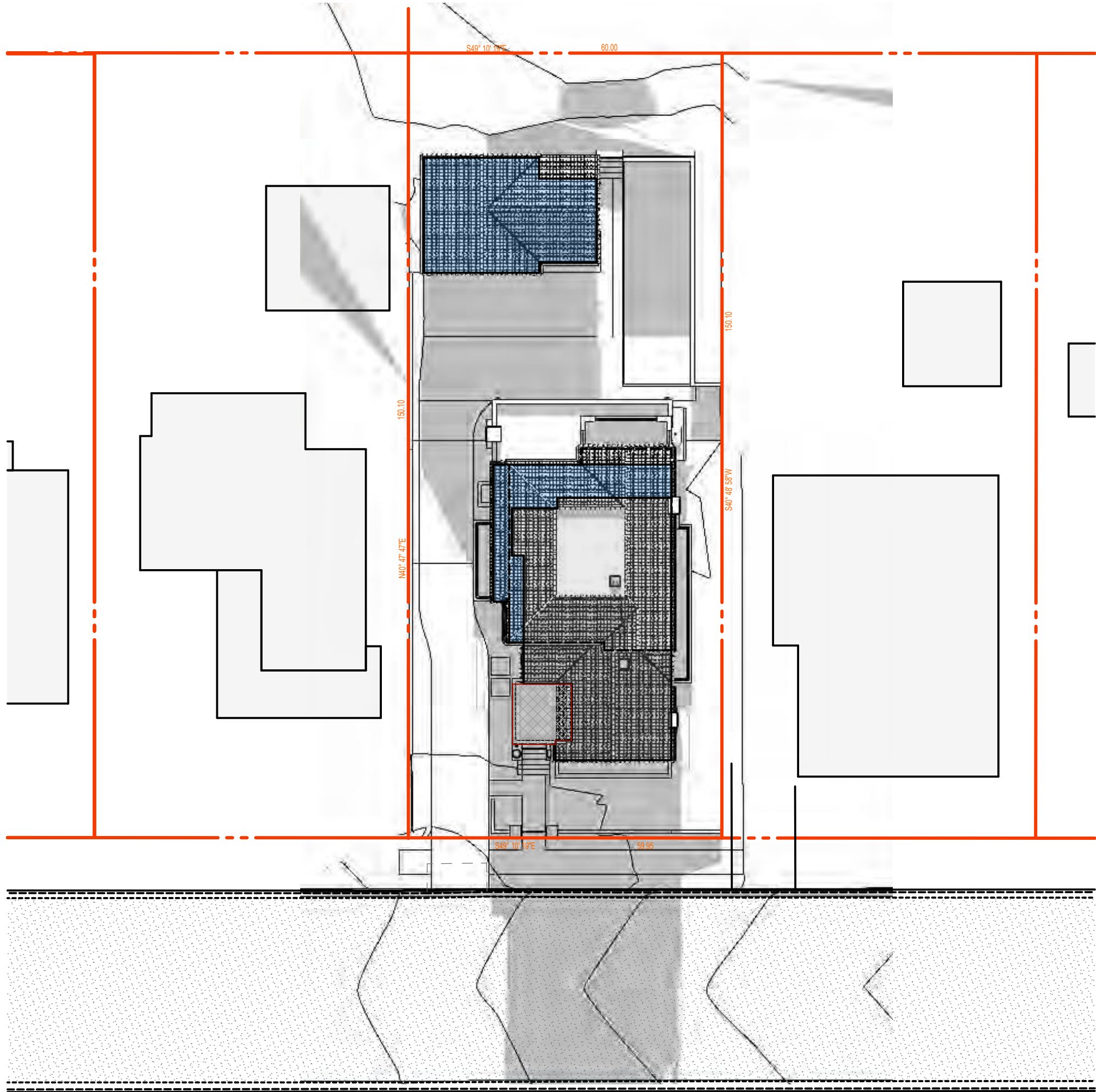
June 21 @3:00pm



December 21 @ 9:00am



December 21 @ 12:00pm



December 21 @ 3:00pm

REVISIONS

A.	09/25/23

SHADOW STUDIES

DATE: 07/05/23
SCALE: 1" = 20'-0"
SHEET

A-13
18 OF -

AN ADDITION & REMODEL FOR:
THE JELLINEK RESIDENCE
323 PENNSYLVANIA AVENUE LOS GATOS, CA

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE. 11 • LOS GATOS, CA • 95030 • (408) 395-2555



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 10/25/2023

ITEM NO: 4

DATE: October 20, 2023
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. **Located at 16488 Bonnie Lane.** APN 532-02-014. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-23-018. Property Owner/Applicant: Vu-Ngan Tran
Project Planner: Savannah Van Akin.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned R-1:8 located at 16488 Bonnie Lane.

PROPERTY DETAILS:

1. Date primary structure was built: 1938 per County Assessor's Database
2. Town of Los Gatos Historic Status Code: +, historic and intact or worthy of special note.
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

DISCUSSION:

The applicant is requesting approval to remove the presumptive pre-1941 residence from the Historic Resources Inventory. The Santa Clara County Assessor's Database lists a construction date of 1938. The property is not within a historic district or LHP overlay and is included in the 1990 Anne Bloomfield Survey (Attachment 1). The property is not included in the Sanborn Fire Insurance maps. The applicant has provided a summary of the records researched (Attachment 2), as well as property pictures (Attachment 3).

PREPARED BY: Savannah Van Akin
Assistant Planner

DISCUSSION (continued):

Town records (Attachment 4) show a request for a 644 square-foot second-story addition, a 356 square-foot addition to the first floor, and a new side and rear patio, submitted to the Town's Planning Department. There were not any existing elevations or existing photos of the residence in the record. The application was approved in August 1989. In January 1990, the plans for the proposed addition were provided to the Building Department. The dates become difficult to interpret, but it appears the work was finalized with the building department in February 1991. The photograph from the Anne Bloomfield Survey appears to be dated April 1990, a year before the second story-addition was completed.

CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, the structure would be removed from the Historic Resources Inventory and any proposed alterations would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

1. Anne Bloomfield Survey
2. Applicant's Submittal Packet
3. Property Pictures
4. Town Records

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 16488 Bonnie Le

PARCEL MAP INFORMATION

Parcel # 532-08-014 Lot size: 184 front ft. x _____ ft. deep

Lot shape: Rectangle___ L___ Rectangle with small rear jog___ Other irreg

Location: N___ S___ E / W___ side of B St___ Ave___ Other Le

distance to cross st: 740 ft. N___ S / E___ W___ from Shannon

at NE___ NW___ SE___ SW___ corner of _____

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name McGardner Estate Old Block # Sub 4⁺ 8 Old lot # _____

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1930s Style Craftsman # stories _____

Alterations porch enclosed?

Other _____

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Page _____ Effective date _____

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1941				

MISCELLANEOUS

National Register listed date _____

County Inventory 1979 _____

Town of Los Gatos: Designation _____ Recognition _____

District Name _____

Previous Survey _____

Gebhard: page # _____ illustration page # _____

Butler/Junior League _____

PHOTOS: Roll/frame # 039/19 Date 19-490



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DATE: September 27, 2023

TO: TOWN OF LOS GATOS
Community Development Department
110 E. Main Street
Los Gatos, CA 95030

LETTER OF JUSTIFICATION

To Whom It May Concern;

I am writing this letter of justification to obtain approval for removing the property at 16488 Bonnie Ln from the Historical Resources Inventory. The purpose of this request is to expand the main residence. We have elderly parents who are in their 80s. They recently have medical conditions and are unable to take care of themselves independently. We would like to add another bedroom for our parents to stay with us.

According to Santa Clara County record, this property is not in Historic Parcel. In addition, the materials around the house have been changed while remodeling in 1987. The exterior wall is no longer wood panels as it was built in 1930s. The fireplace looks more modern. All windows have been replaced with double pane windows. The roof is not original roof from 1930s.

Enclosed are the supporting documents.

Sincerely,



Vu-Ngan Tran
Property Owner



October 18, 2023 11:46:16 AM. The GIS data used in this analysis was compiled from various sources. While deemed reliable, the Planning Office assumes no liability.

Property Location Information

APN: **532-02-014**

Site Address: **16488 BONNIE LN LOS GATOS CA 95032-4715**

Recorded Size (Assessor Database): **14,375 sq. ft. / 0.3 acres**

Computed Size (GIS): **11,718 sq. ft. / 0.3 acres**

TRA: **03000**

Planning and Development Information

APN:53202014 is incorporated (LOS GATOS).

General Plan: **USA**

USA: **Los Gatos (100%)**

SOI: **Los Gatos**

Zoning: **INCORPORATED**

Supervisor District: **5**

Approved Building Site: **Research needed to evaluate parcel as a Building Site**

Special Area Policies and Information

- Los Gatos Hillside Specific Plan Area: **IN**
- Fire Responsibility Area: LRA (100%)
- Fire Protection District: Santa Clara County Central Fire Protection District
- Historic Parcel: **NO**
- FEMA Flood Zone: X (95.1%), D (4.9%)
- Sanitary District: West Valley Sanitation District
- Watershed: San Francisco Bay
- Rain isohyet: 23 inches

Nearest named creek: **EAST ROSS CREEK (287 feet)**

Nearest named lake: **Vasona Reservoir (5749 feet)**



Date	Item	Provider	Permitted
1984	* repaired main bath, removed gravity furnace, replaced hallway floor, replaced kitchen floor	K.K. & Son	no
1985	* built out studio in the rear of the detached garage.	K.K. & Son (construction), C.E. Hilpipre (plumbing)	no
1988	* install fireplace insert in living room	Sun, Wind & Fire	?
1989	* added 2nd floor, family room, and enlarged the kitchen area.	Steve Rehder	yes
2000	* install retaining wall and french drain around back of garage	Reid Clark	?
2005	* replaced main house roof	Los Gatos Roofing	yes
2013	* replaced and added 2-zone HVAC system	ASAP heating & cooling	yes
2013	* replaced sewer lateral with impervious 4" STR17 pipe	Drainworks	no
2014	* replaced cooktop with induction cooktop	PJs Building & Installation	no
2016	* replaced garage roof	Reed Roofers	yes
2016	* installed solar system	Solar City (Tesla)	yes
2019	* remodeled main bathroom and replaced main sewer junction under house	LAR Construction	yes
2019	* copper repipe and new hot water heater	Repipe Specialists	yes

DocuSigned by:

Stephen C. Baunach

8BE7D6BD0CA3480...

9/15/2022

Received

Sign

DATE

DocuSigned by:

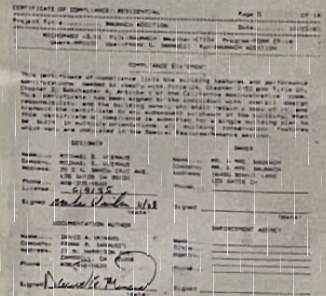
Molly L. Baunach

CAB278CFC8BB416...

9/15/2022

Sign

DATE



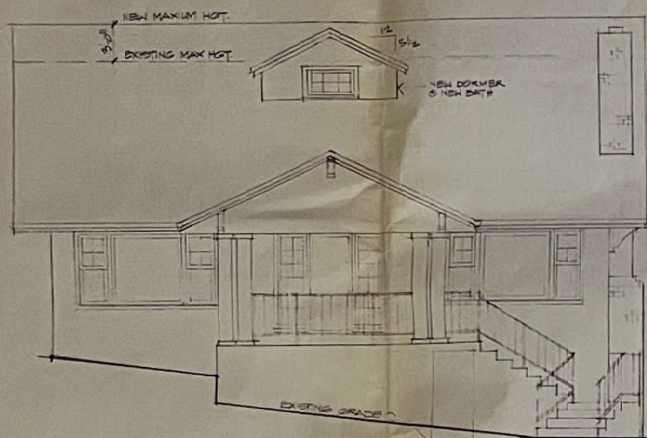
A hand-drawn floor plan of a house, likely a residential development, showing various rooms and their dimensions. The plan is oriented with a north arrow pointing towards the top-left. The layout includes:

- Left Wing:**
 - STARS:** A large room with dimensions 15'-0" x 12'-0".
 - LCFT:** A room with dimensions 15'-0" x 12'-0".
 - BEDROOM:** A room with dimensions 15'-0" x 12'-0".
 - BEDROOM:** A room with dimensions 15'-0" x 12'-0".
 - BEDROOM:** A room with dimensions 15'-0" x 12'-0".
- Central Wing:**
 - KITCHEN:** A room with dimensions 15'-0" x 12'-0".
 - DINING:** A room with dimensions 15'-0" x 12'-0".
 - LIVING:** A room with dimensions 15'-0" x 12'-0".
 - HALL:** A central hallway with dimensions 15'-0" x 12'-0".
 - MASTER BEDROOM:** A room with dimensions 15'-0" x 12'-0".
 - BATH:** A room with dimensions 15'-0" x 12'-0".
 - BATH:** A room with dimensions 15'-0" x 12'-0".
 - GUEST:** A room with dimensions 15'-0" x 12'-0".
- Right Wing:**
 - STARS:** A large room with dimensions 15'-0" x 12'-0".
 - LCFT:** A room with dimensions 15'-0" x 12'-0".
 - BEDROOM:** A room with dimensions 15'-0" x 12'-0".
 - BEDROOM:** A room with dimensions 15'-0" x 12'-0".
 - BEDROOM:** A room with dimensions 15'-0" x 12'-0".

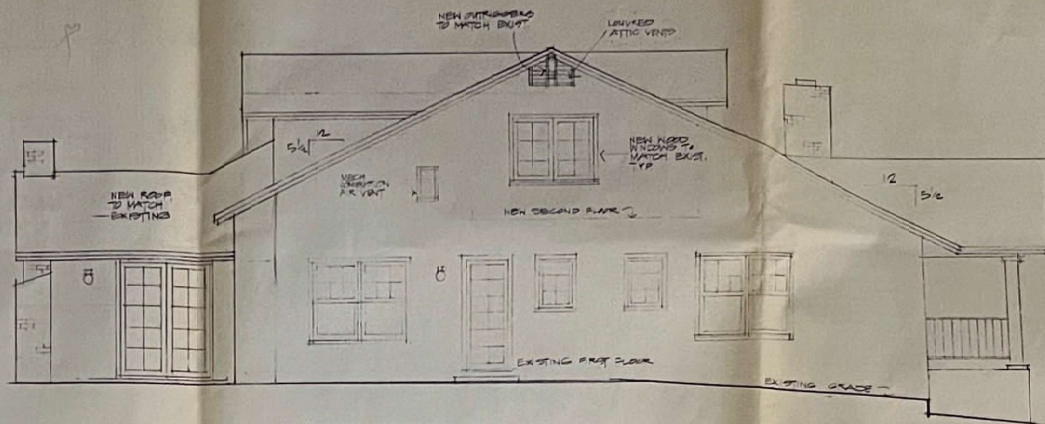
The plan also includes numerous smaller rooms, closets, and utility areas, each with specific dimensions and labels. The overall layout is symmetrical, with a central hallway connecting the various wings. The drawing is a detailed architectural sketch, likely for a residential development project.

FIRST FLOOR PLAN

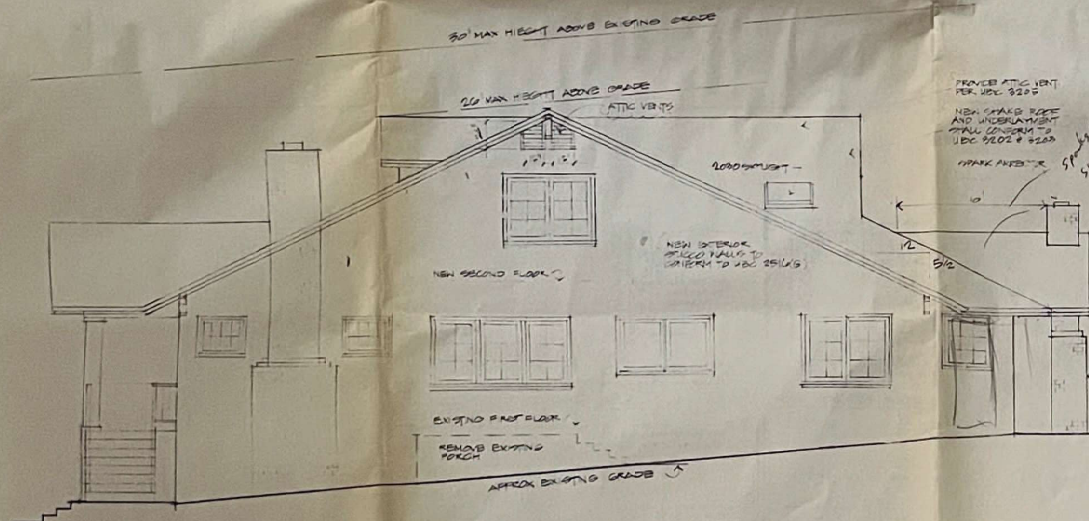
11575	EXISTING SQUARE FEET
1956	ADDITIONAL SQUARE FEET



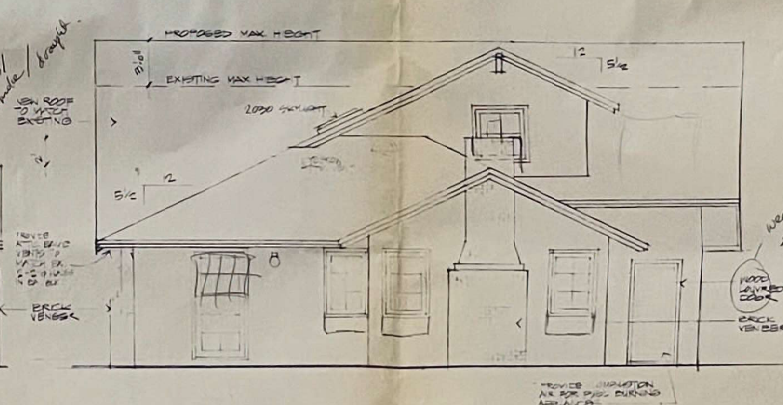
NORTH



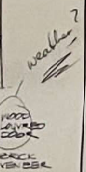
EAST



WEST



SOUTH



REAR

REVISIONS	BY
1/2/21	
4/10	

MICHAEL D. VERHUS
ARCHITECT
20 E. Main Street, Suite 100, Los Gatos, CA 95030
408.395.0660

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Date	10/4/21
Scale	
Drawn	WJ
Job	
Sheet	2
Of	2 Sheets

5
5.1

6
5.1

$$\frac{2}{5.1}$$

$$\frac{4}{5.1}$$

4.1. HEADER SCHEDULE

FOUNDATION

EPOXY GROUTING

연호(年號)의 시작은

1000000 1000000

NOTE: DETAIL ALSO APPLS TO ELECTRICIAN
COURT NO. 11-11-11

अथवा १५५५

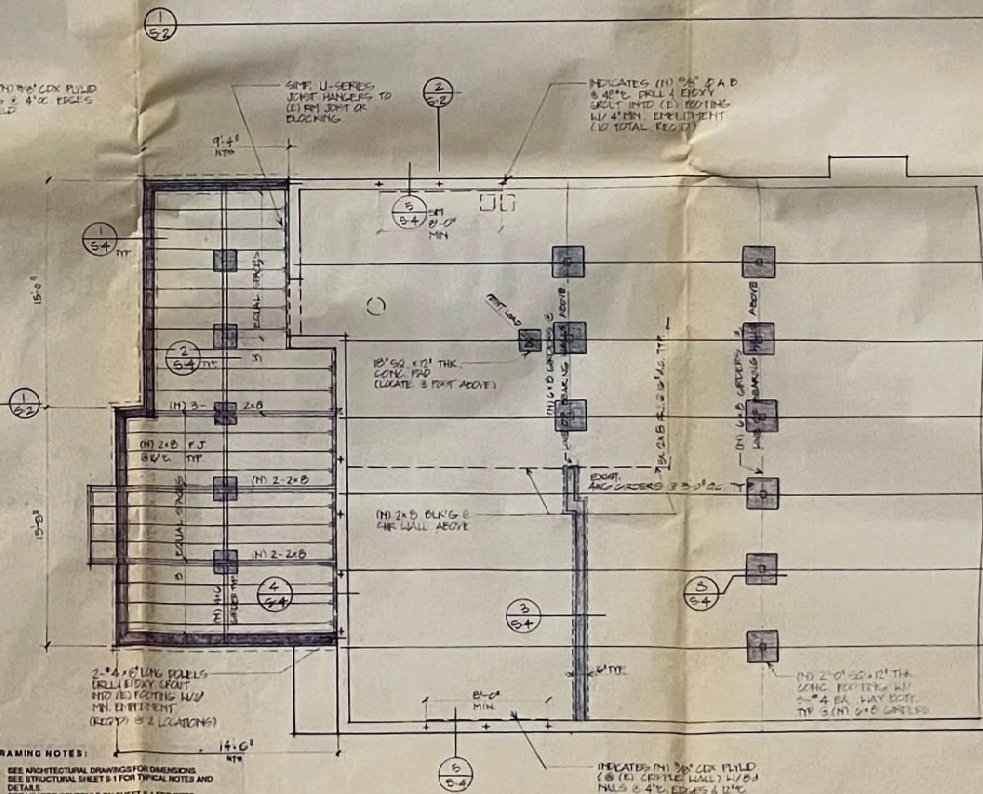
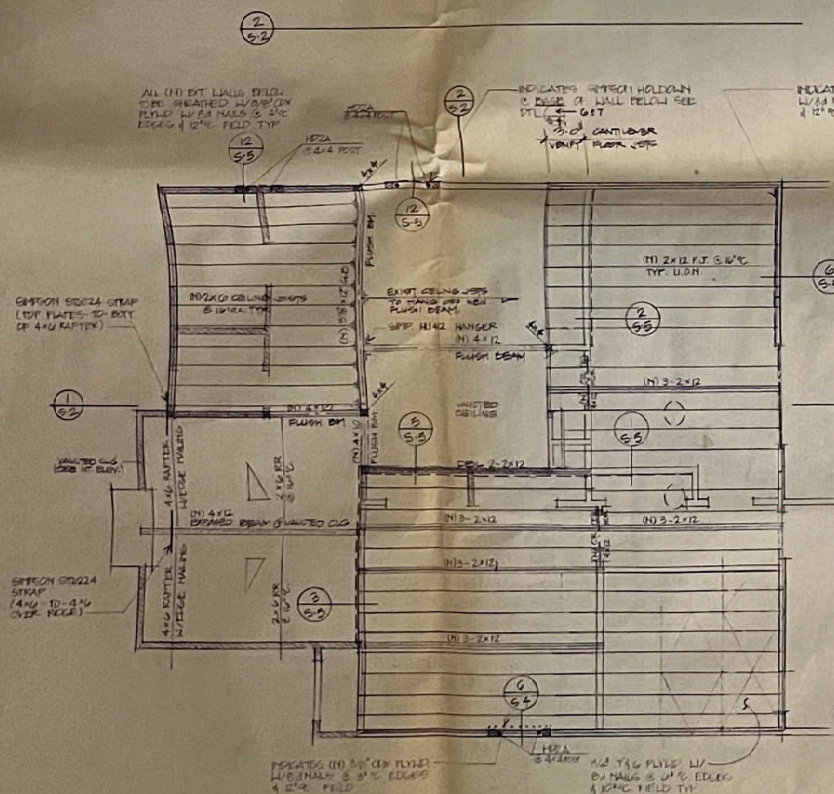
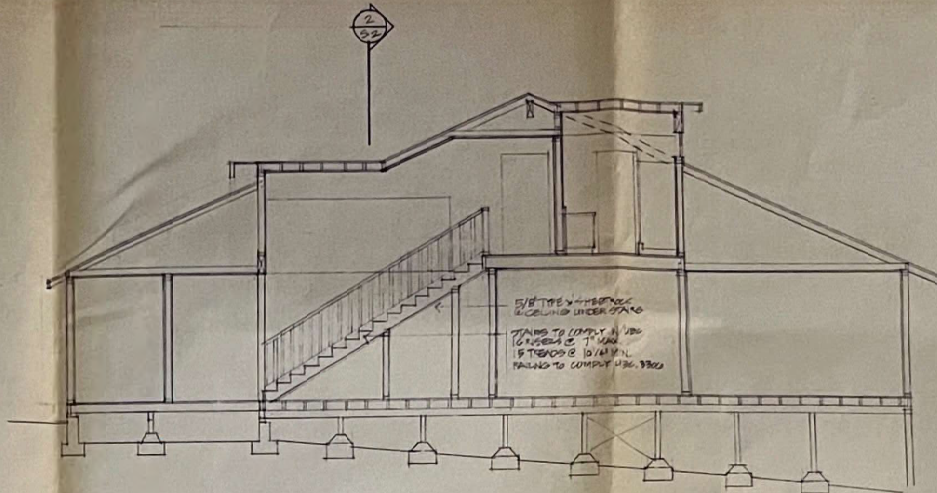
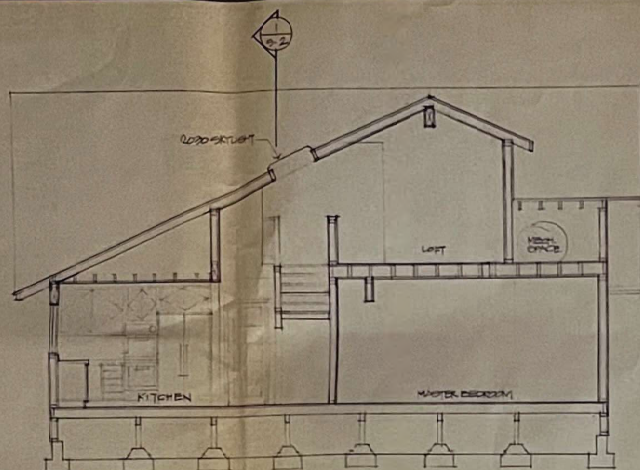
GENERAL

TIMBER

HAILING SCHEDULE

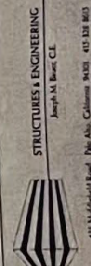
* SEE PLAN FOR SPECIAL HEADER & NAILING REQUIREMENTS.

NAILS ARE SINKERS UNO



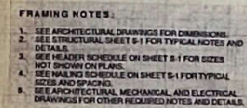
- FRAMING NOTES:**
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS
 - SEE STRUCTURAL SHEET 1-1 FOR TYPICAL NOTES AND DETAILS
 - SEE HANGER SCHEDULE ON SHEET 5-1 FOR SIZES NOT SHOWN ON PLANS
 - SEE HANGER SCHEDULE ON SHEET 5-1 FOR TYPICAL SIZES AND SPACING
 - SEE ARCHITECTURAL MECHANICAL AND ELECTRICAL DRAWINGS FOR OTHER REQUIRED NOTES AND DETAILS
 - SEE SECOND FLOOR FRAMING PLAN FOR THE LOCATIONS AND SIZES FOR STUMPS AND HOLD-DOWNS AT THE FOUNDATION.

REVISIONS	BY
4.10	
5.30	



BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Date 9-20-09
Scale AS NOTED
Drawn
JLB
Sheet
52
Of 51 Sheets



BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA

Date: 9.20.11

Scale $\frac{1}{4}" = 1'-0"$

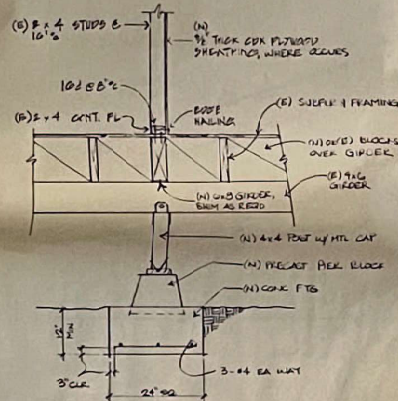
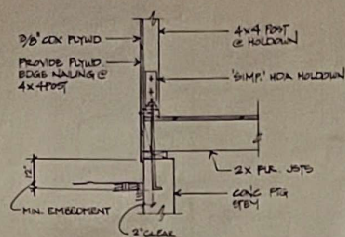
Drawn:

Approved: _____

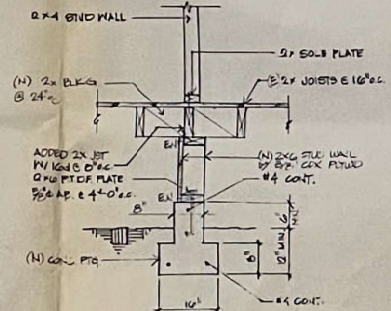
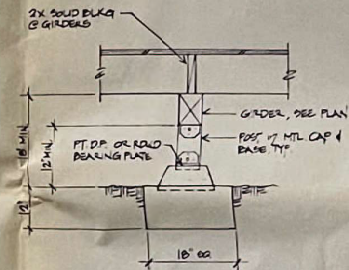
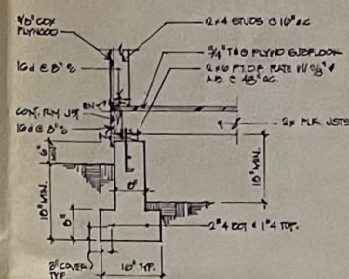
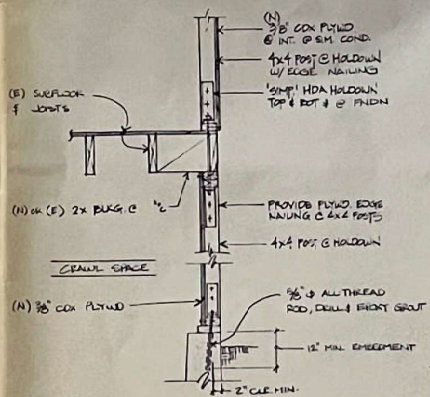
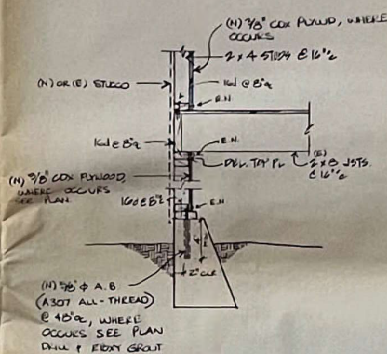
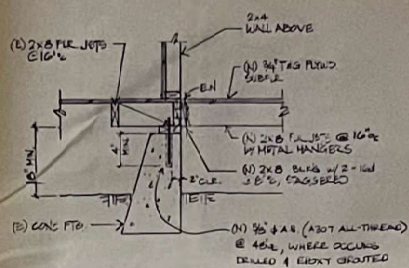
John 09137

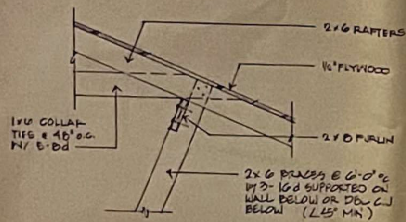
S-3

25 May

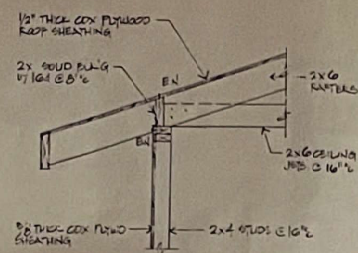


RETAINING WALL DETAIL

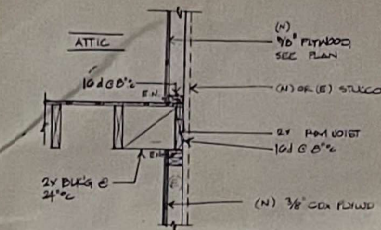
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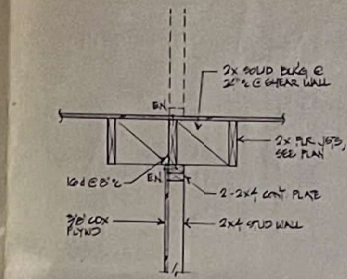
10
S.B.



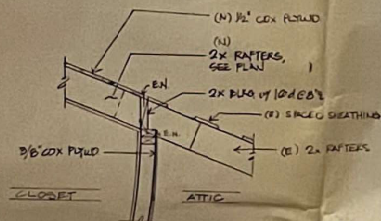
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S.B.



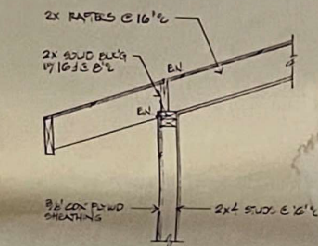
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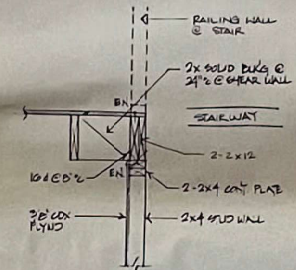
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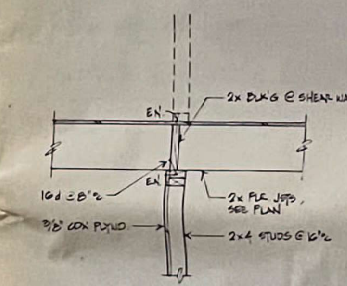
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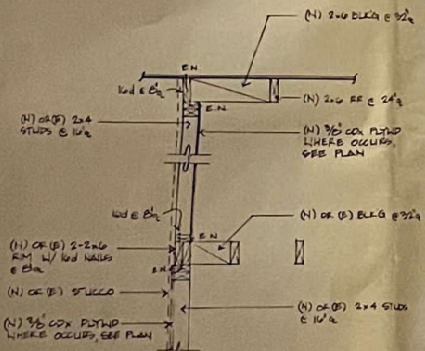
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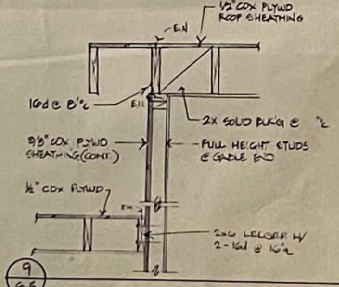
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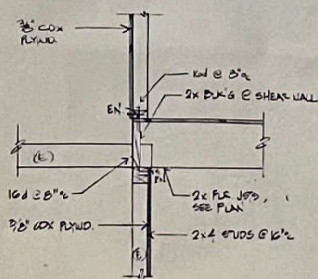
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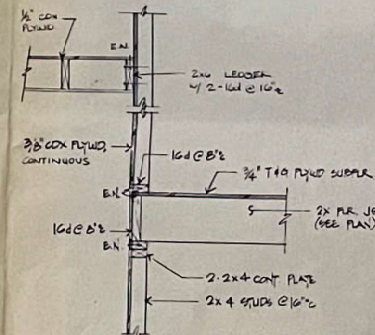
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S.B.



9
S.B.



10
S.B.



3
S.B.

REVISIONS
4-10

STRUCTURES & ENGINEERING
Joseph M. Bunn, C.E.
4115 McAllister Road, San Jose, California 95128 415-734-1015

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Date 9-20-89
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Drawn
Job 87127
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9-5
Of 5 Sheets

Of Sheets

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Proud Supporter
of
LG Music
2023-2024
LOS GATOS
MUSIC



















Address
File



TOWN of LOS GATOS

**PLANNING DEPARTMENT
(408) 354-6872
August 18, 1989**

**NOTICE OF INTENTION TO APPROVE
NEW RESIDENTIAL CONSTRUCTION**

The Los Gatos Planning Department has received an application from Steve and Mollie Baunach to construct a second story room addition at 16488 Bonnie Lane (X-89-23).

The proposal will be approved on August 31, 1989, unless there is evidence that the project is too large or bulky, incompatible with the neighborhood, interferes with views or privacy, creates an adverse effect on the environment, or is not in compliance with the approved development standards for residential zones.

The plans are available for review in the Planning Department from 8:00 A.M. to 5:00 P.M. Any comments in opposition to this proposal must be received by this office in writing prior to the anticipated approval date.

Very truly yours,


Lee E. Bowman
Planning Director

LEB:DRR:cher

ENT\OFFICE\APPROVES.CST

APPLICATION

**TOWN OF LOS GATOS
PLANNING DEPARTMENT**
CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95032

MAILING ADDRESS:
P.O. BOX 949
LOS GATOS, CA 95031

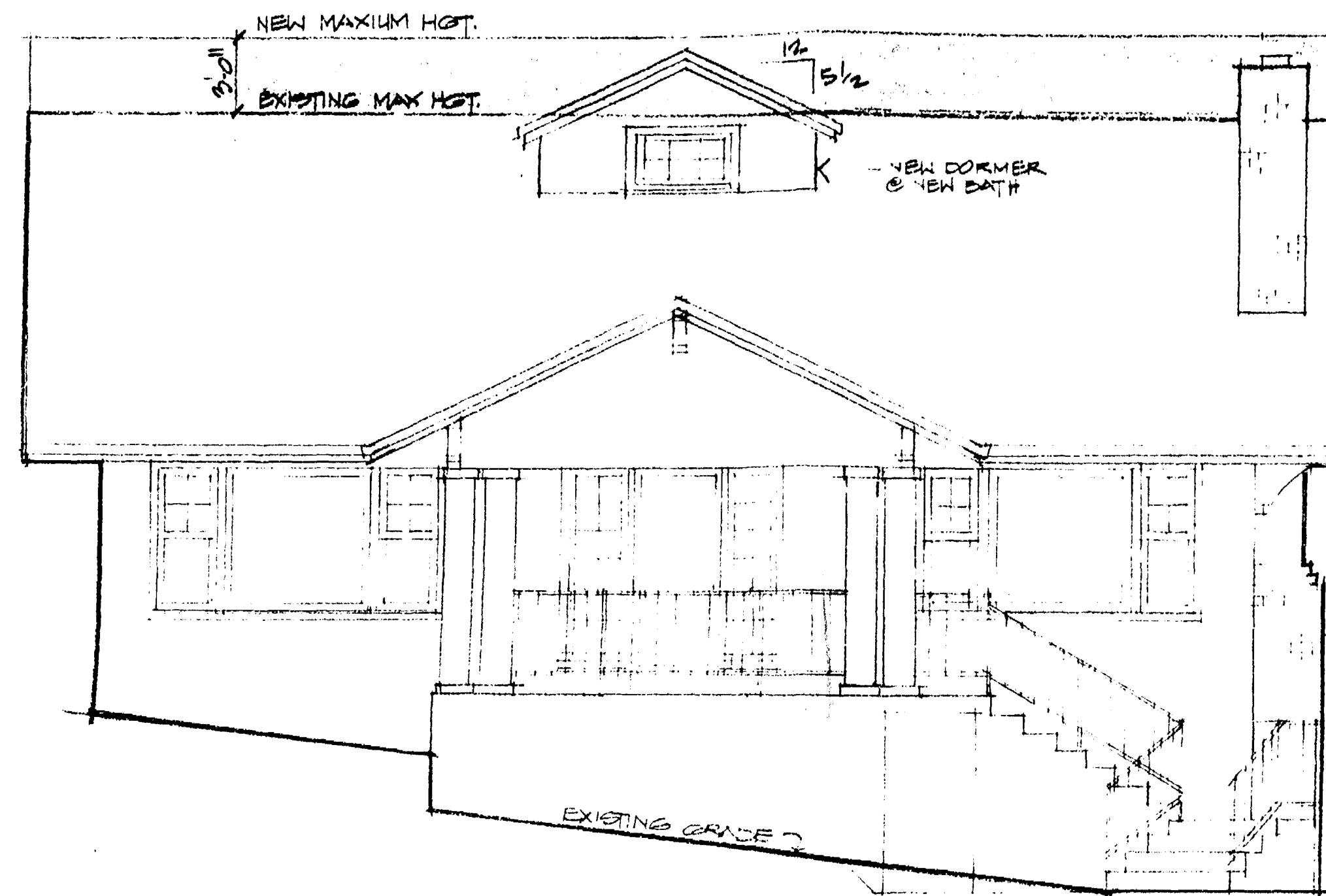
DATE RECEIVED: 8/10/89

RECEIVED BY: CHRISTINE A.

X-89-23

PLEASE TYPE OR PRINT CLEARLY (PRESS FIRMLY)

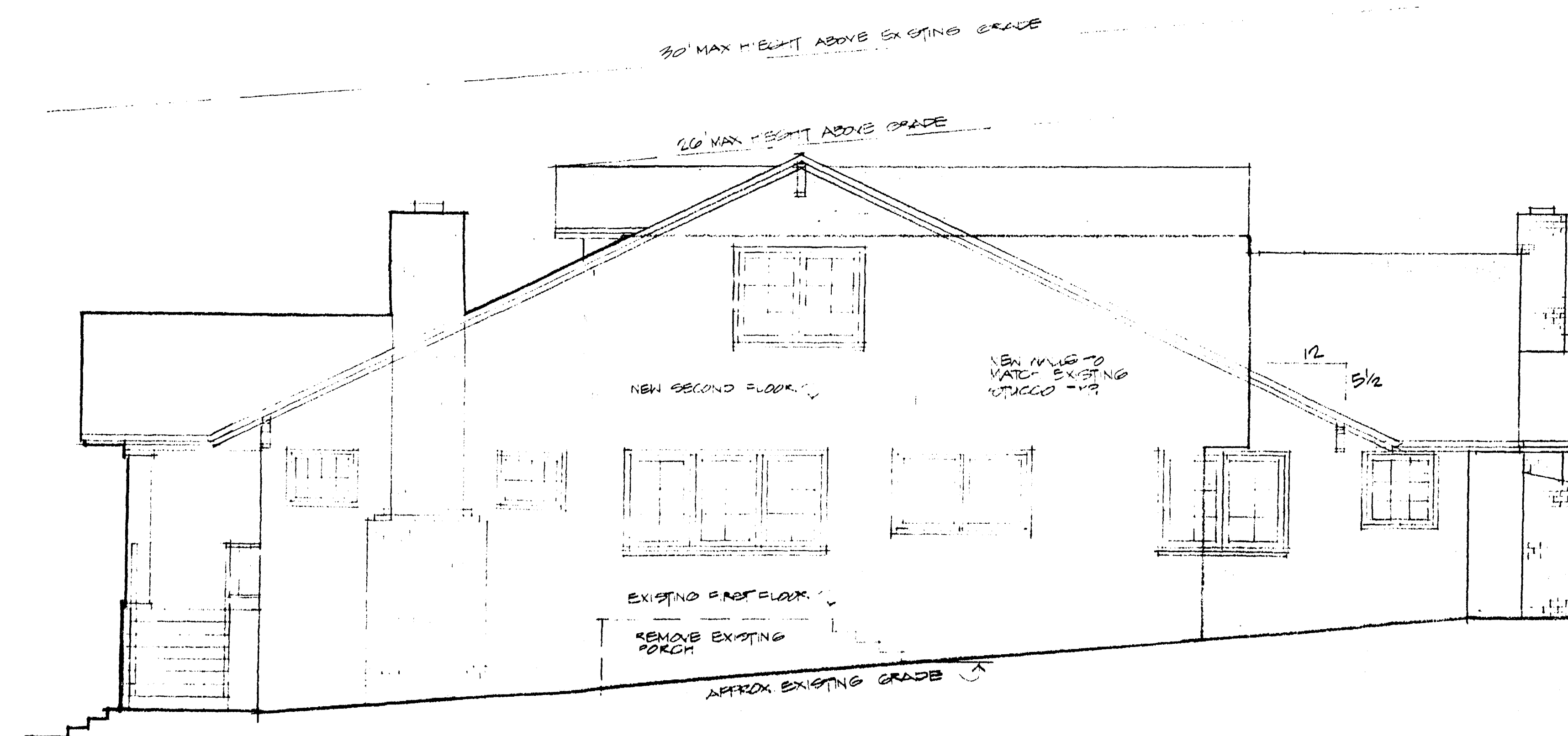
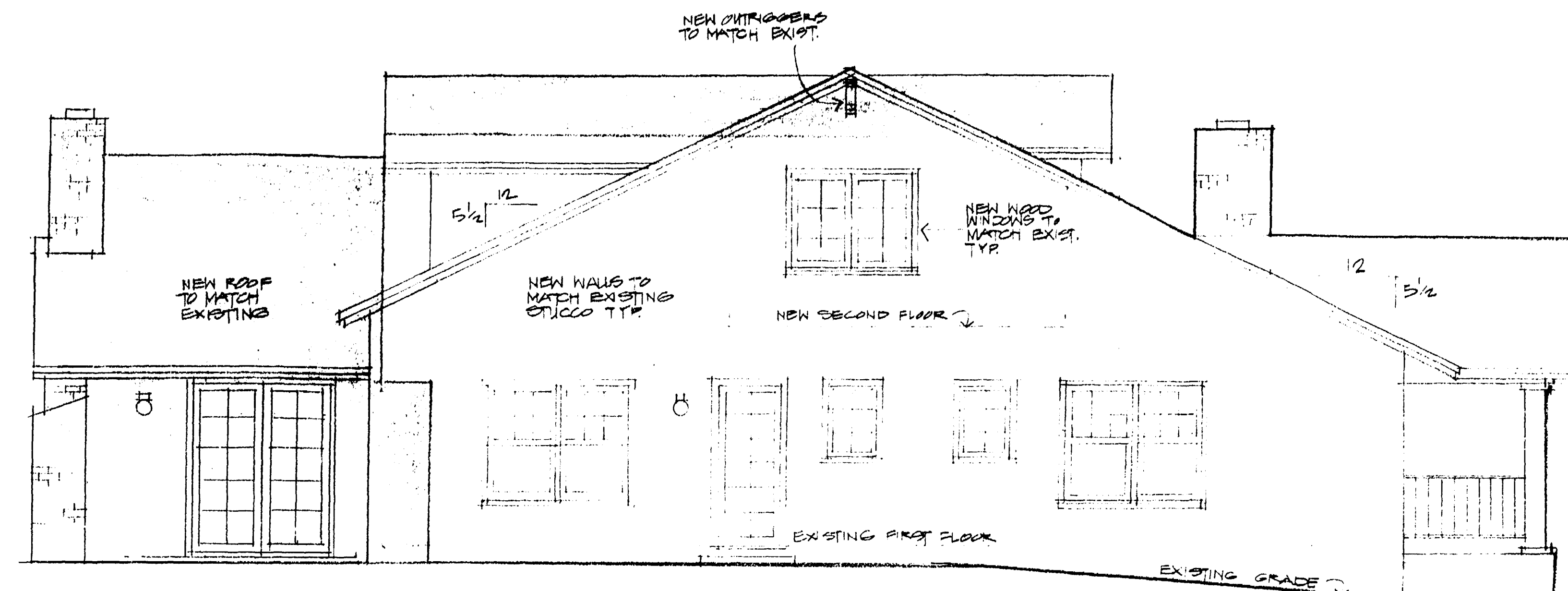
<p>1. APPLICANT REQUEST: (Check appropriate boxes)</p> <p><input checked="" type="checkbox"/> New Second Story Addition</p> <p><input type="checkbox"/> Addition greater than 100 square feet to existing second story</p>	<p>2. PROPERTY DETAIL:</p> <p>Site area <u>12085</u></p> <p>Zoning <u>R-1.20</u></p> <p>APN <u>532.02.014</u></p>												
<p>3. PROPERTY LOCATION:</p> <p>ADDRESS OF SUBJECT PROPERTY: <u>16488 Bonnie Lane Los Gatos</u></p>													
<p>4. APPLICANT:</p> <p>Name <u>[REDACTED]</u> Phone <u>340 0660</u></p> <p>Address <u>[REDACTED]</u></p> <p>City <u>Los Gatos</u> State <u>CA</u> Zip <u>95032</u></p> <p>SIGNATURE OF APPLICANT <u>Mila Chirba</u> Date <u>8-10-89</u></p>													
<p>5. PROPERTY OWNER: (If same as above, check here)</p> <p>NAME <u>[REDACTED]</u> Phone _____</p> <p>Address <u>16488 Bonnie Lane</u></p> <p>City <u>Los Gatos</u> State <u>CA</u> Zip <u>95032</u></p> <p>I hereby certify that I am the owner of record of the property described in box #3 above and that I approve of the action requested herein.</p> <p>SIGNATURE OF OWNER _____ Date _____</p>													
<p>6. ENVIRONMENTAL INFORMATION</p> <p>Existing land use <u>Residence 1</u></p> <p>Surrounding land uses: North <u>RES.</u> South <u>RES.</u></p> <p>East <u>RES.</u> West <u>RES.</u></p> <p>Natural features & vegetation _____</p> <p>Slope at building site: <u>Flat</u> Average site slope <u>approx 5%</u></p> <p>Grading required: Cut: <u>approx 5</u> Cu. Yds. Cut Depth: _____</p> <p>Fill: <u>0</u> Cu. Yds. Fill Depth: _____</p>													
<p>7. ARCHITECTURAL DETAILS</p> <p>Proposed Setbacks: Front: <u>25'</u> Rear: <u>39'</u> L. Side: <u>36'</u> R. Side: <u>18'</u></p> <p>Height: <u>26'</u> Impervious coverage: _____</p> <p>Size of structure:</p> <table style="width: 100%;"> <thead> <tr> <th></th> <th>Existing</th> <th>Proposed</th> </tr> </thead> <tbody> <tr> <td>First floor (incl. Garage):</td> <td><u>1576</u> sq. ft.</td> <td><u>356</u> sq. ft. (<u>1982</u>)</td> </tr> <tr> <td>Second Floor:</td> <td>_____ sq. ft.</td> <td><u>644</u> sq. ft. (<u>644</u>)</td> </tr> <tr> <td>TOTAL:</td> <td><u>1576</u> sq. ft.</td> <td><u>1000</u> sq. ft. (<u>2576</u>)</td> </tr> </tbody> </table> <p>Material & colors Proposed: <u>exist, grey blue w/ white trim</u></p> <p>Window treatment (location and size of all windows that may affect the privacy of a neighbor) <u>5040 rear bedroom</u></p> <p>Proposed new landscaping <u>new patio on side & rear</u></p>			Existing	Proposed	First floor (incl. Garage):	<u>1576</u> sq. ft.	<u>356</u> sq. ft. (<u>1982</u>)	Second Floor:	_____ sq. ft.	<u>644</u> sq. ft. (<u>644</u>)	TOTAL:	<u>1576</u> sq. ft.	<u>1000</u> sq. ft. (<u>2576</u>)
	Existing	Proposed											
First floor (incl. Garage):	<u>1576</u> sq. ft.	<u>356</u> sq. ft. (<u>1982</u>)											
Second Floor:	_____ sq. ft.	<u>644</u> sq. ft. (<u>644</u>)											
TOTAL:	<u>1576</u> sq. ft.	<u>1000</u> sq. ft. (<u>2576</u>)											



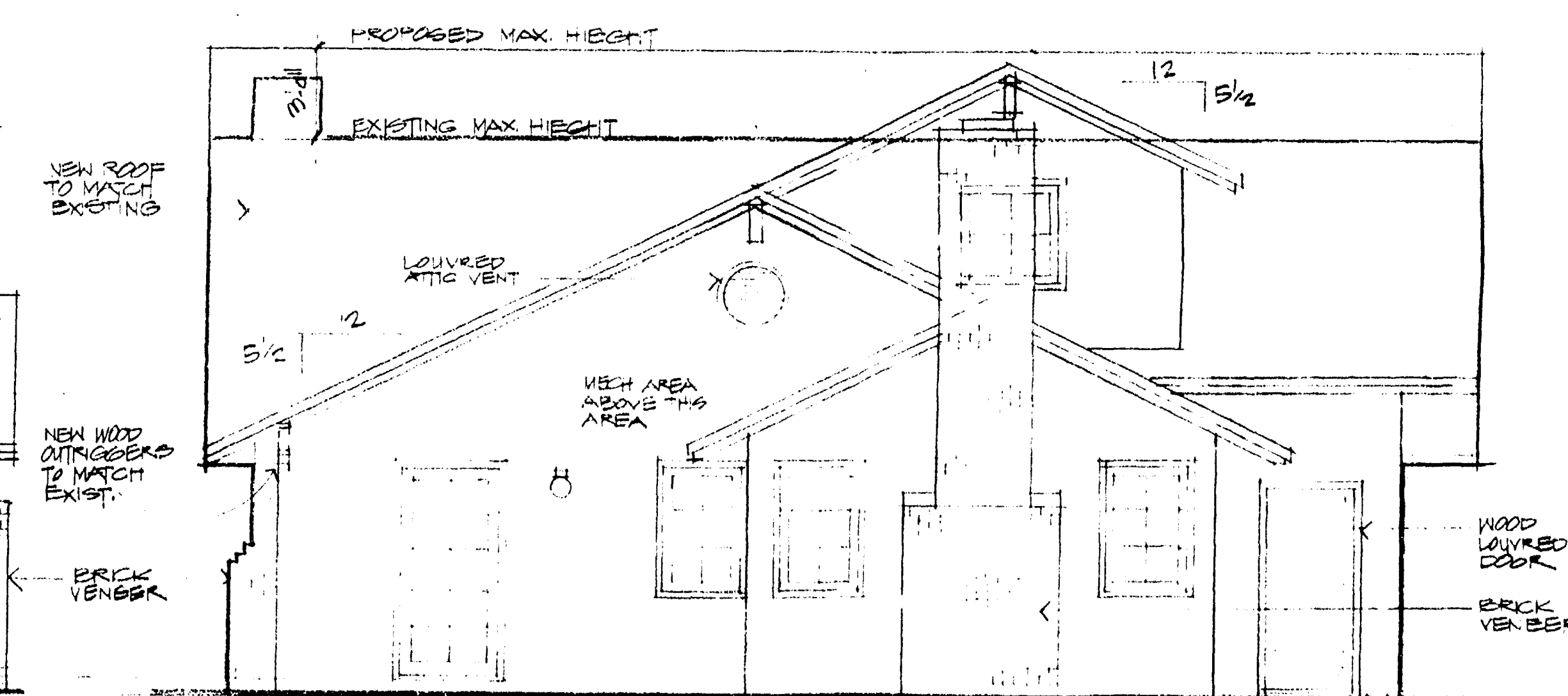
NORTH

FRONT

EAST



WEST



SOUTH

REAR

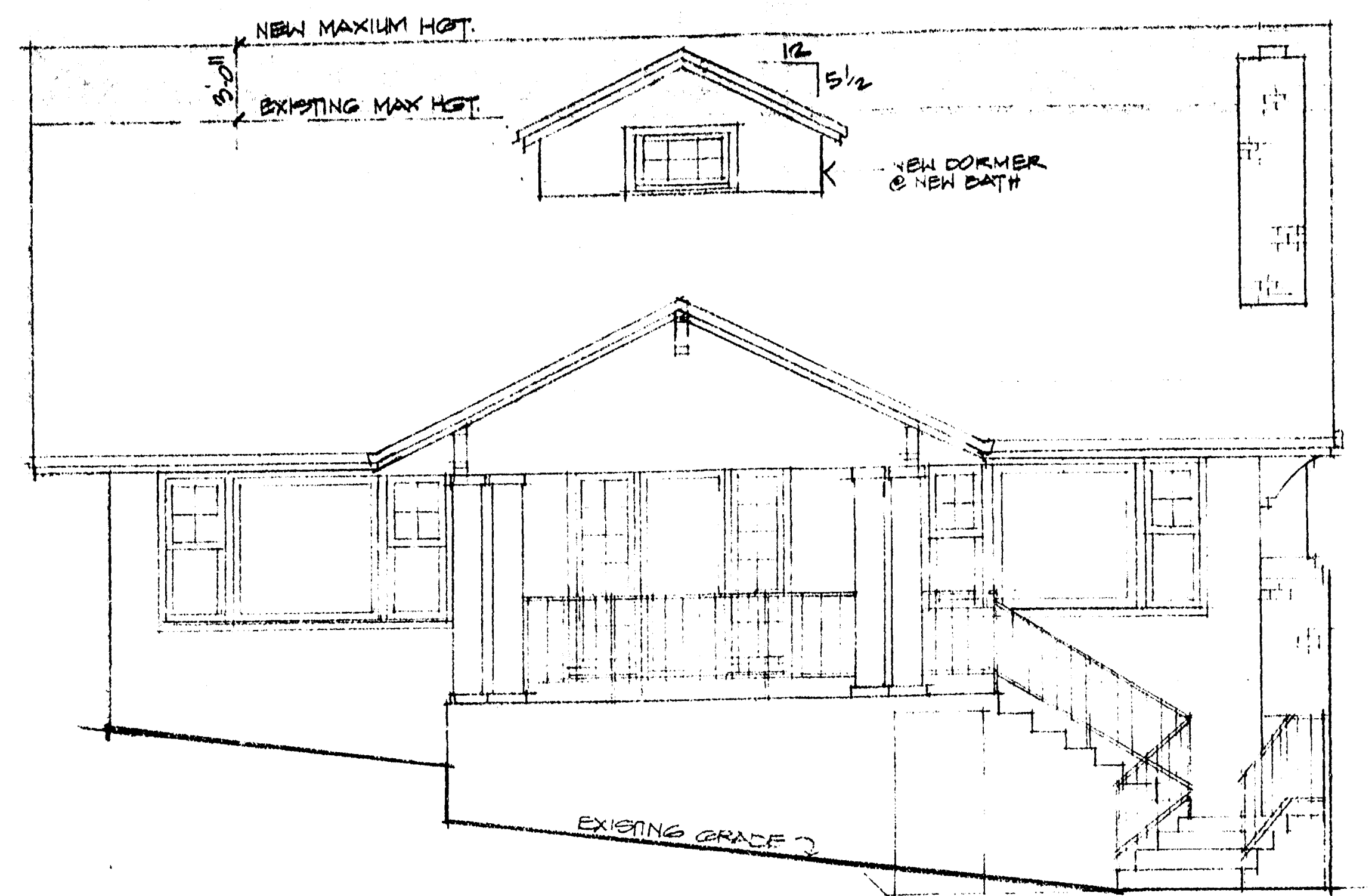
REVISIONS BY

MICHAEL D. VIERHUS
ARCHITECT
20 E. North Santa Clara Ave. 4th Floor, CA 95050
408.395.0660

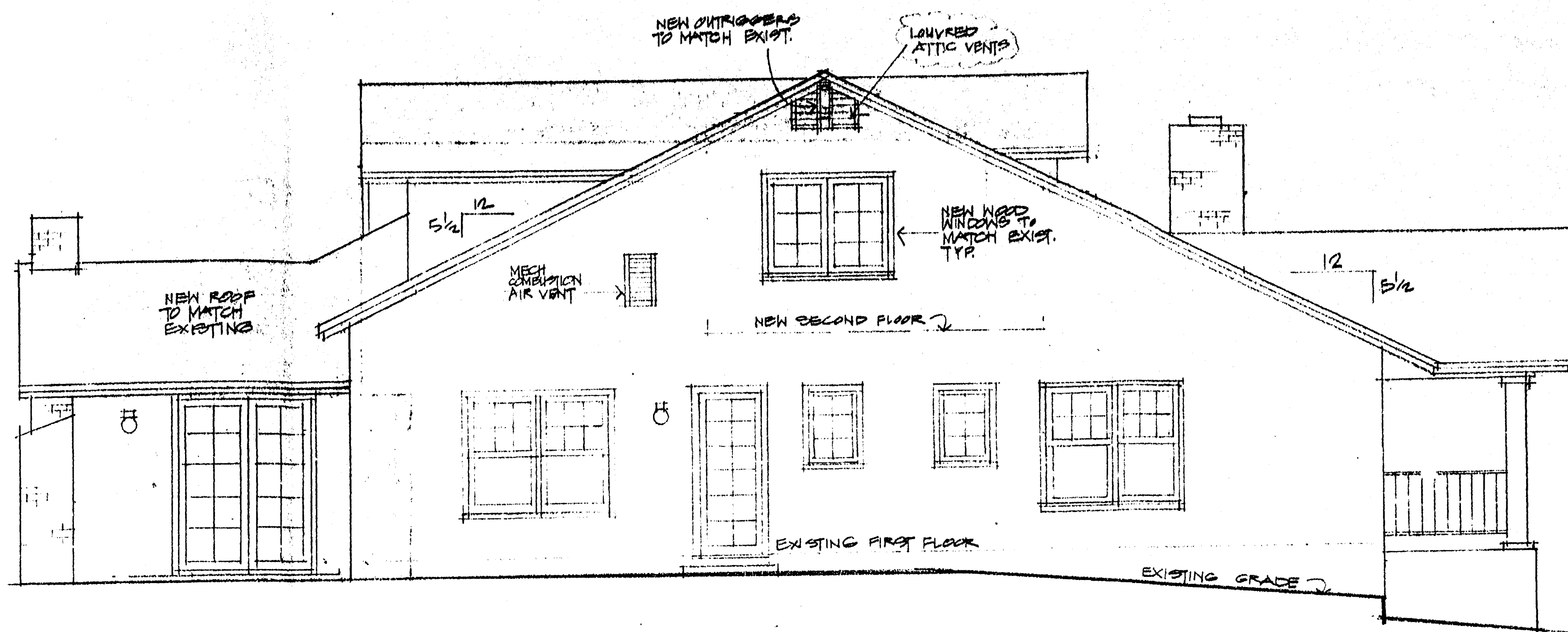
BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Date
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Drawn
Job
Sheet 2
Of 2 Sheets

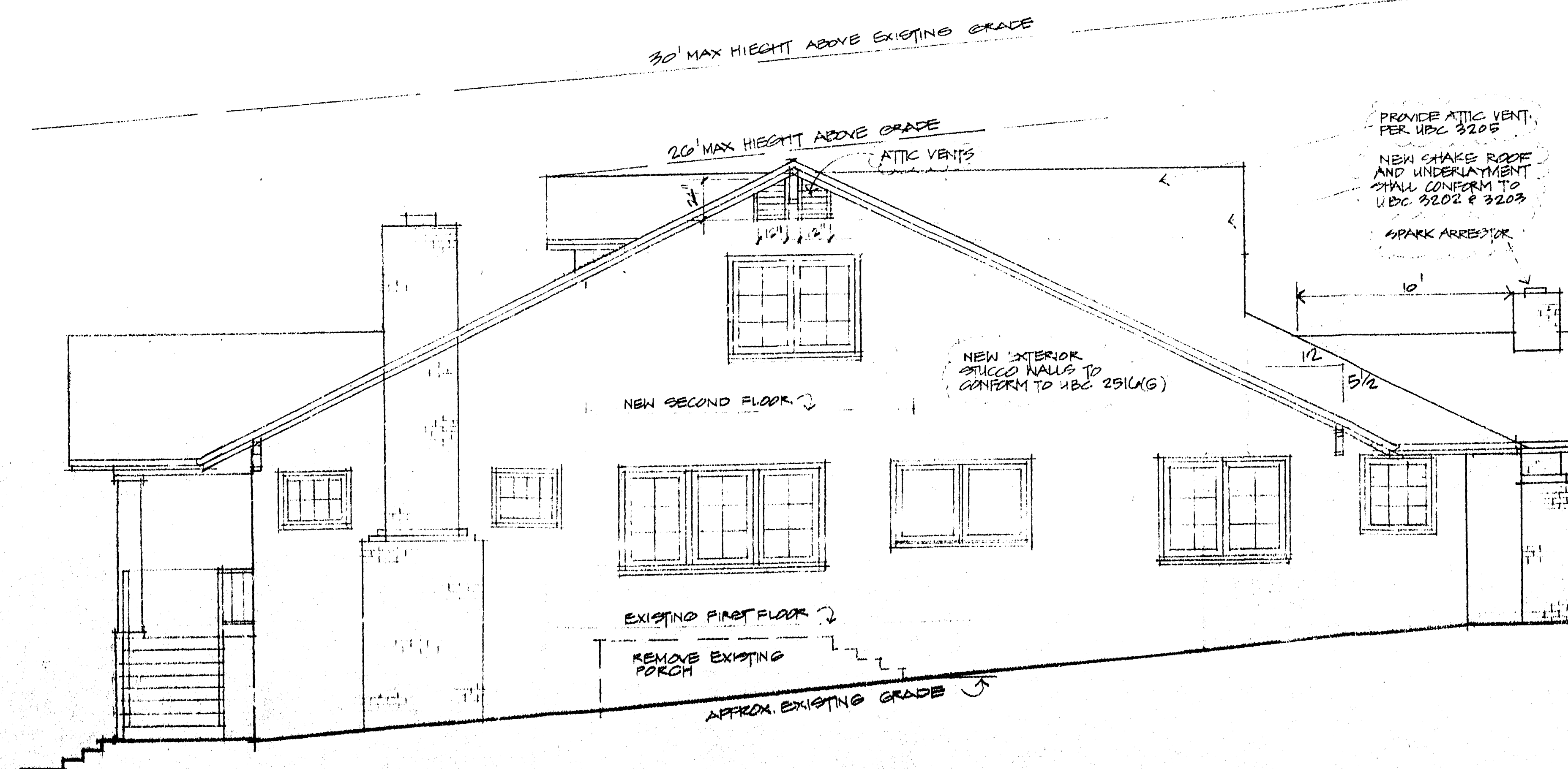
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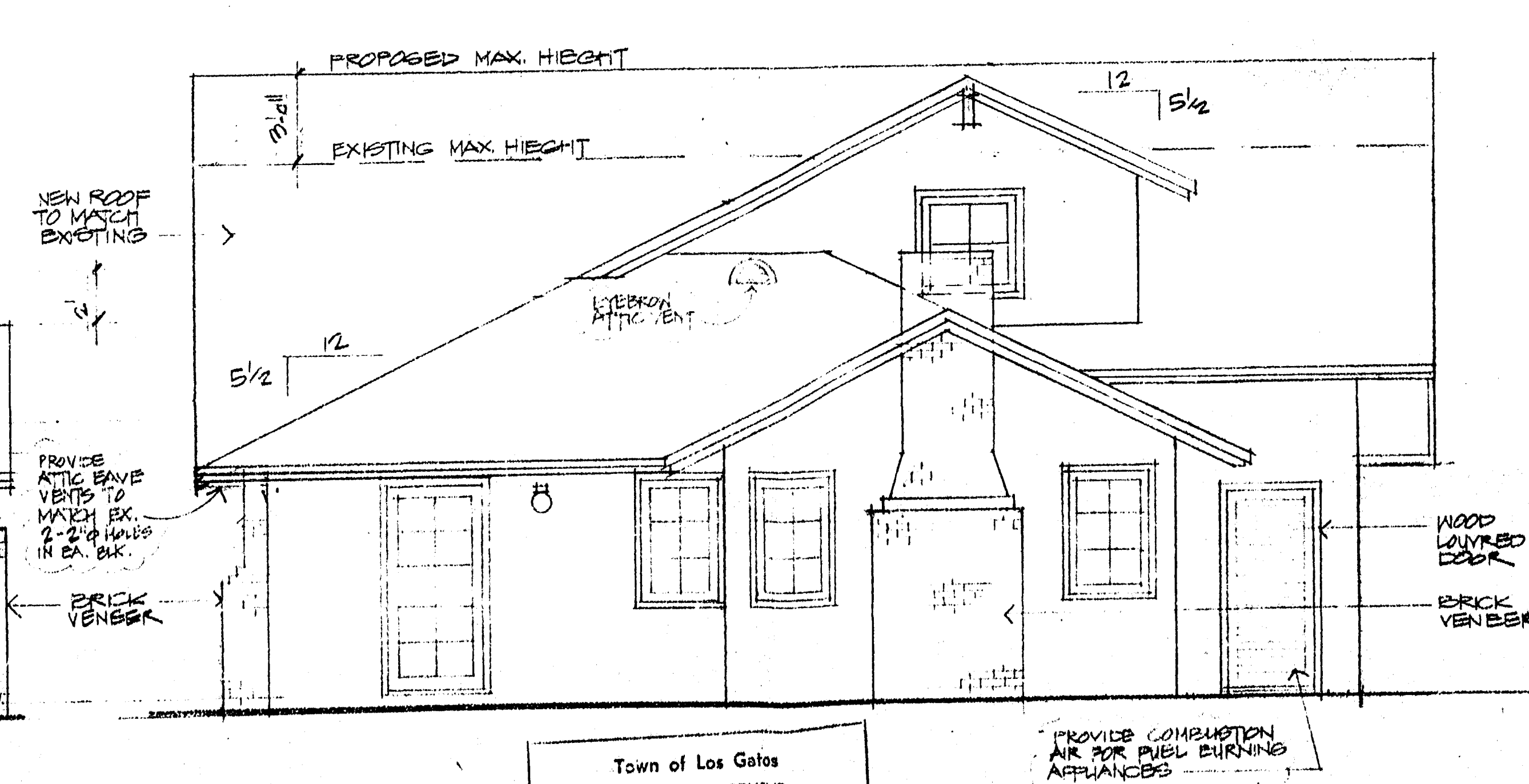
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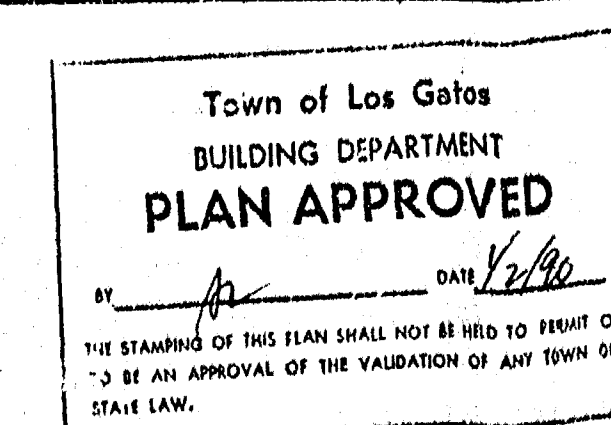


WEST



SOUTH

REAR

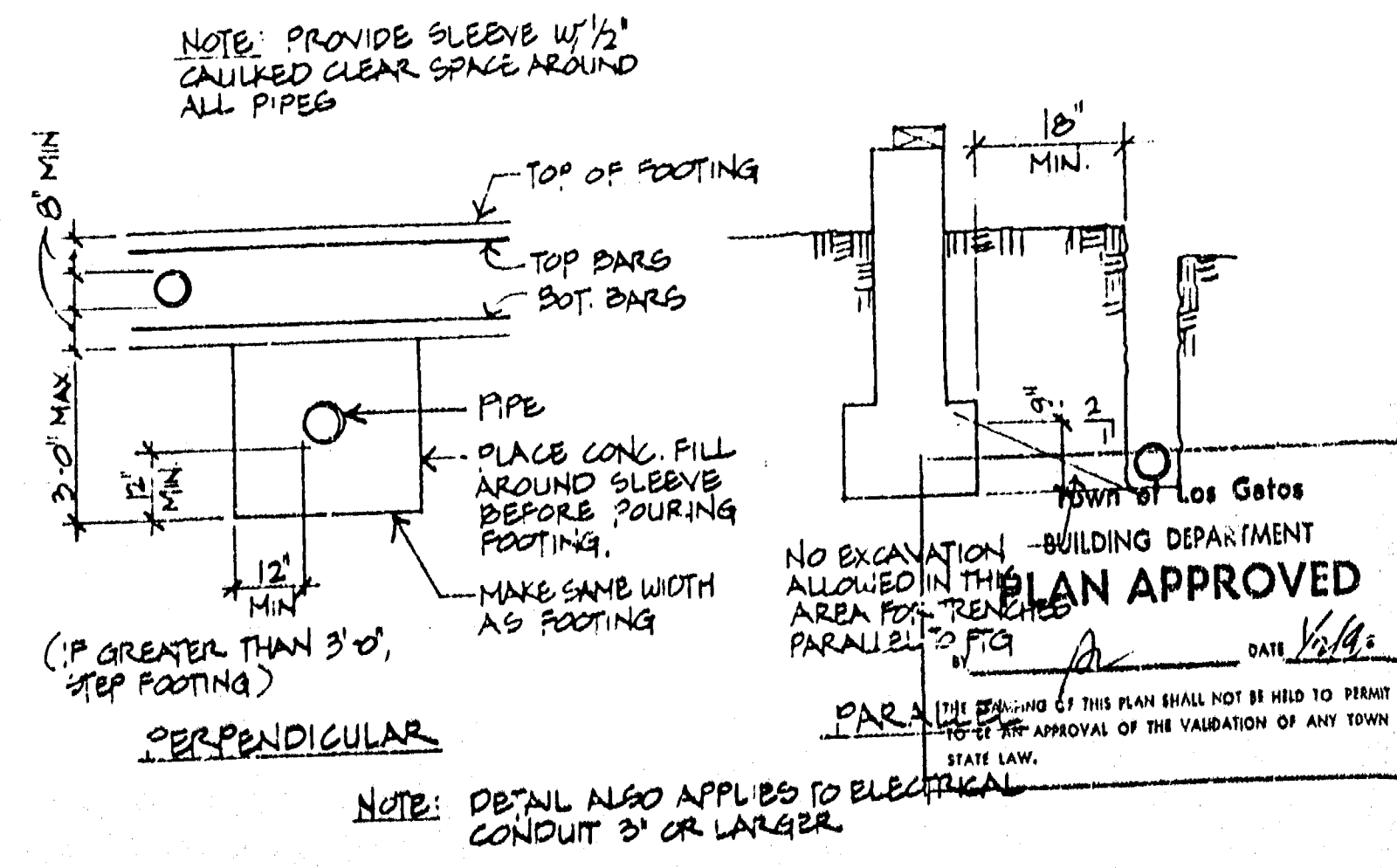
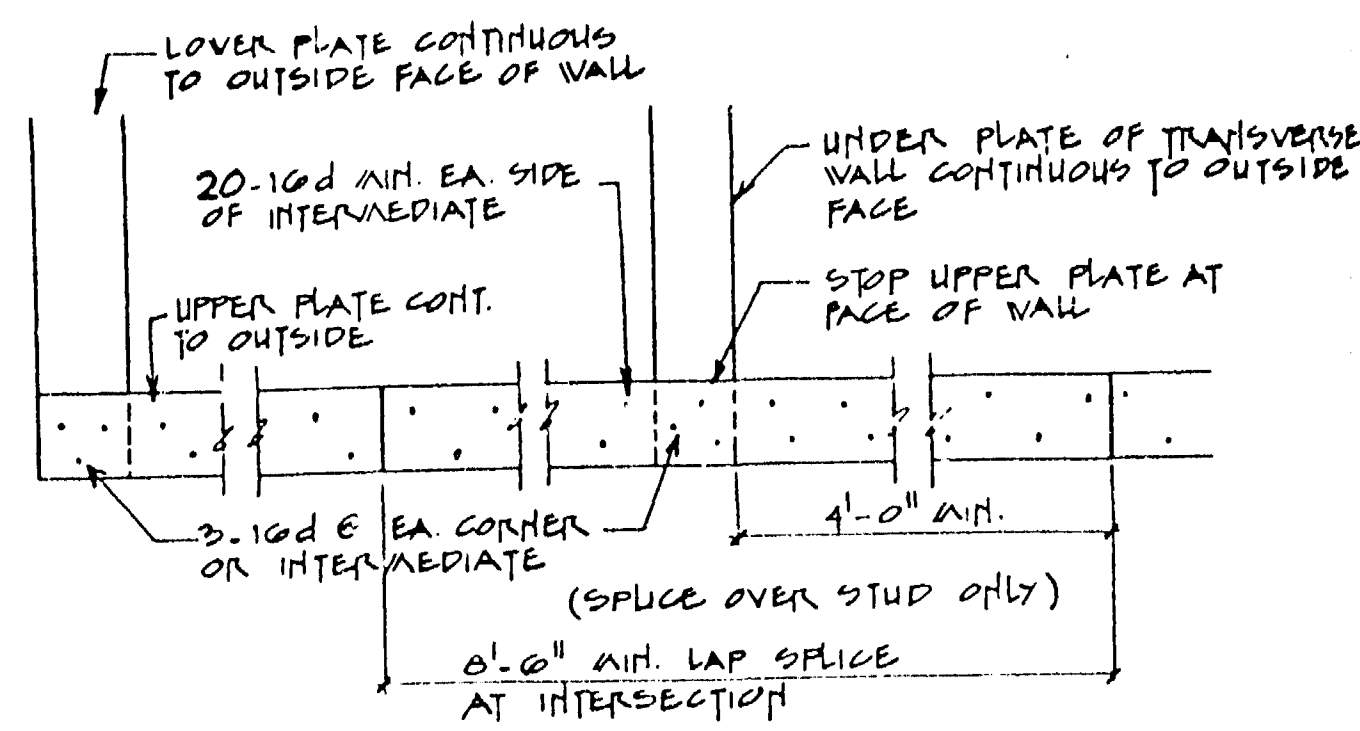


REVISIONS	BY
12/29	

MICHAEL D. VIERHUS
ARCHITECT
20 C North Santa Cruz Ave Los Gatos, CA 95030
408-395-0660

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Date	10-4-20
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Of 2 Sheets	



ROUGH OPENING WIDTH	SIZE
4'-0" AND LESS	4X6
4'-1" TO 6'-0"	4X8
6'-1" TO 8'-0"	4X10
8'-1" TO 10'-0"	4X12
10'-1" TO 12'-0"	4X14
10'-1" FUR. OF 2 STORY B DGS (U.N.O.)	4X12 OR B E T E R

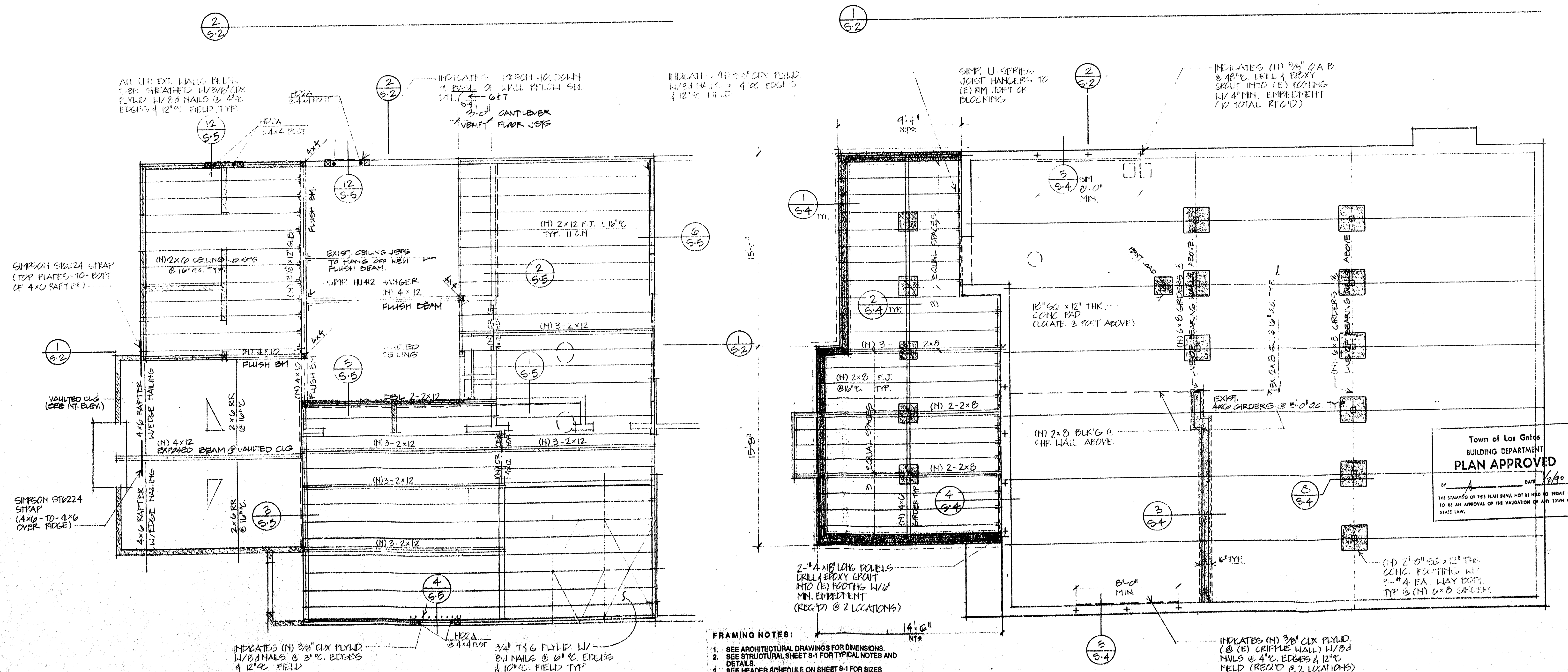
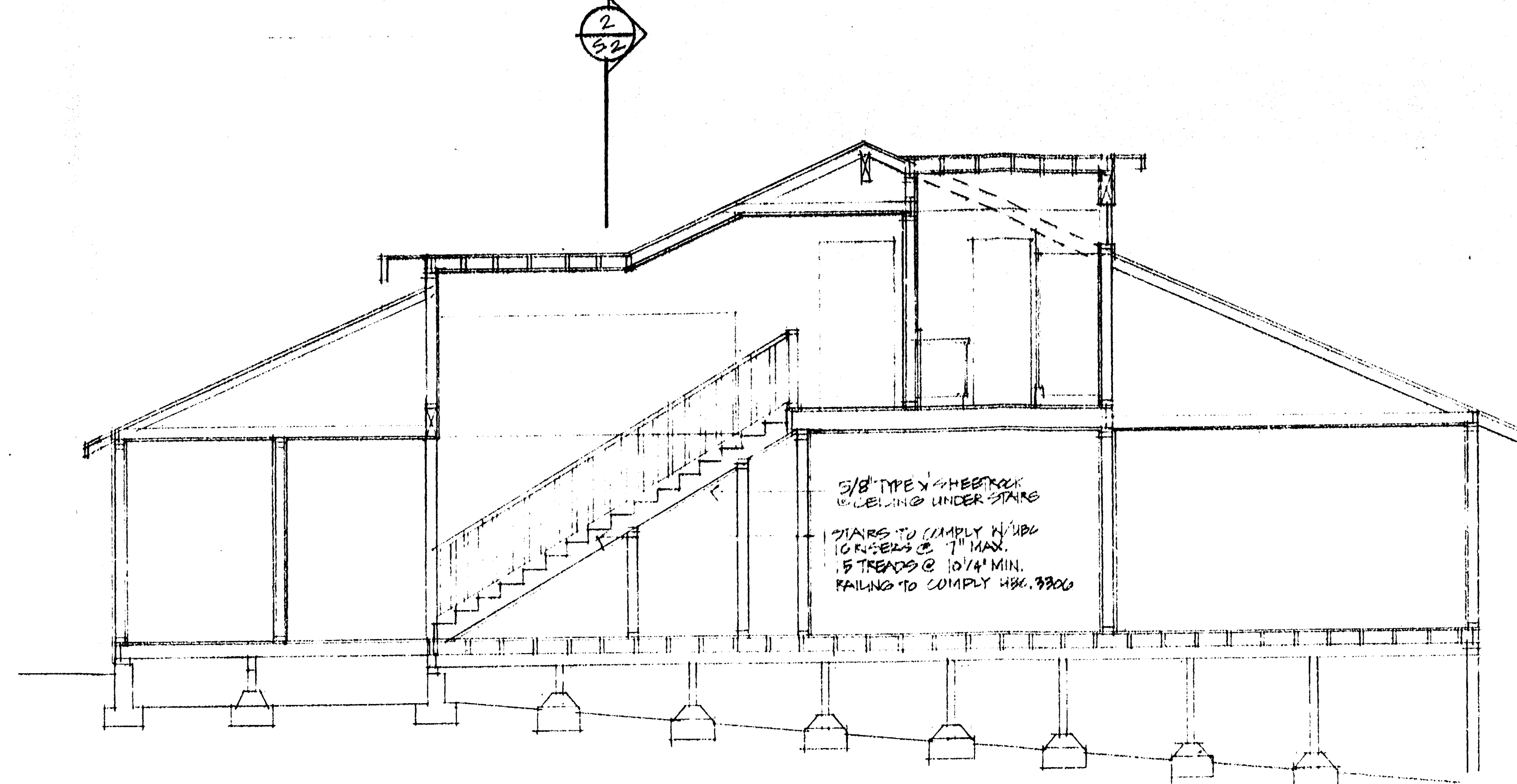
1. **REBAR GRADES:** FY OF REBAR= 40,000 PSI FOR #4 AND SMALLER, 60,000 PSI FOR #5 AND LARGER.
2. **CONCRETE STRENGTH:** F'C OF CONCRETE= 2,000 PSI FOR FOOTINGS AND 2,000 PSI FOR OTHER USES.

1. **EPOXY GROUTING** WILL BE USED IN ALL LOCATIONS WHERE EITHER ALL THREED ROD OR REBAR ARE BEING EMBEDDED INTO EXISTING CONCRETE OR BRICK MASONRY UNLESS NOTED OTHERWISE.
2. **DRIILLED HOLES** SHALL BE DRIILLED WITH ROTARY HAMMER. SIZE SHALL BE 1/2 INCHES IN DIAMETER LARGER THAN ROD OR BAR SIZE. IMMEDIATELY BEFORE APPLYING EPOXY GROUT, HOLES SHALL BE BLOW OUT WITH OIL-FREE COMPRESSED AIR.
3. **EPOXY GROUT** FOR DOWNWARD HOLES MAY BE EITHER NON-SAG TYPE, OR LIQUID TYPE. NON-SAG SET, HORIZONTAL OR OVERHEAD HOLES SHALL BE NON-SAG TYPE, NORMAL SET. LIQUID EPOXY SHALL BE POURED SLOWLY INTO THE HOLE TO FILL THE HOLE TO THE TOP. FOR SAG EPOXY SHALL BE MIXED WITH A CALK GUN WITH AN EXTENSION NOZZLE FITTED TO SAG EPOXY SHALL BE PUMPED TO THE HOLE. IN BOTH TYPES, THE HOLE SHOULD BE FILLED APPROXIMATELY HALF FULL.
4. **PLACEMENT:** BAR OR ROD SHALL BE SLOWLY INSERTED AND TURNED A MINIMUM OF ONE ROTATION. DO NOT PULL UP AND DOWN ON DOWEL WHEN INSTALLING. REMOVE ANY EPOXY GROUT AROUND HOLE BEFORE SETTING.
5. **CONTRACTOR SHALL** MIX RESIN AND HARDENER PER MANUFACTURER'S SPECIFICATION. EPOXY SHALL BE ADHESIVE ENGINEERING, CONCRETE 1411 OR 1440 SERIES.
6. **CONTRACTOR SHALL** PROVIDE ALL MATERIALS AND LABOR FOR THE EPOXY GROUTING SPECIFICATIONS.

NAILING SCHEDULE	
CONNECTION	NAILING
GIRDER TO SILL - TOE NAIL	3 - 16d - COMMON
JOIST TO SILL OR GIRDER - TOE NAIL	3 - 8d - COMMON
BIRDSING TO JOIST - TOE NAIL	2 - 8d
PLATE TO JOIST OR BLOCKING	16d@8" O.C. - COMMON
TOP PLATE TO STUD - END NAIL	2-16d
TOP PLATE TO SOLE PLATE - TOE NAIL	4 - 8d
DOUBLE STUDS - FACE NAIL	16d@24" O.C
DOUBLE TOP PLATES - FACE NAIL	16d @16" O.
TOP PLATE LAPS	24-16d - COMMON
BUILT UP CORNER STUDS & ANGLES	16d@24" O.C
CEILING JOISTS TO PLATE - TOE NAIL	3-8d
CONTINUOUS HEADER TO STUD	4-8d
CEILING JOISTS - LAPS OVER WALLS	3-16d - COMMON
CEILING JOISTS TO PARALLEL RAFTERS	3-16d - COMMON
WATER TO PLATE TOE NAIL	3-8d
TOP PLATE INTERSECTIONS	3-16d
JOIST OR BLOCKING TO PLATE-TOE NAIL	16d@8" O.C.-COMMON
PLATE TO EACH STUD & PLATE	2-8d
1X5 SHEATHING TO BEARING	2-8d
1/2" PLYWOOD ROOF SHEATHING - EDGES	8d@8" O.C. - COMMON
1/2" PLYWOOD ROOF SHEATHING - FIELD	8d@12" O.C. - COMMON
1/2" PLYWOOD WALL SHEATHING - EDGES	8d@24" O.C. - COMMON
1/2" PLYWOOD WALL SHEATHING - FIELD	8d @12" O.C. - COMMON
1/2" GYP BOARD - ALL STUDS & PLATES	6d COOLERS @ 7.0 C.
5/8" GYP BOARD - ALL STUDS & PLATES	6d COOLERS @ 7.0 C.
5/8" OR 3/4" 1X6 PLYWOOD SUB FLOOR - EDGES	10d@6" O.C. - COMMON
5/8" OR 3/4" 1X6 PLYWOOD SUB FLOOR - FIELD	10d @ 10" O.C. - COMMON

* SEE PLAN FOR SPECIAL HEADER & NAILING REQUIREMENTS
NAILS ARE SINKERS U.N.O.

[illegible]



- FRAMING NOTES:**
1. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
 2. SEE STRUCTURAL SHEET S-1 FOR TYPICAL NOTES AND DETAILS.
 3. SEE HEADER SCHEDULE ON SHEET S-1 FOR SIZES NOT SHOWN ON PLANS.
 4. SEE NAILING SCHEDULE ON SHEET S-1 FOR TYPICAL SIZES AND SPACING.
 5. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OTHER REQUIRED NOTES AND DETAILS.
 6. SEE SECOND FLOOR FRAMING PLAN FOR THE LOCATIONS AND SIZES FOR STRAPS AND HOLD-DOWNS AT THE FOUNDATION

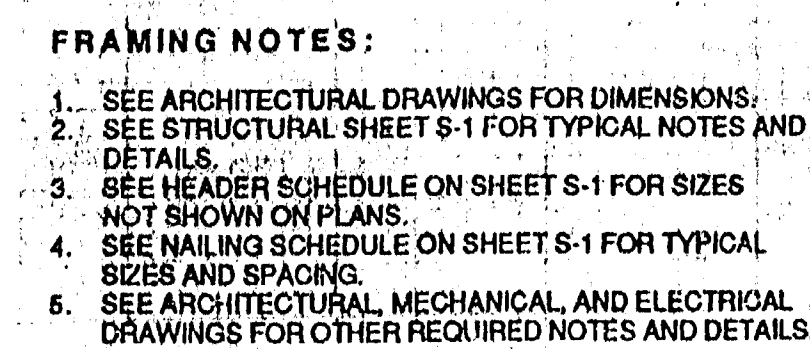
REVISIONS	B

STRUCTURES & ENGINEERING
Joseph M. Bauer, C.E.

435 Middlefield Road Palo Alto, California 94301 415-328-8615

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

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Job	89/37
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Of	5 Sheets



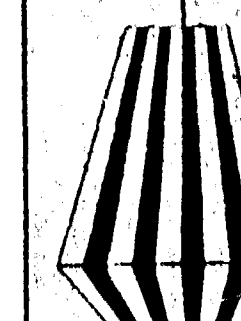
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LOS GATOS CA.

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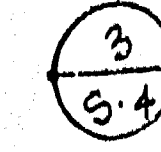
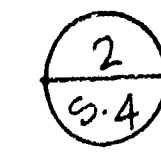
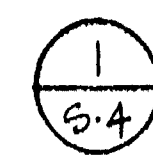
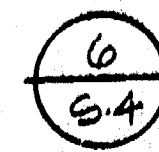
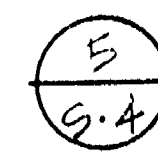
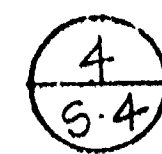
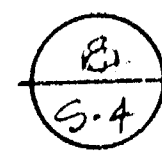
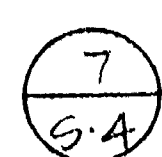
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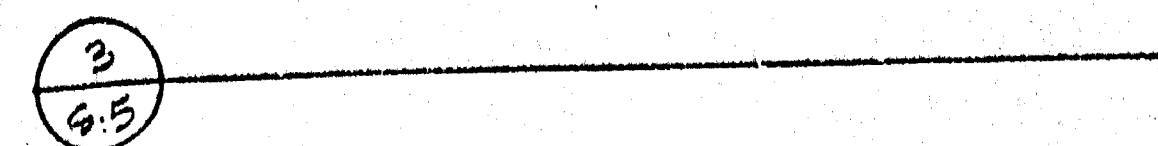
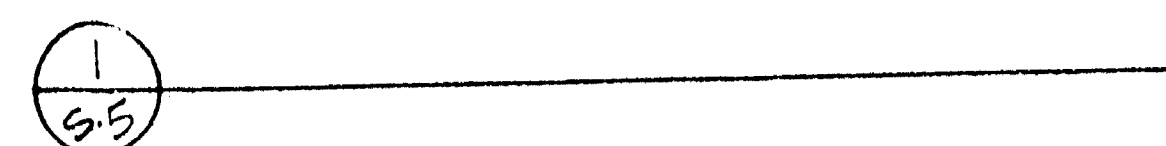
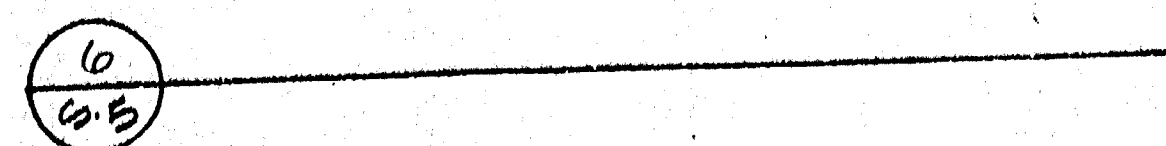
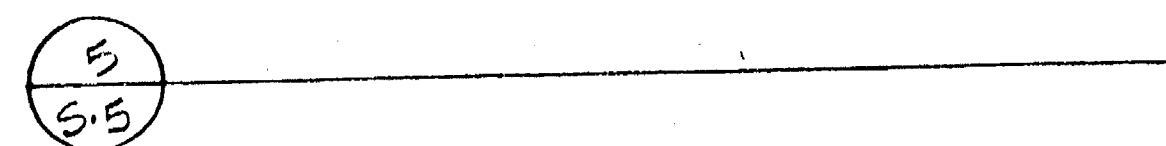
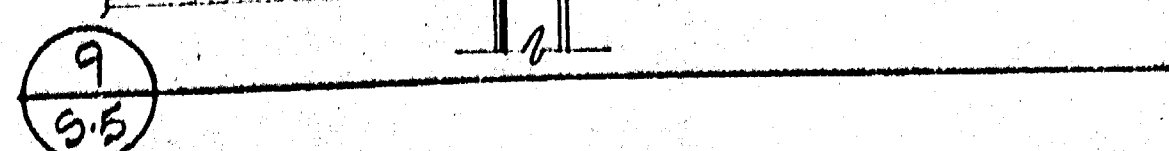
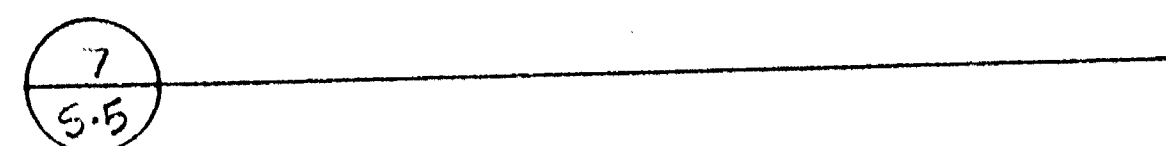
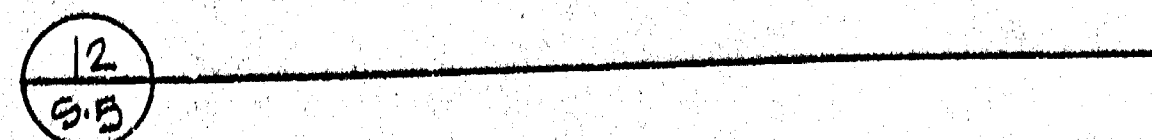
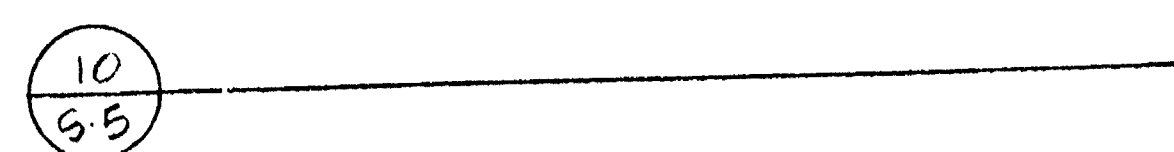
STRUCTURES & ENGINEERING

Joseph M. Bauer, C.E.



100-443887-10





STRUCTURES & ENGINEERING
Joseph M. Bauer, C.E.
Palo Alto, California 94301 415-328-8615

STRUCTURES & ENGINEERING

335 Middlefield Road Palo Alto, California 94301 415-328-8615

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA

Date 9.20.09

Scale AS NOTED

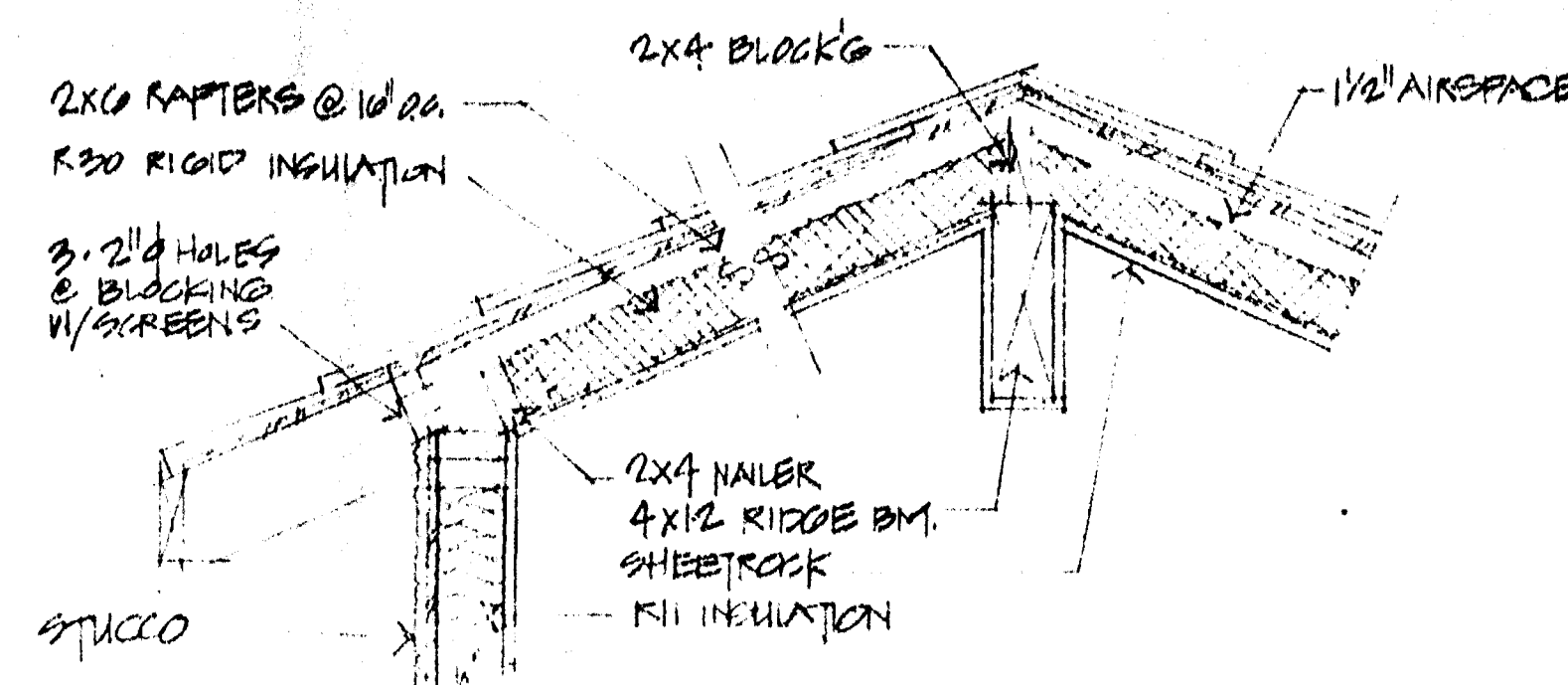
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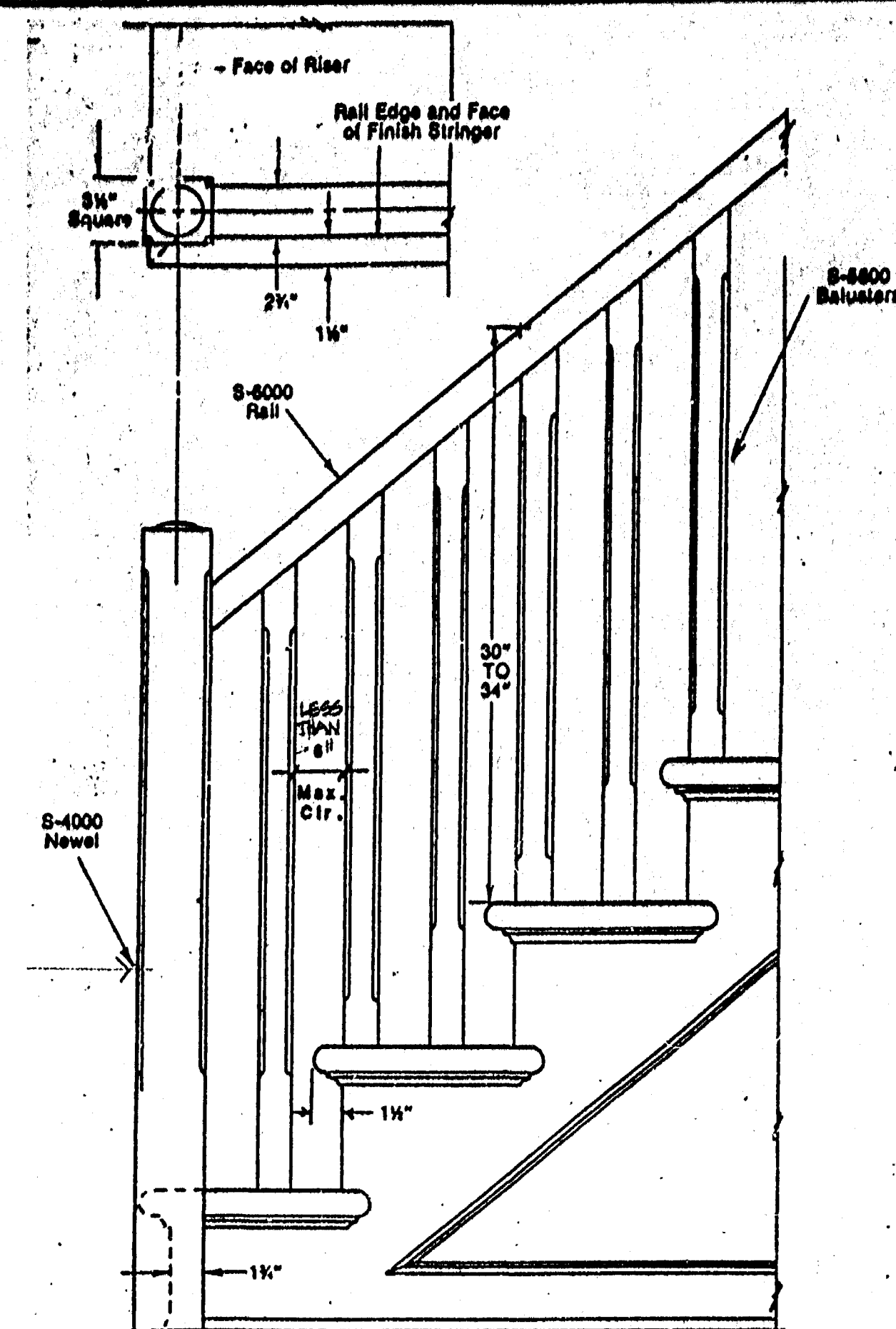
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INSULATION & VENTS @ VAULTED
CEILING CONDITIONS 1/2" = 1'-0"

SAIL TO MEET JOE
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10 PLF SPERMAL
LOAD PER MANUFACTURER
SPECIFICATIONS



GUARDRAIL @ STAIR 1/2" = 1'-0"

REVISIONS	BY
10/24	

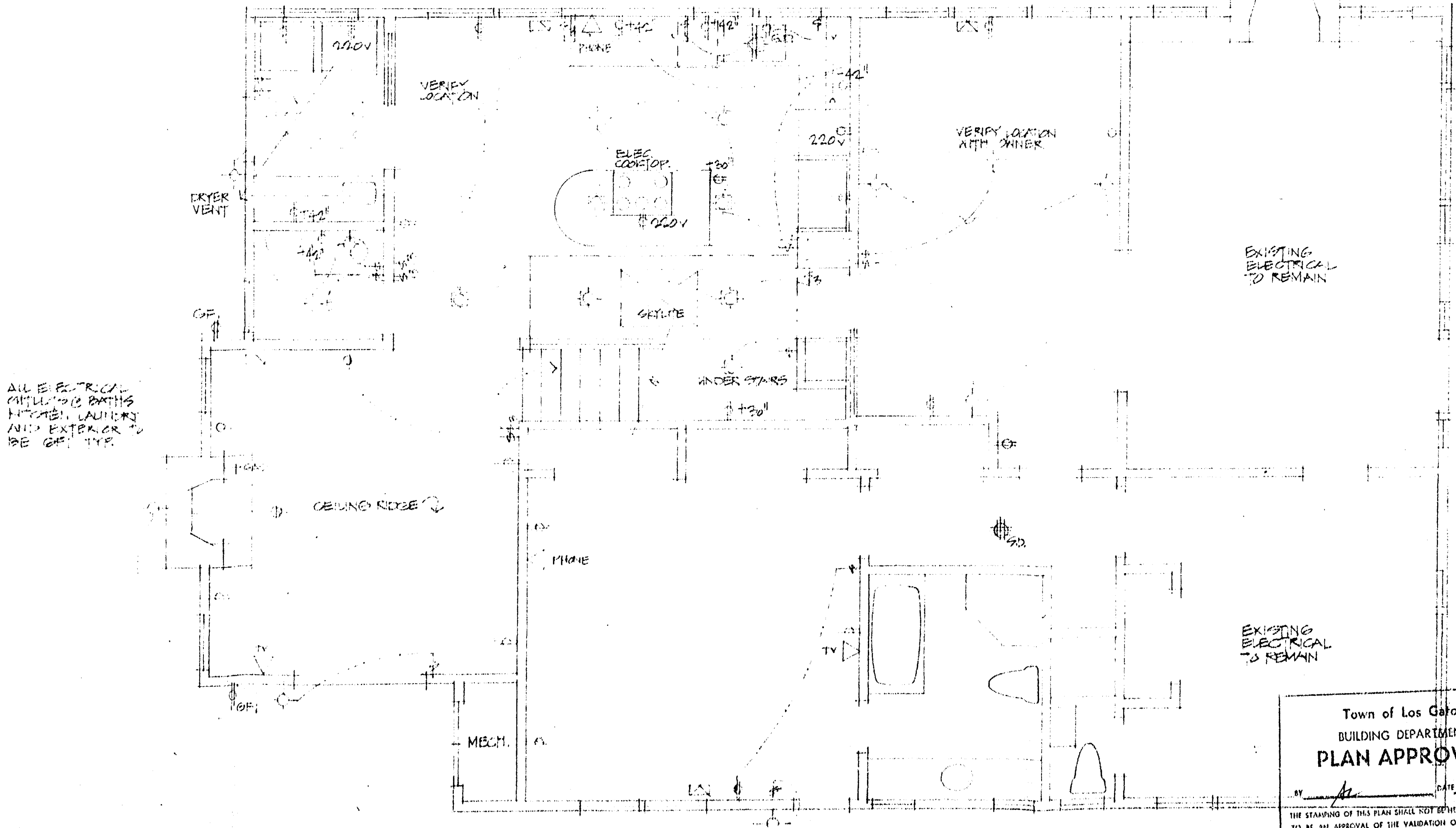
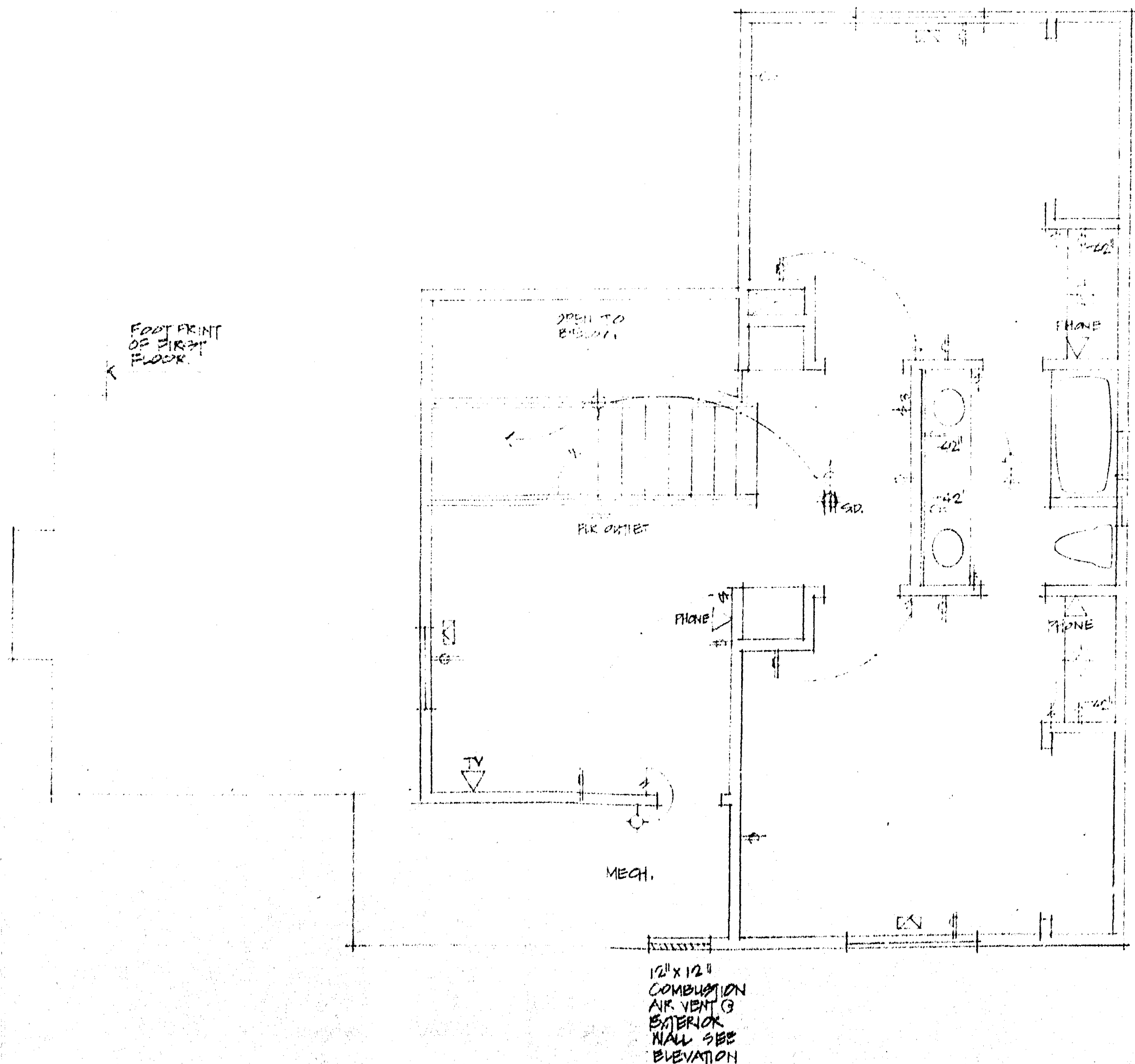
MICHAEL D. VERHUS
ARCHITECT

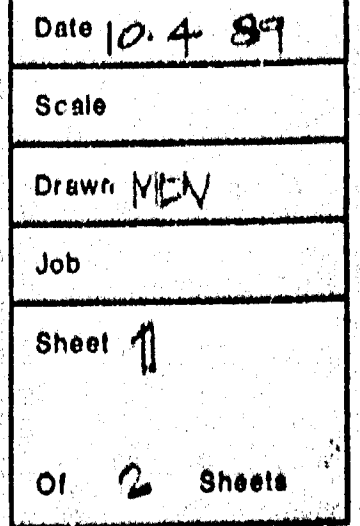
408.395.0660

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Town of Los Gatos
BUILDING DEPARTMENT
PLAN APPROVED
DATE 10/27
BY [Signature]

Date	11/27
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Drawn	MDV
Job	
Sheet	E-1
Of	Sheets







THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING, MAY REQUIRE A SEPARATE APPROVAL.

FOR PLANNING APPROVAL
ONLY

REVISIONS	BY

MICHAEL D. VIERHUS
ARCHITECT
20 C North Santa Cruz Ave Los Gatos, CA 95030
408-395-0660

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Date	10.4.85
Scale	
Drawn	MDV
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Sheet	2
Of	2 Sheets

110 E. MAIN ST., LOS GATOS, CA. 95030
BUILDING INSPECTION DEPARTMENT - PHONE 354-5874

B 17371

BUILDING PERMIT APPROVAL		DATE
PLAN DEPT	Kuh Hume	10/14/81
TYPE, AREA, DIST	1.2.4.6	11/1/81
TIME DEPT	10/14/81	10/14/81
BUILDING DEPT	10/14/81	10/14/81
SEWER CONTRACT		
JP	TYPE	
SB	CONST	V-N
SEAR	OCC	
SB	GROUP	R-3
LEFT	USE	
SB	ZONE	
RIGHT	TIME	
SB	SOP	
VALUATION	\$	92,000
Fees & Taxes		
BUILDING PERMIT	\$	594.15
SEISMIC TAX		6.30
CONSTRUCTION TAX		120.00
UTILITY TAX		180.00
PARK TAX		4.00
PLAT CHECK FEE	PAD 351.43	4.00
TOTAL	\$	1000.85

PC 384.43 INSPECTION RECORD
 11 SEP 1968 0800
 3. CHANGIFY FROM O/F. TO CONTINUED
 5/12/70

SHEET PAPER
PAPER CONSTRUCTION
ALL POWER SL
CO. CARDS, CARD 2506.
346-1893
6 278 C.F. INSULATION BUBB
CIR B 391761
6 2170 D.L. PLUMB, CEILING, CHS -- BUBB
1 277 Raychally, 1st floor BUBB
1 272 K 101 1954 CARDS 907070A BUBB

OVER.

APPROVALS	
6-18-90	Bill B.
7-19-90	Bill B.
9-2-90	Bill B.
10-1-90	Bill B.
2-11-91	Bill B.

[illegible]

SHIMANO INSPECTION DEPARTMENT • PHONE 884-8876
INSPECTION PROMOTE PHONE 884-8877

1

APPROVALS		
	DATE	INSPECTOR'S SIG.
UNDERFLOOR WORK		
ROUGH PLUMBING	7-7-90	B. J. B.
GAS PIPING	7-13-90	B. J. B.
GAS VENTS		
HOT WATER HEATER		
HOUSE SEWER		
PLUMBING FIXTURES		
GAS TEST		
UTILITY CO. NOTIFIED		
FINAL	2-11-91	B. J. B.

BUILDING INSPECTION DEPARTMENT • PHONE 354-8876
INSPECTION REQUESTS PHONE 354-8877

1

CONCLUSIONS & RECOMMENDATIONS

TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT • PHONE 384-0876
INSPECTION REQUESTS PHONE 384-0877

M 11003

1

ITEM	NO. OF ITEMS	AMOUNT	\$	PER
FURNACE		15.00 EA.		
DUCT OUTLET OR REGISTER	7	1.00 EA.	7.00	
AIR CONDITIONER		15.00 EA.		
FIREPLACE	1	12.00 EA.	12.00	
INSTALLATION, REPAIR OR ALTERATION OF HEATING UNIT, A/C, BOILER, COMPRESSOR, OR AIR HANDLER		15.00 EA.		
VENTILATING FAN	2	6.00 EA.	12.00	
HOOD, RESIDENTIAL		12.00 EA.		
HOOD, COMMERCIAL		22.00 EA.		
FLUE, VENT	1	6.00 EA.	6.00	
EVAPORATIVE COOLER		12.00 EA.		
SOLAR COLLECTOR		22.00 SYSTEM		
OTHER MECHANICAL APPLIANCE		12.00 EA.		
GAS		10.00 SYSTEM		

NEW RES CONST _____ SQ FT X \$ 0.25 =

PLAN REVIEW @ 25%

ISSUANCE OF PERMIT

15.00

TOTAL FEES \$

52.00

CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTOR'S LICENSE LAW

SIGNATURE X

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE X

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE X

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO MECHANICAL CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE X

BUILDING ADDRESS	STREET, AVE., BLVD	APT NO
16488 Bonnie Ln.		
USE OF BUILDING	Residential	
OWNER	[REDACTED]	
PHONE	[REDACTED]	
MAIL ADDRESS	16488 Bonnie Ln.	
CITY	Los Gatos CA	ZIP 95032
CONTRACTOR	Steve Rehler	PHONE [REDACTED]
MAIL ADDRESS	211 Dover St.	
CITY	Los Gatos	ZIP 95032
STATE LICENSE	B391911	TOWN LICENSE
DESCRIPTION OF WORK		

GROUP	USE ZONE	PROCESSED BY	DATE
		BB	10/1/90

INSPECTION RECORD

VALIDATION 5817A111 10/01/90 TOTAL 52.00
15:15

APPROVALS

	DATE	INSPECTOR'S SIG
UNDERFLOOR WORK		
DUCT WORK		
FLUES, VENTS		
COMBUSTION AIR		
GAS TEST	9-13-90	B-2113
FINAL	2-11-91	B-24B



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 10/25/2023

ITEM NO: 5

DATE: October 20, 2023

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Preliminary Review for Construction of Exterior Modifications and a New Second-Story Addition to an Existing Noncontributing Single-Family Residence on Property in the Almond Grove Historic District Zoned R-1D: LHP. **Located at 215 Massol Avenue.** APN 510-16-022. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Request for Review Application PHST-23-017. Property Owner: Jim and Sara McManis. Applicant: Jay Plett. Project Planner: Suray Nathan.

RECOMMENDATION:

Preliminary review for construction of exterior modification and a new second-story addition to an existing noncontributing single-family residence on property in the Almond Grove Historic District Zoned R-1D: LHP located at 215 Massol Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1949
2. Town of Los Gatos Historic Status Code: None
3. Does property have an LHP Overlay? Yes
4. Is structure in a historic district? Yes, Almond Grove Historic District
5. If yes, is it a contributor? No
6. Findings required? N/A
7. Considerations required? Yes

BACKGROUND:

The subject property is located on the west side of Massol Avenue, approximately 145 feet north of Nicholson Avenue (Attachment 1). The County Assessor indicates that the residence at 215 Massol Avenue was constructed in 1949, and the property was not included in the Anne Bloomfield Survey. The residence does not appear on the Sanborn Fire Insurance Maps until 1956 (Attachment 2). Town records indicate that in 2002, a 75 square-foot laundry room was demolished and rebuilt into a 150 square-foot laundry room.

PREPARED BY: Suray Nathan
Assistant Planner

DISCUSSION:

The property is located on the west side of Massol Avenue, between Nicholson and Bachman Avenues (Attachment 2). The applicant is requesting a preliminary review by the Committee for the construction of exterior modifications and a new second-story addition to an existing single-family residence in the Almond Grove Historic District (Attachments 3 and 5).

The development plans show that portions of all sides of the residence would remain (Attachment 5). The existing windows at the front and left elevation will be enlarged and replaced. The window facing the existing porch at the front elevation will be replaced with a three-panel folding door. Portions of the right side and rear elevation would be demolished for the new ground floor addition. The additions to the ground floor would expand the existing footprint of the residence along the right and rear elevations. A new second-story addition would be slightly set back from the front façade to accommodate the existing roofed front porch on the left side of the house.

The proposed additions would maintain and reinforce the existing Craftsman architectural style with exterior materials, including wood lap and stone siding, fiberglass-clad wood windows, bonderized gutters, and composite roof shingles (Attachment 5). The applicant proposes to replace all existing windows with Anderson fiberglass-clad wood windows. The porch at the front is to remain, but the railing will be replaced. Specifics of the style and material of the proposed new railing has not been provided.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and other pertinent factors. Applications shall not be granted unless:

In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property, which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

B. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for the construction of additions to existing residences (Attachment 4).

PAGE 3 OF 3

SUBJECT: 215 Massol Avenue/PHST-23-017

DATE: October 20, 2023

CONCLUSION:

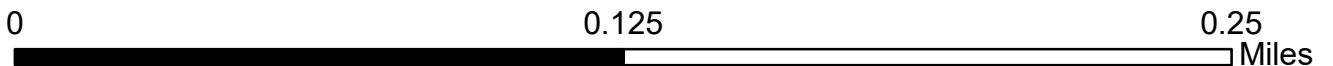
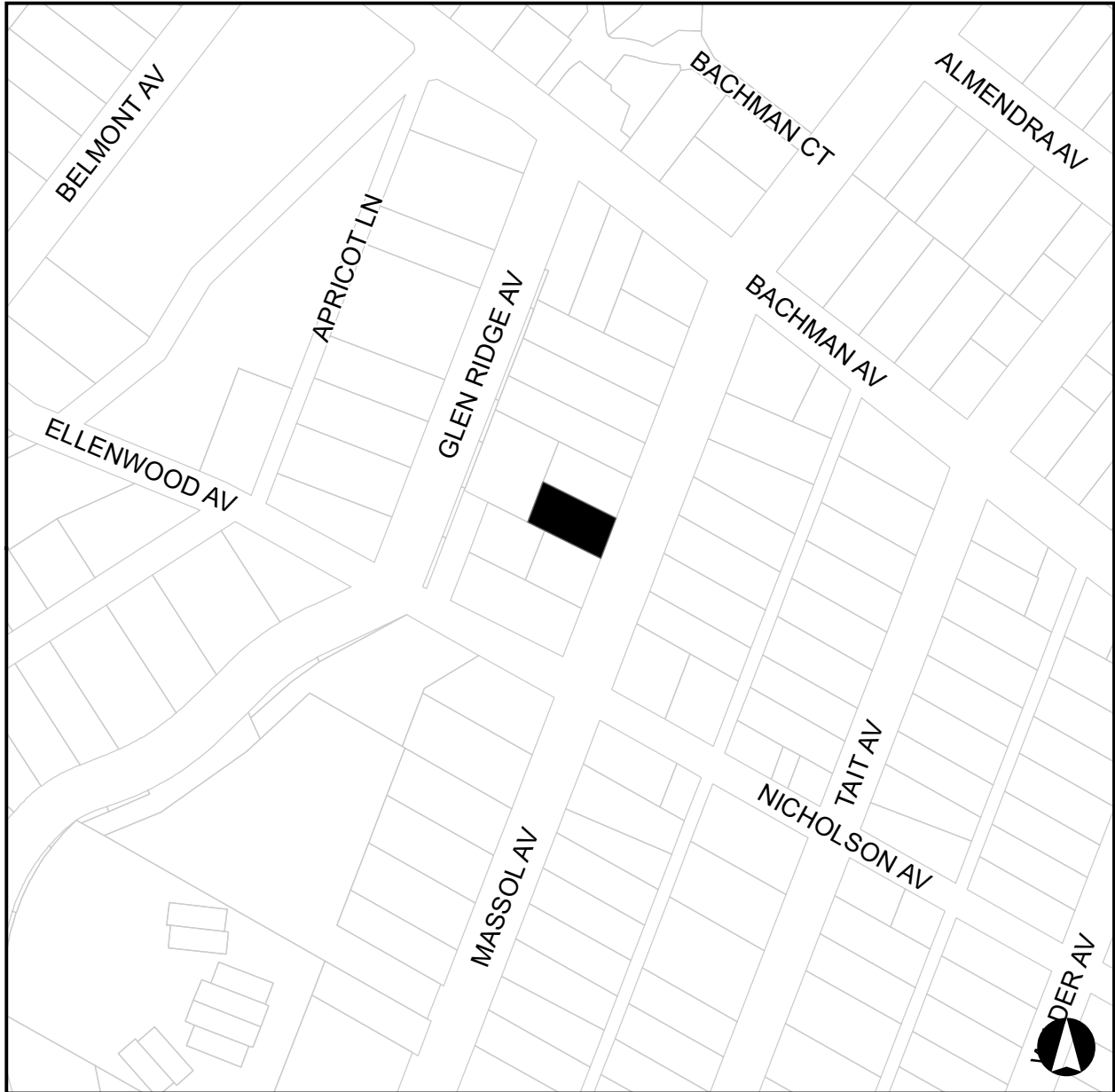
The applicant requests a preliminary review by the Committee for the construction of exterior alterations and a new second-story addition to an existing noncontributing single-family residence on property located in the Almond Grove Historic District zoned R-1D: LHP. The project could be processed under a Minor Residential Development application. The application would return to the Committee for a formal recommendation to the deciding body.

ATTACHMENTS:

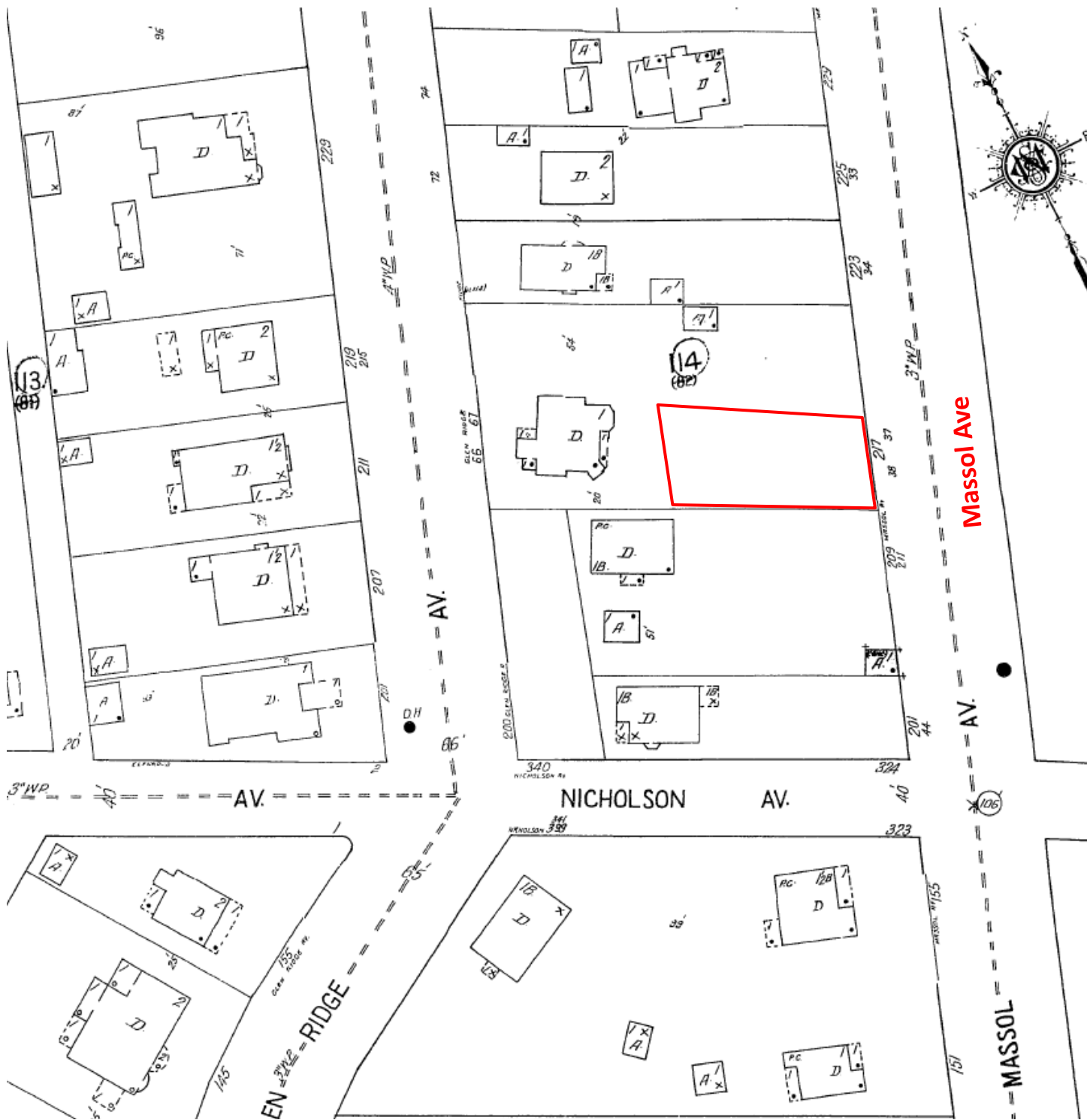
1. Location Map
2. Sanborn Exhibit
3. Photos
4. Section 3.9, Residential Design Guidelines
5. Development Plans

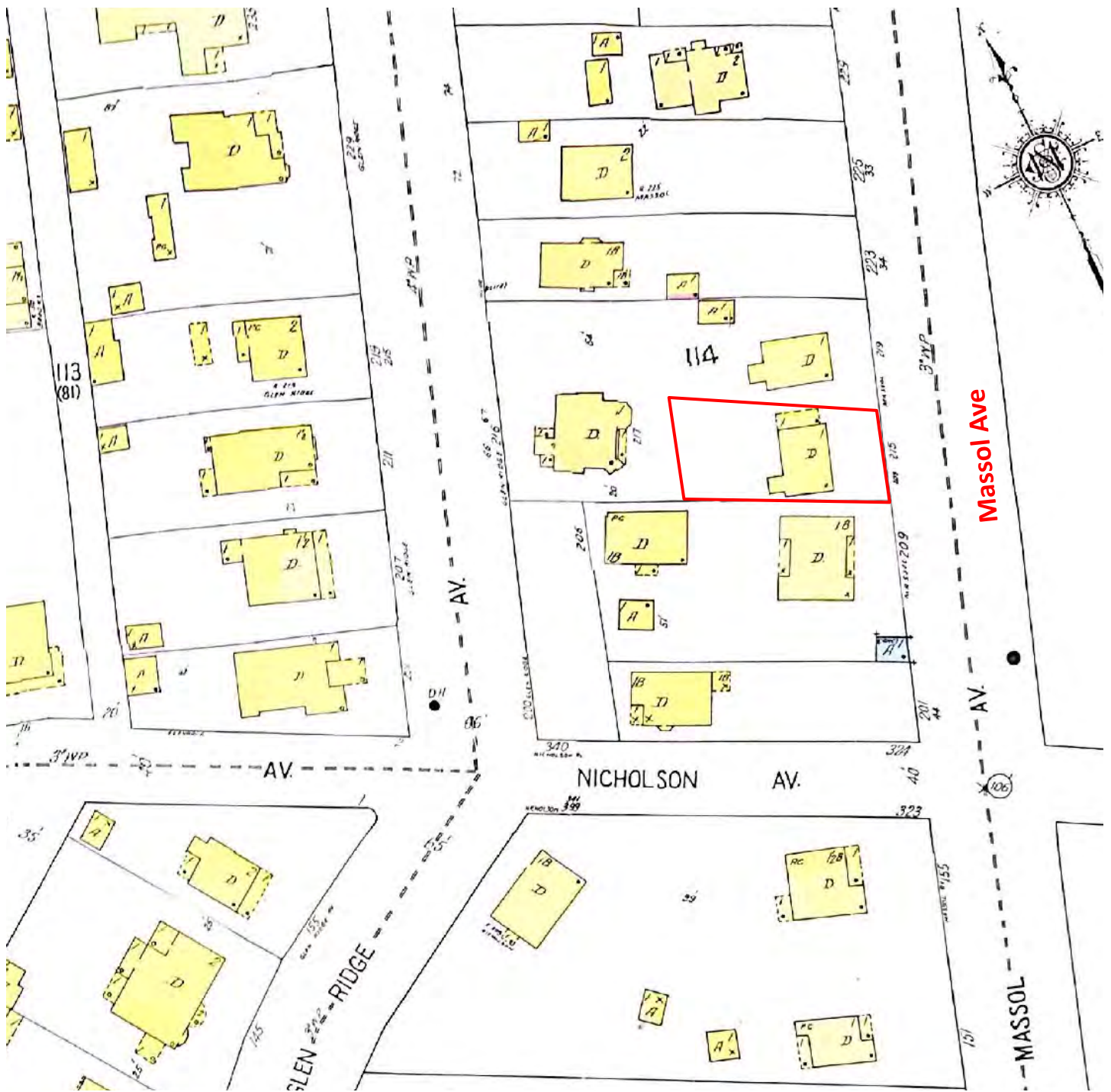
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215 Massol Ave



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PROJECT PHOTOS



SIDE VIEW



FRONT VIEW



SIDE VIEW

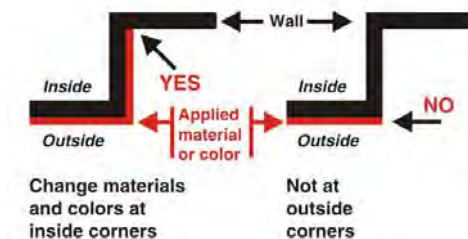
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3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN

3



Original structure



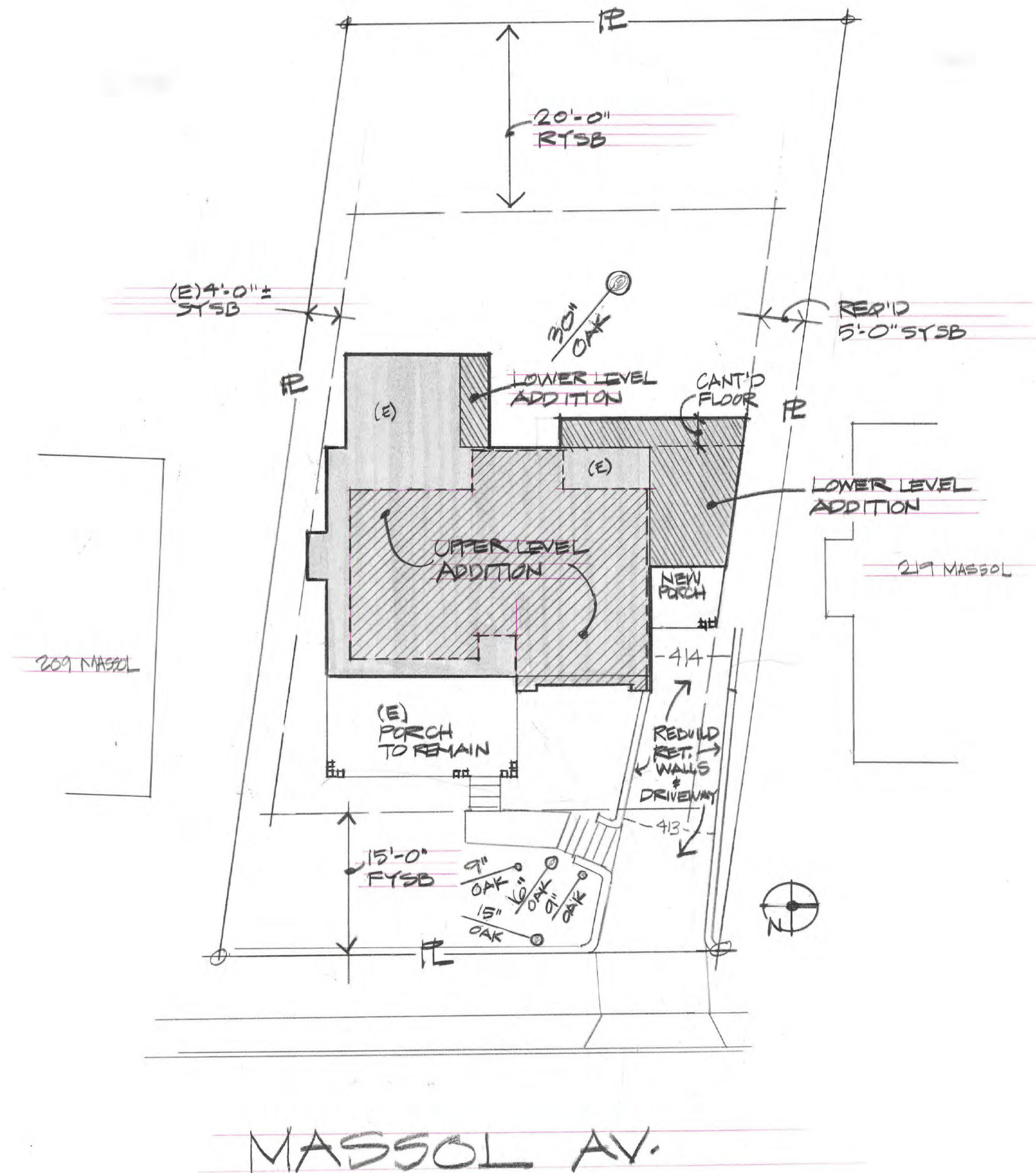
Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.



SITE PLAN

PROJECT DESCRIPTION
REMODEL NON-HISTORIC HOME WITH
2ND FLOOR ADDITION.

OWNERS

SITE PARTICULARS
APN: 510-16-022
ZONING: R-1D LHP
AVG S: 9.6%

AREA SUMMARY

SITE	5,243 SF
FAR = .35	
ALLOWED FLOOR AREA	1,825 SF

PROPOSED FLOOR AREAS

	EXISTING	ADDED	TOTALS
GROUND	953	224.5	1,177.5 SF
UPPER	0	536.5	536.5 SF
TOTAL ADD		161.0	
TOTAL FLOOR AREA			1,114.0 SF

TABLE OF CONTENTS

- A-1 SITE PLAN
- A-1.1 NEIGHBORHOOD PLAN
- A-2 FLOOR PLANS
- A-3 SECTION/ROOF PLAN
- A-4 ELEVATIONS - EAST/NORTH
- A-5 ELEVATIONS - SOUTH/WEST
- AB-DI AS BUILT/DEMO PLAN
- SHW-1 SHADOW STUDY

Print date :

09/18/23

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MCMANIS RESIDENCE
215 MASSOL AVENUE

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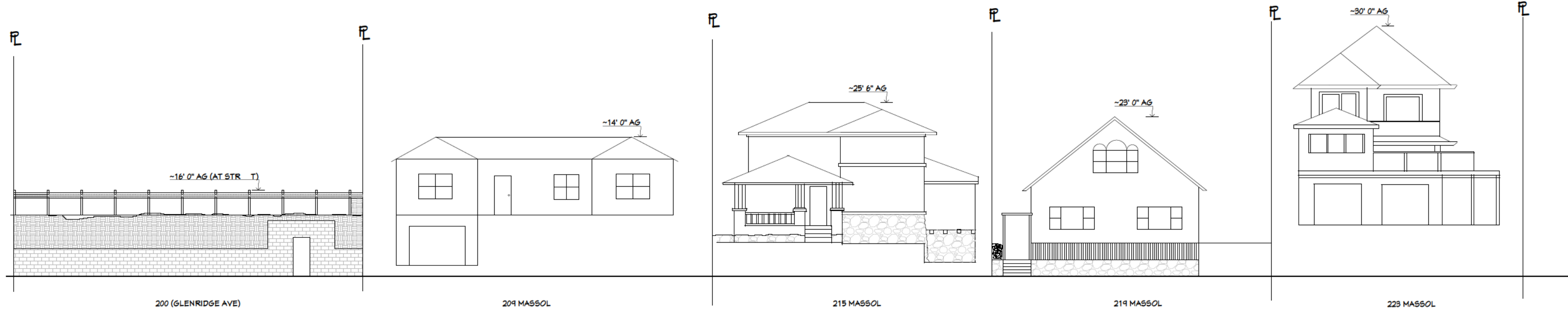
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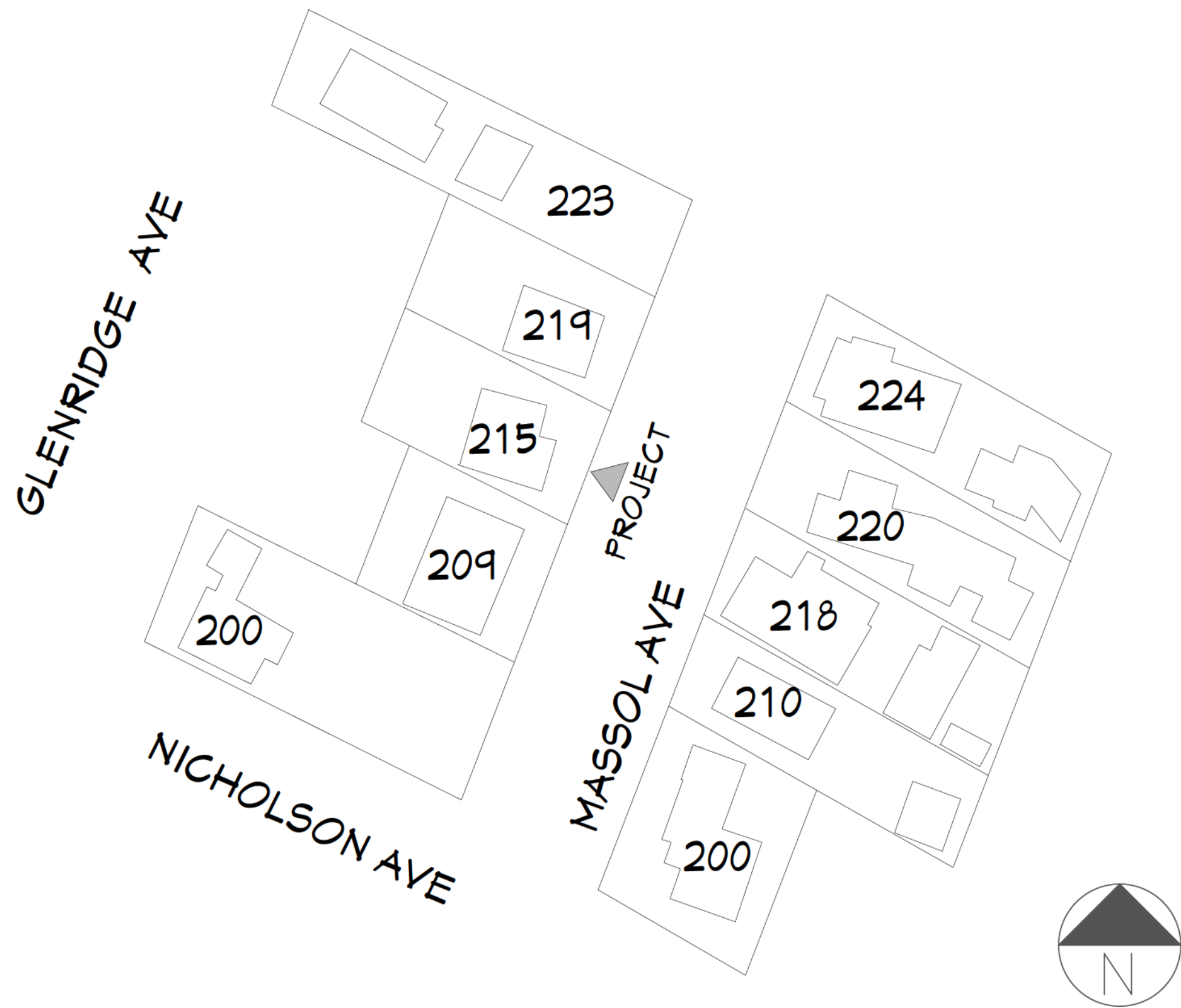
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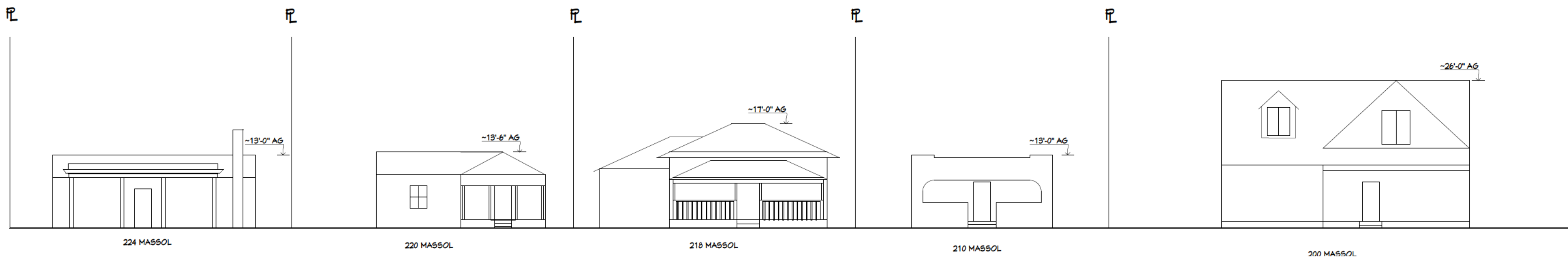


STREETSCAPE LOOKING WEST
1/16" = 1'

FLOOR AREA / FAR COMPARISONS			
ADDRESS	LOT SIZE	FLOOR AREA	FAR
223 MASSOL	6,975 NET	2,411	0.33
219 MASSOL	5,300	1,942	0.37
209 MASSOL	4,928	1,724	0.35
200 GLEN RIDGE	9,548	1,280	0.13
200 MASSOL	6,100	2,167	0.36
210 MASSOL	5,964	832	0.14
218 MASSOL	7,100	2,305	0.32
220 MASSOL	7,050	1,742	0.25
224 MASSOL	7,100	1,759	0.25
PROJECT HOUSE			
215 MASSOL	5,300	1,714	0.32
	ALLOWED	1,825	0.35



NEIGHBORHOOD CONTEXT PLAN
1" = 50'



STREETSCAPE LOOKING EAST
1/16" = 1'

NEIGHBORHOOD
CONTEXT

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09/18/2023

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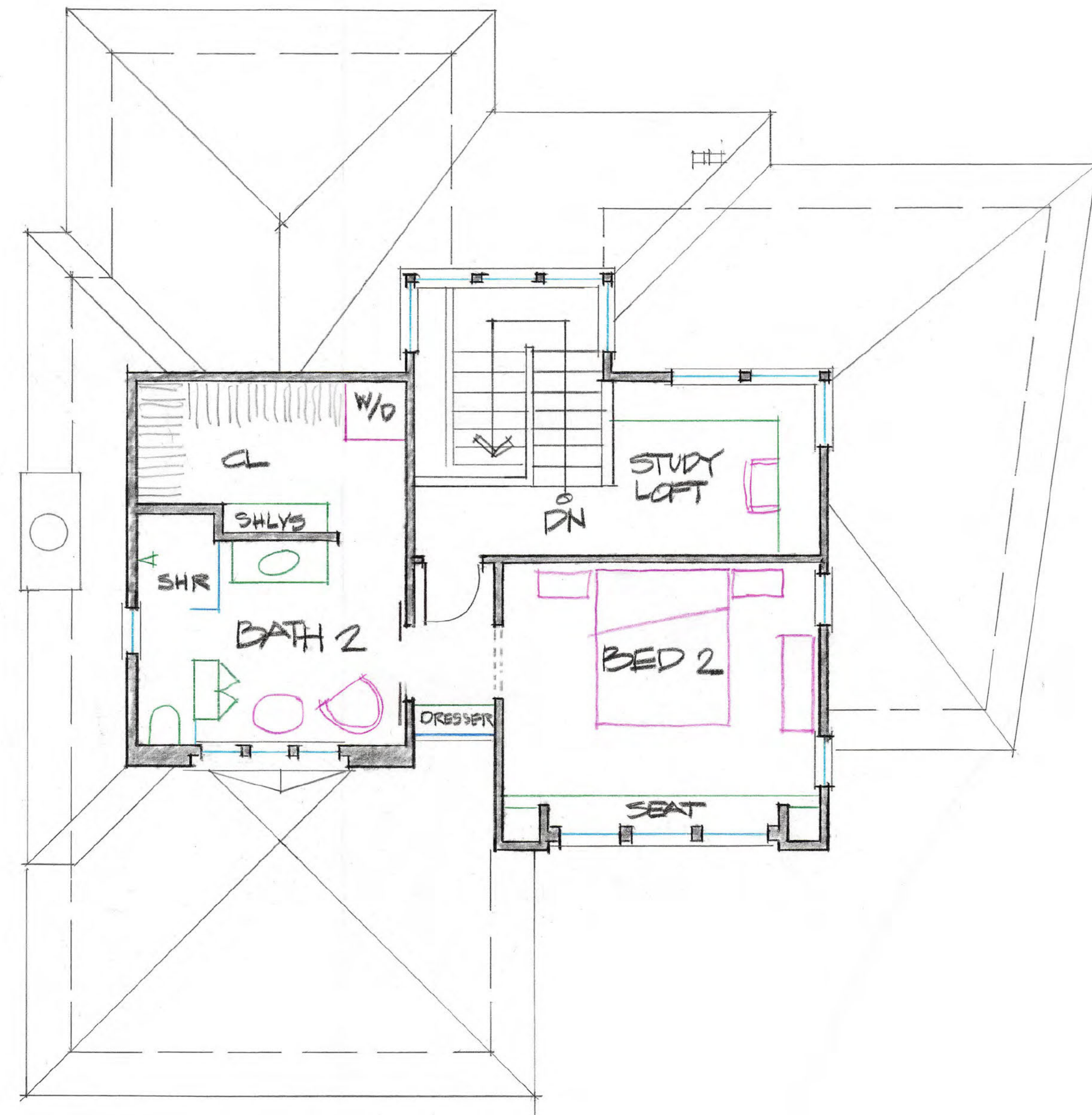
MCMANIS
REMODEL & ADDITION
215 MASSOL, LOS GATOS, CA

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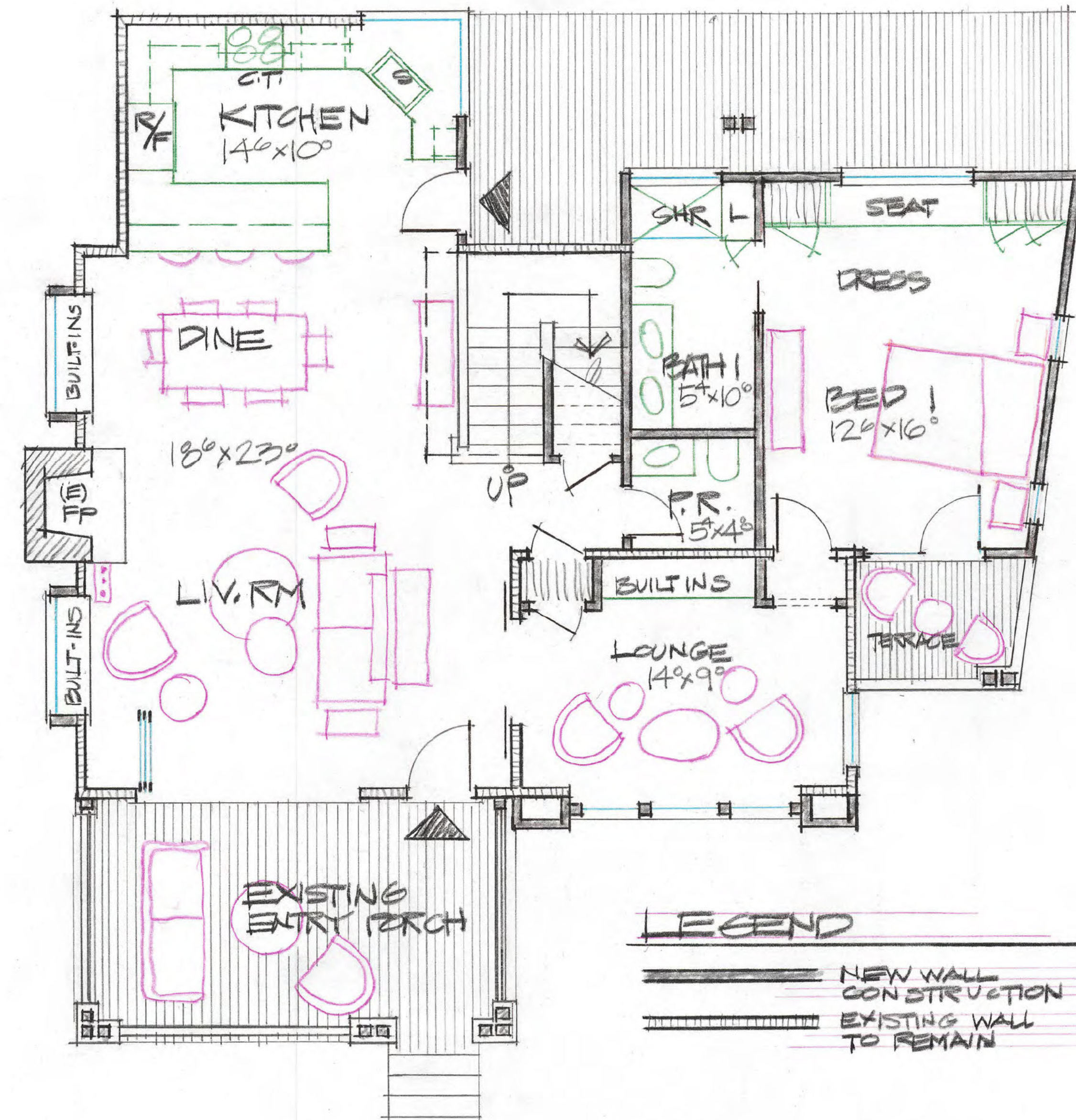
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A-1.1



UPPER FLOOR PLAN



MAIN FLOOR PLAN

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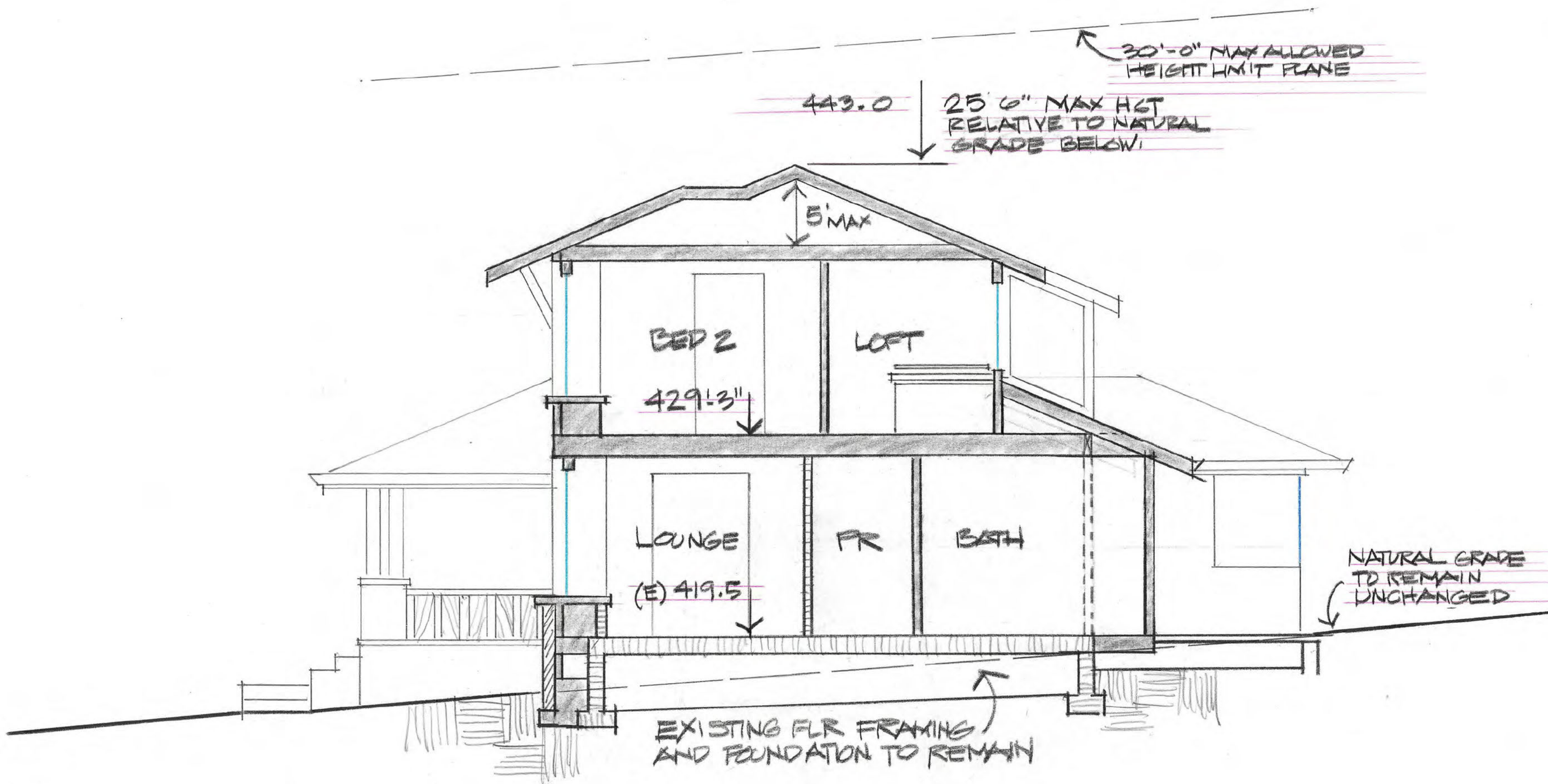
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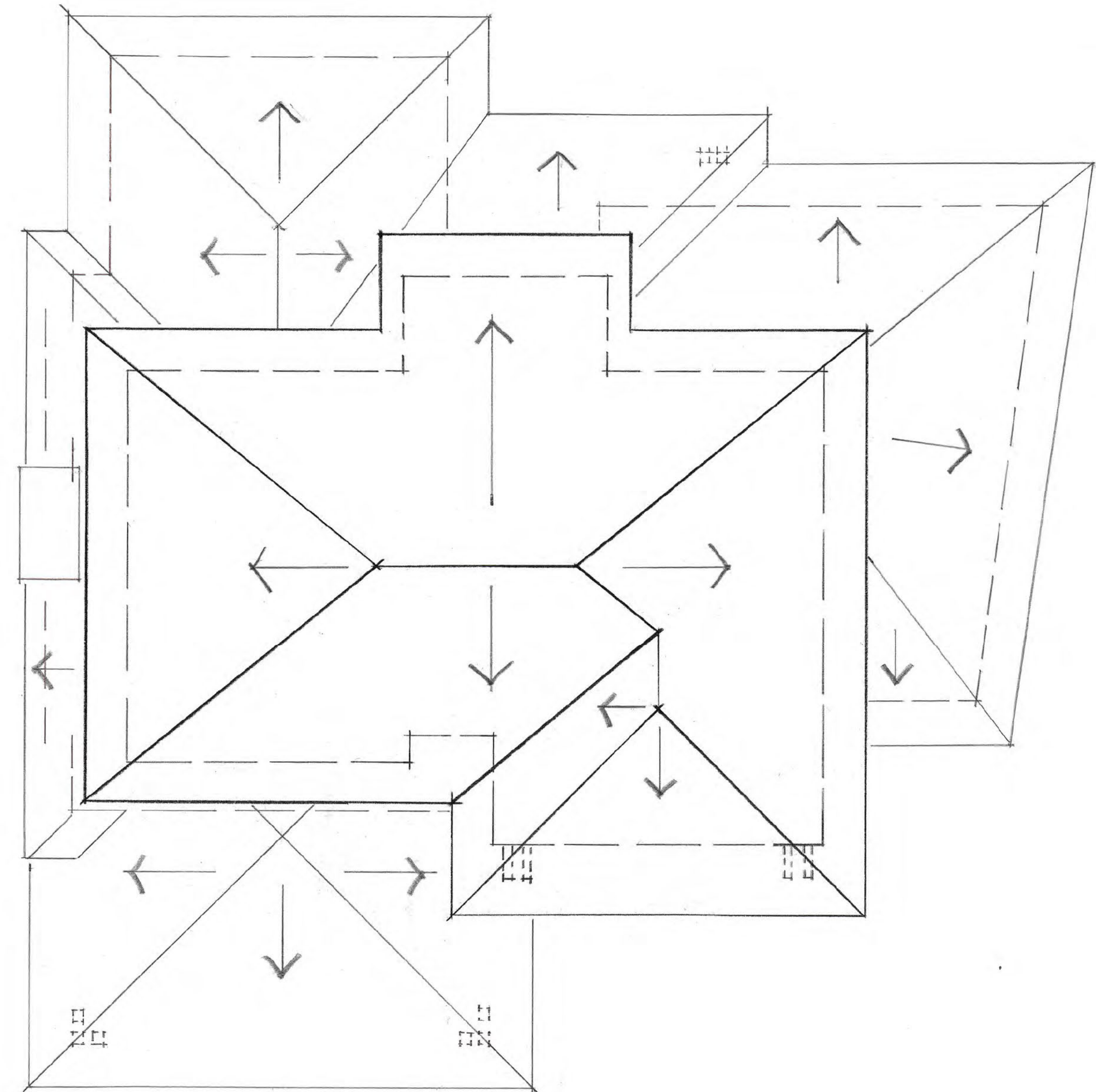
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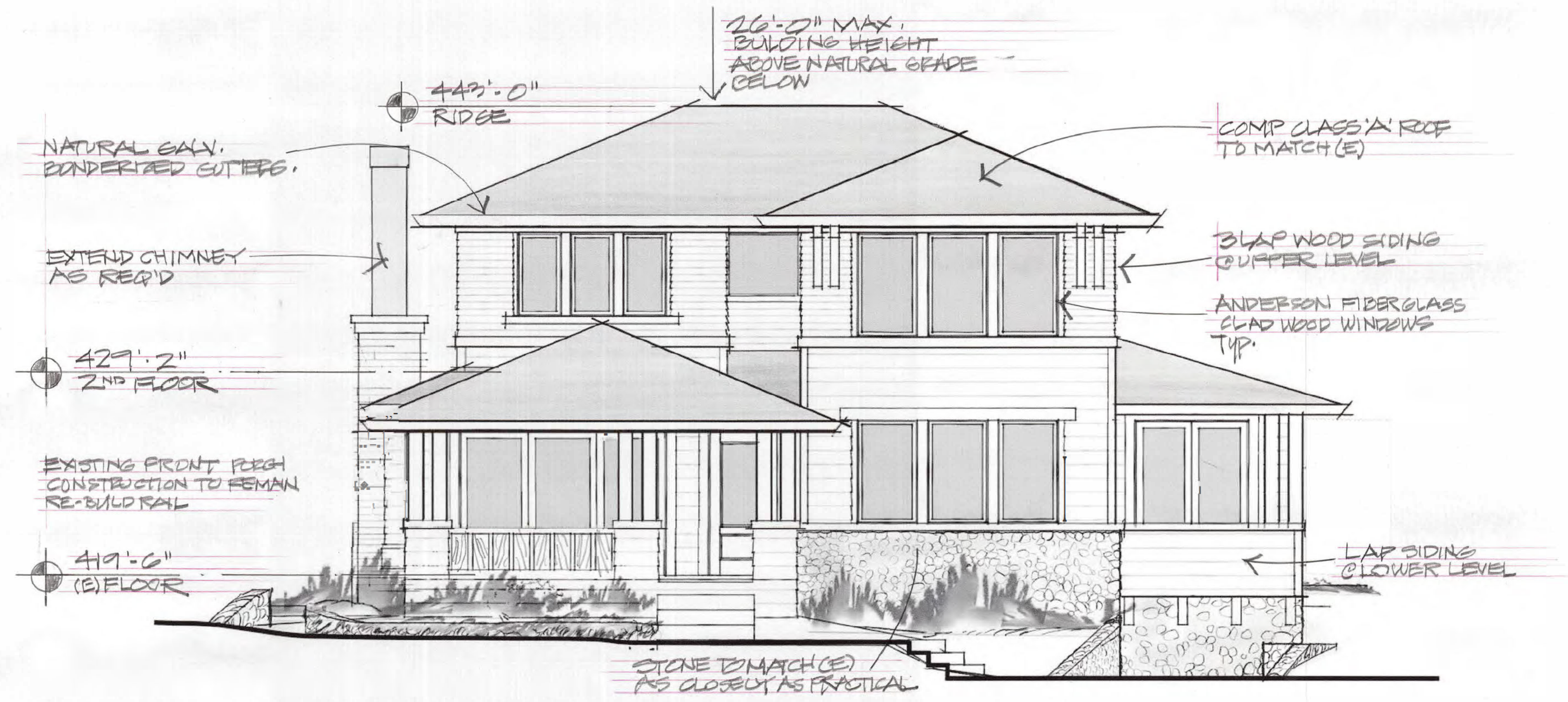
SECTION

1/4" = 1'-0"



ROOF PLAN

1/4" = 1'-0"



EAST/FRONT ELEVATION



NORTH/RIGHT ELEVATION

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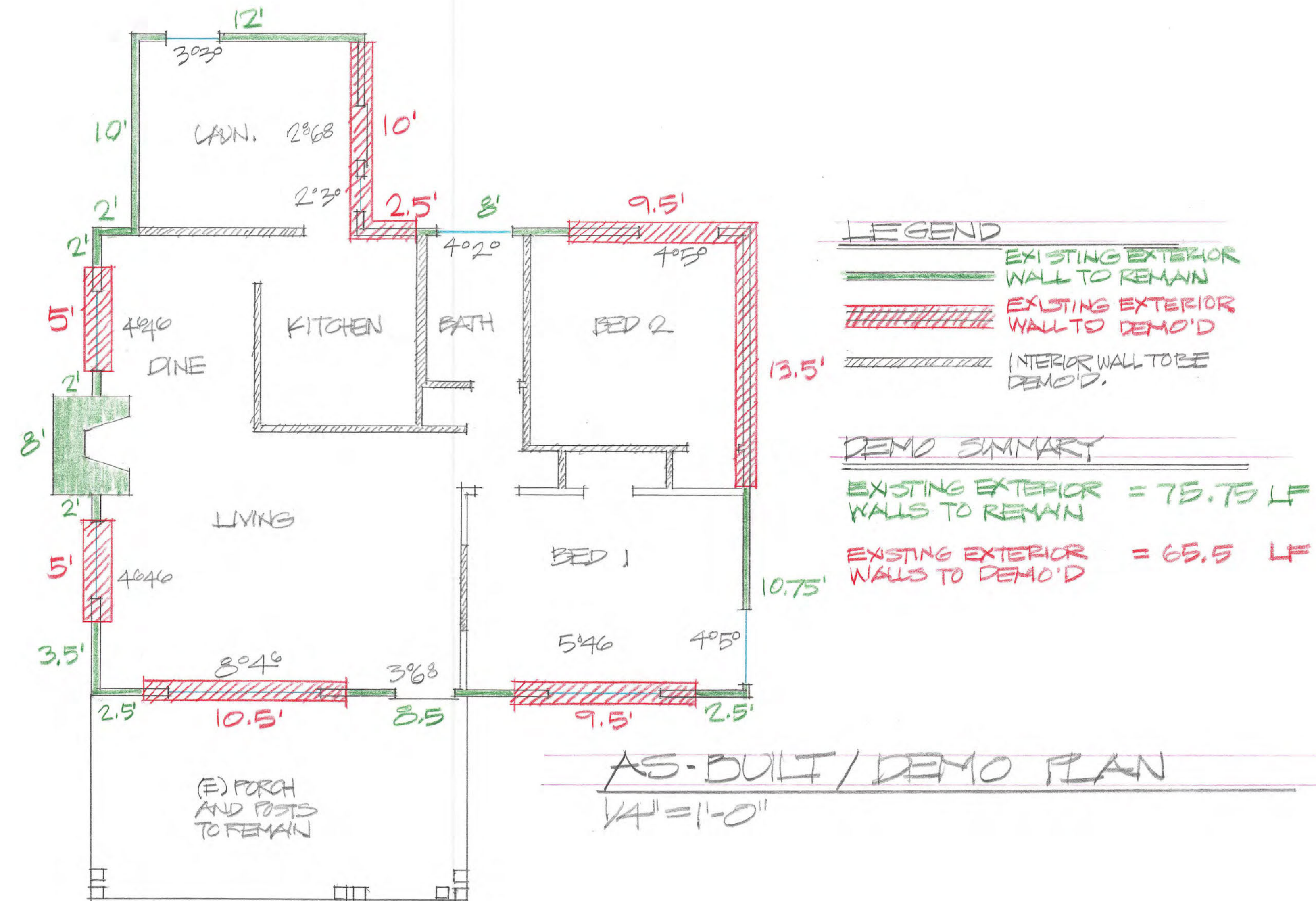
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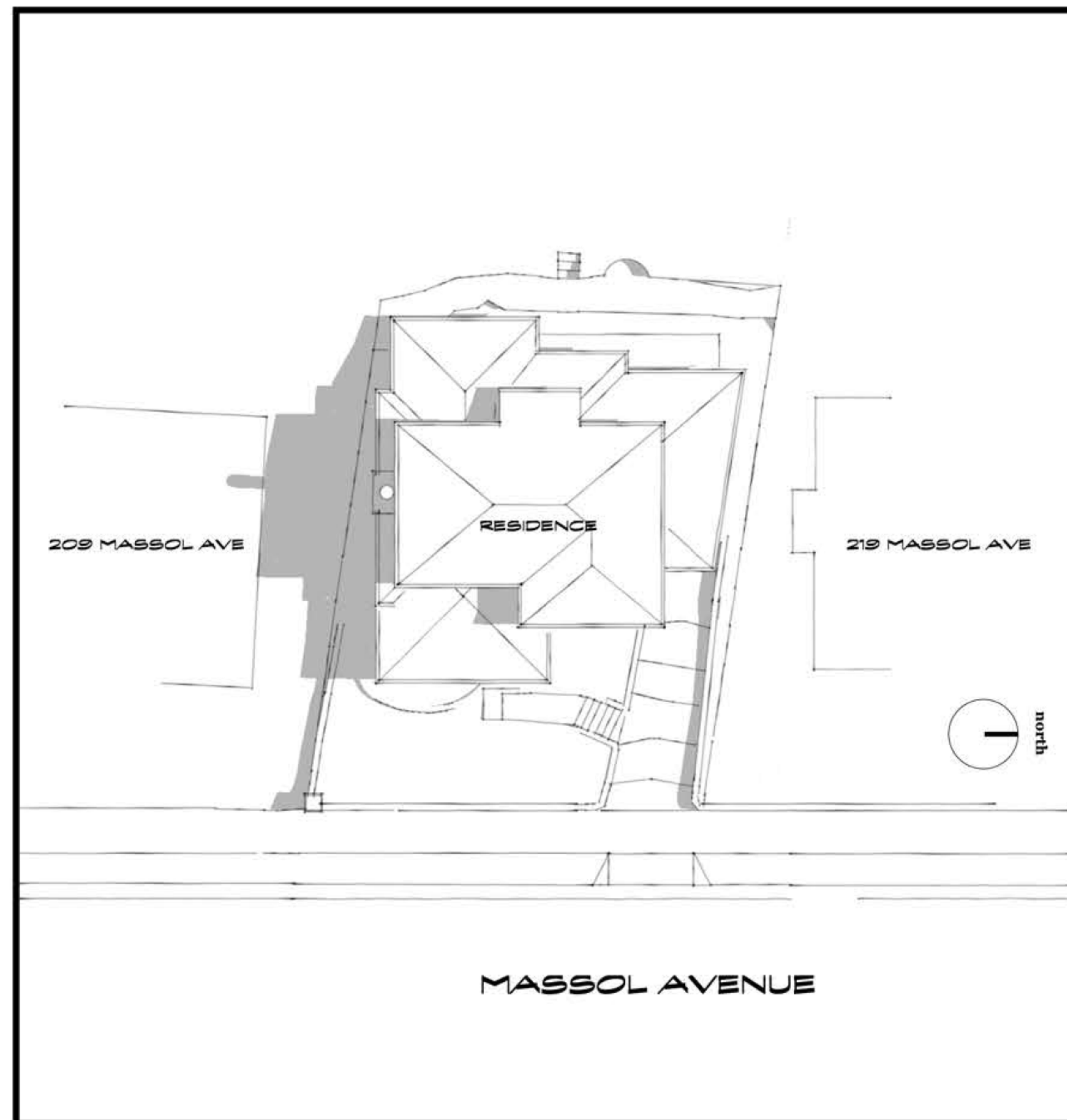
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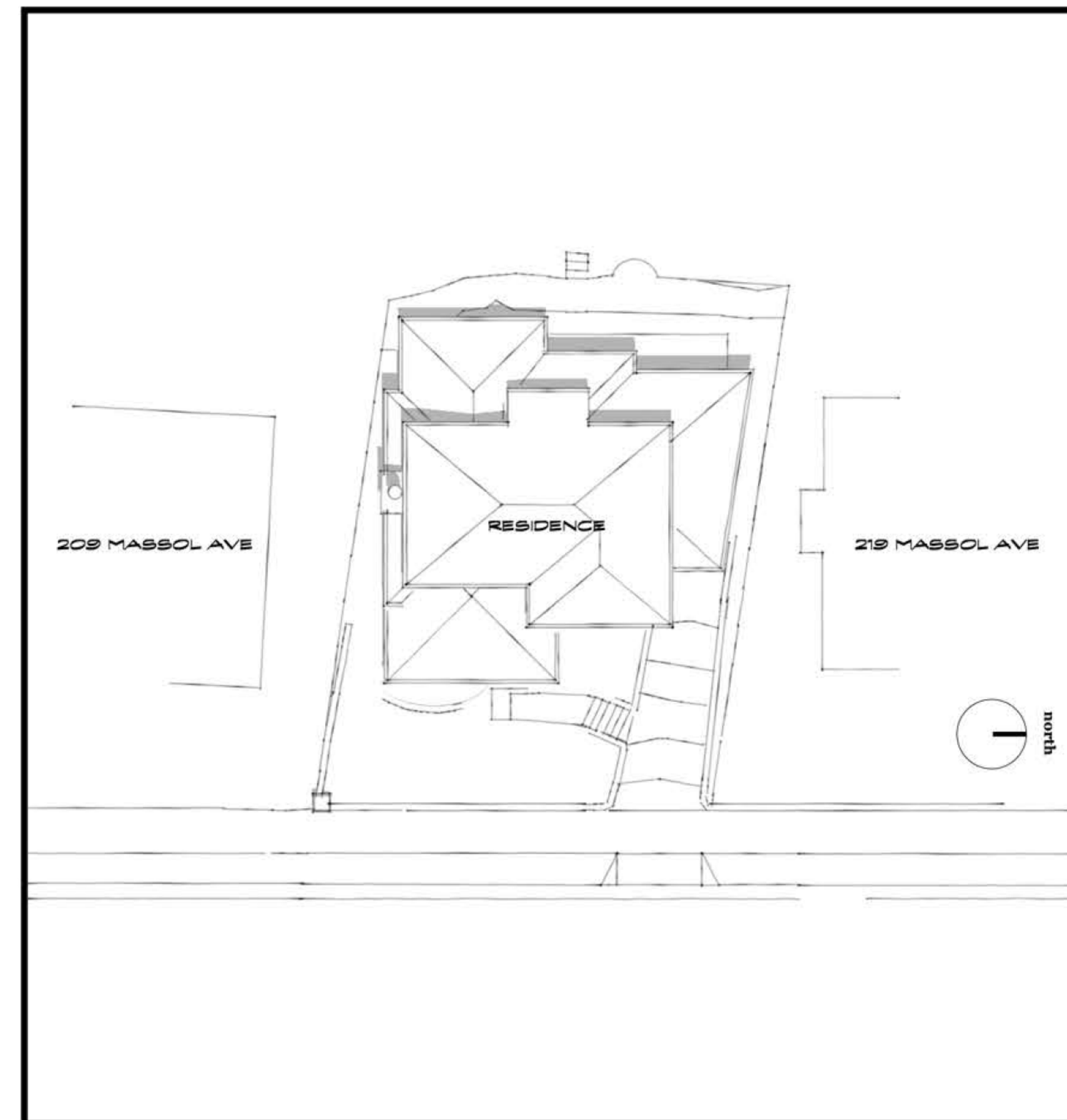


AS-BUILT / DEMO PLAN

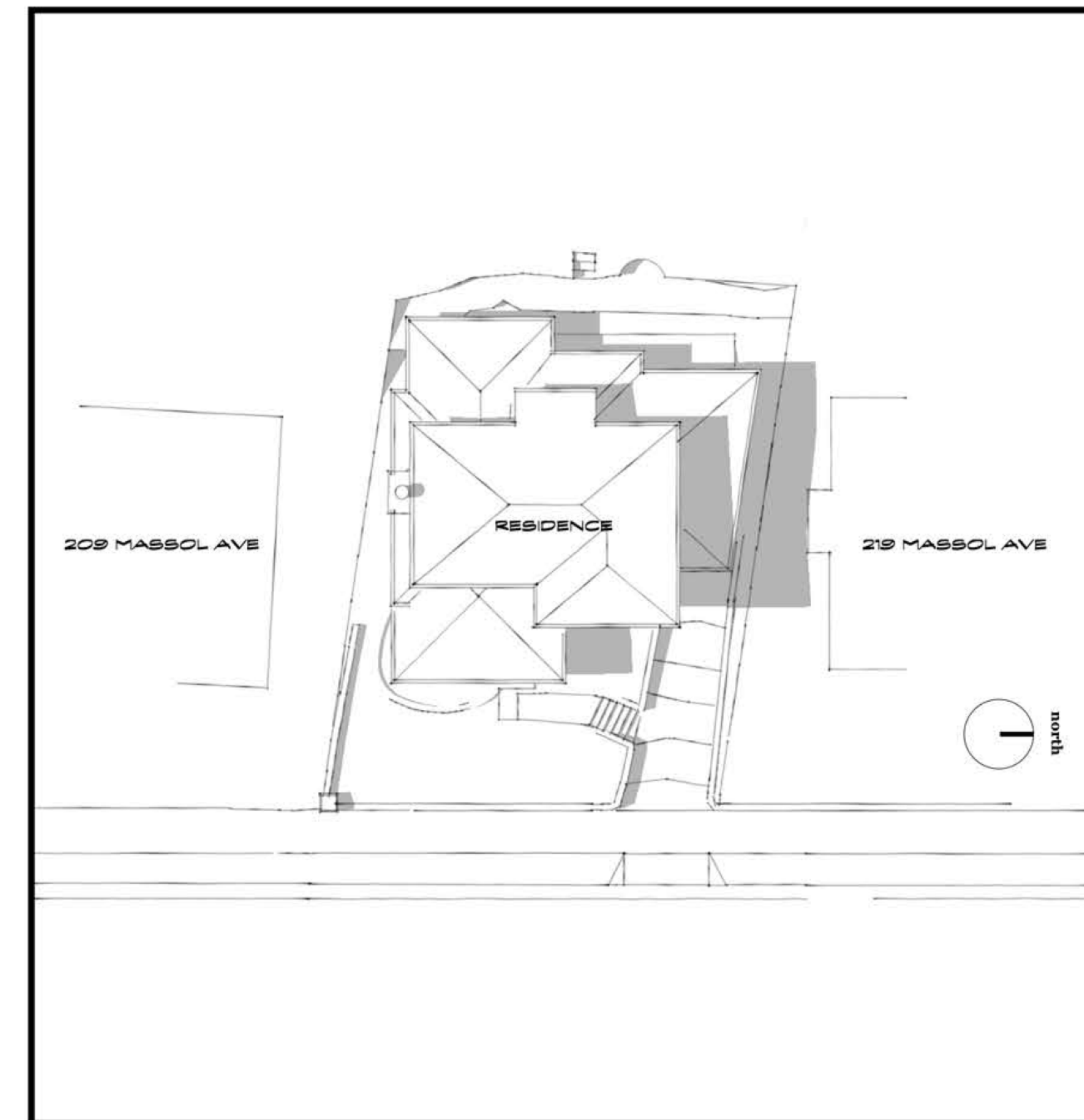
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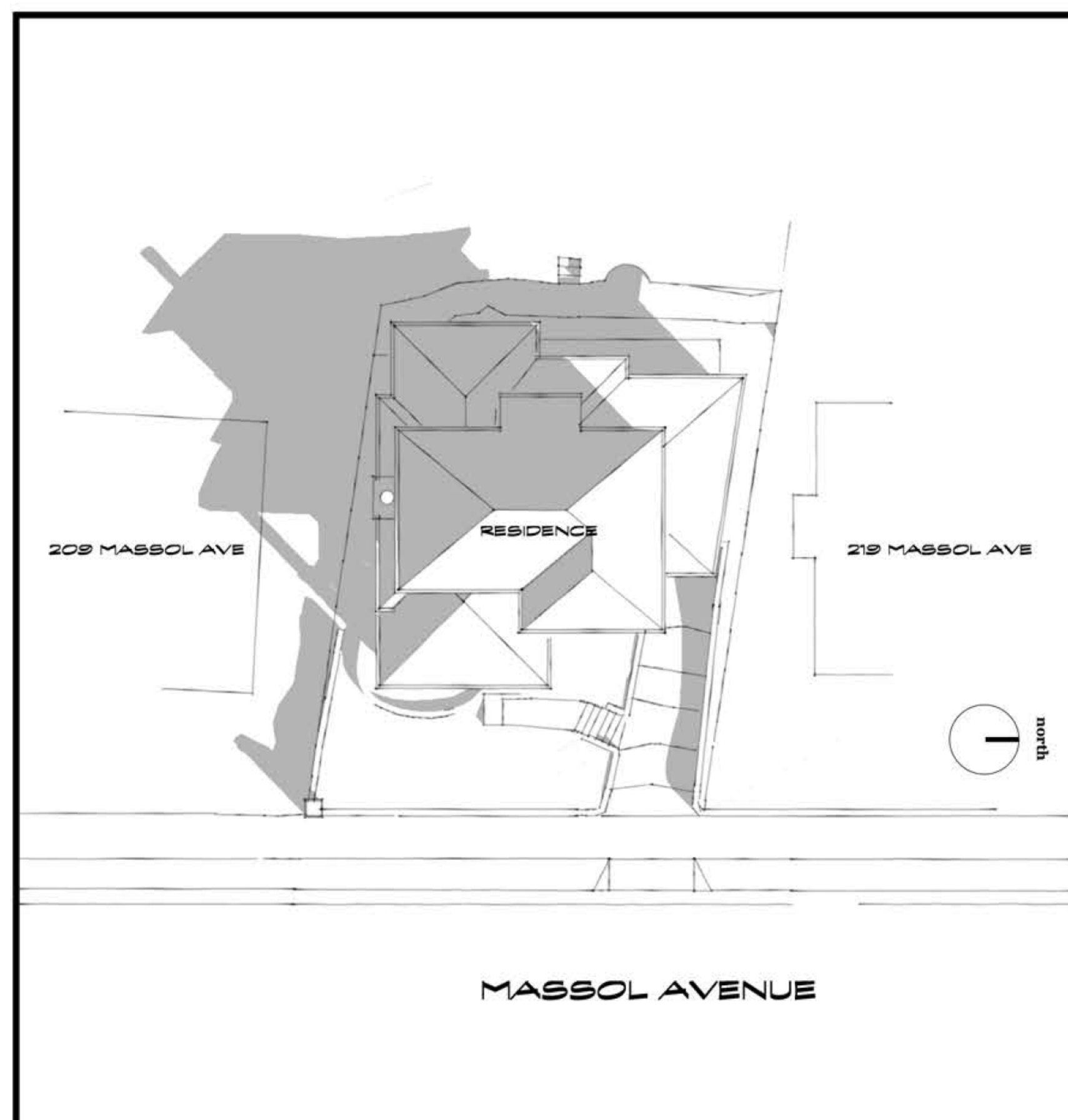
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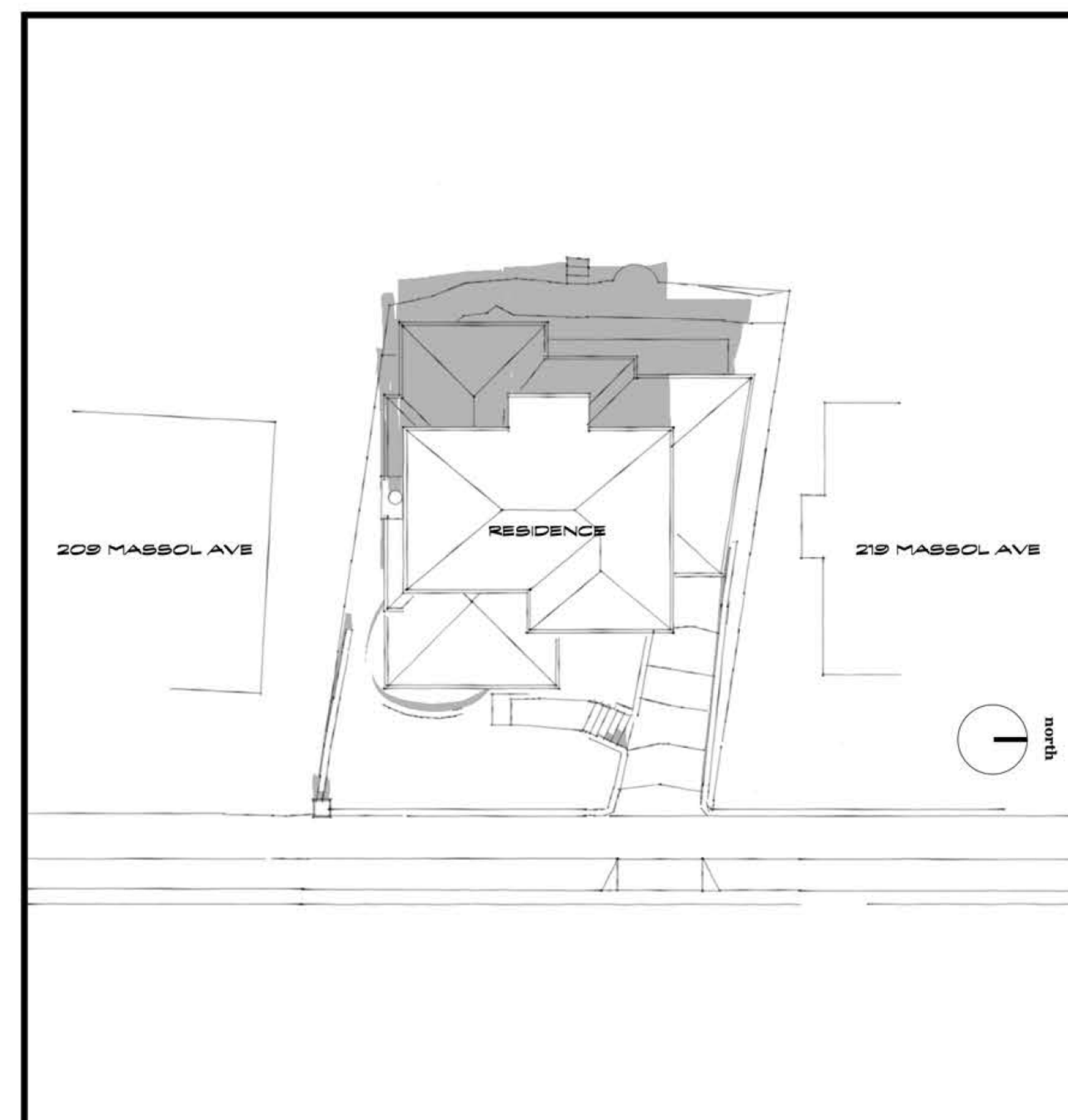
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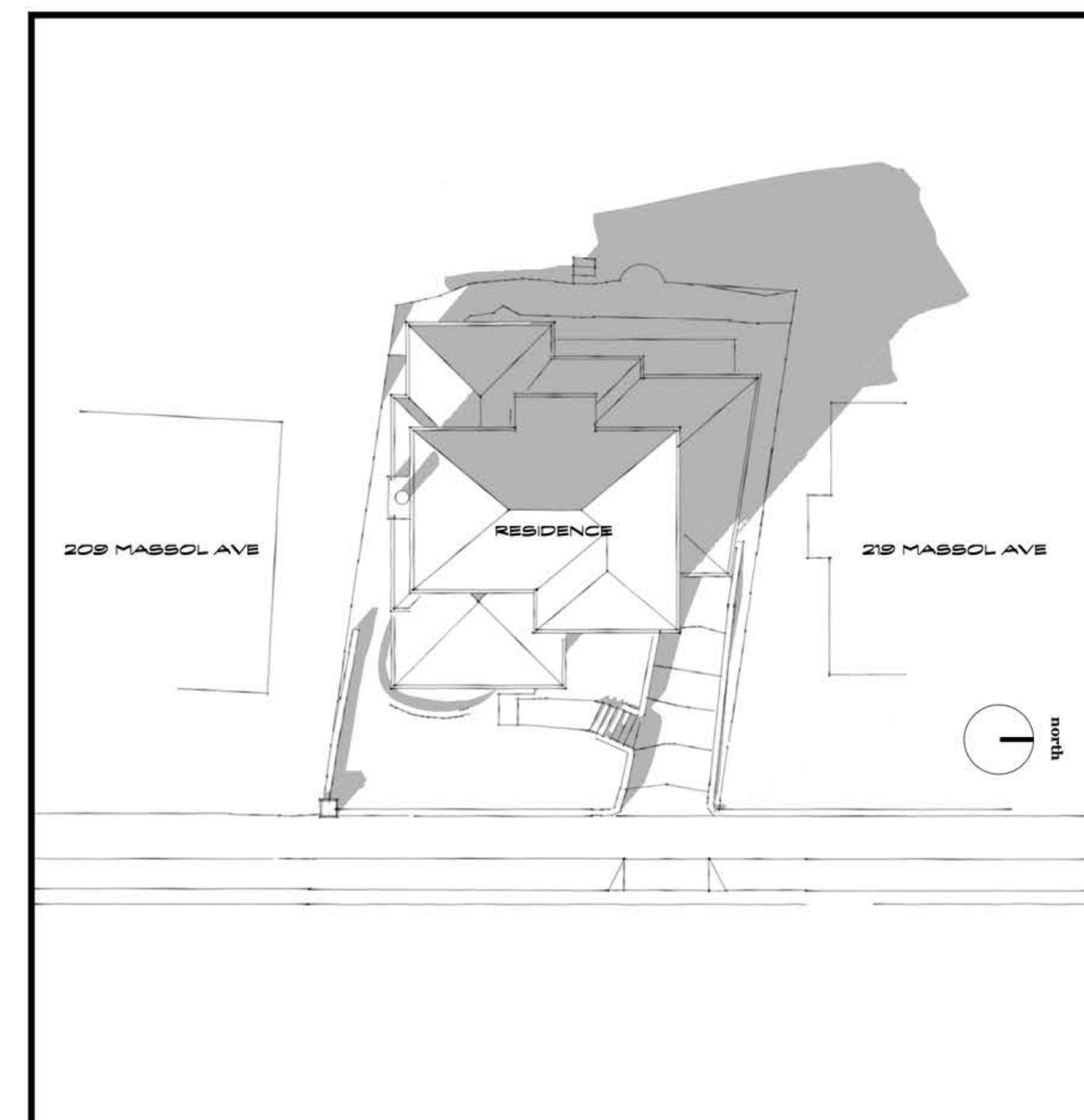
JUNE 21 @ 3PM



JUNE 21 @ 9AM



JUNE 21 @ 12PM



JUNE 21 @ 3PM

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09/18/23

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Date :

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