

Rand Addition and REMODEL

239 Loma Alta Avenue, LOS GATOS, CA 95030



DESIGN

102 Massol Ave
Los Gatos, CA 95030

Jon Mingo
408-309-5138
JonMingo@Verizon.Net

A Proposed Addition and Remodel for:

Ray and Erin Rand
239 Loma Alta Ave
Los Gatos, CA 95030

Date: 9/15/16

Rev: 2.0

Drawn by: JM

Sheet:

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PROJECT DATA

Project Description: Add XXXX SQ FT, including 2nd story addition; remodel Kitchen, Living Room and Bedroom 1.

Project address: 239 Loma Alta Avenue, Los Gatos, CA 95030

Project Owners: Ray and Erin Rand

APN: 532-28-050

Occupancy group: R-3/U

Construction Type: V-B/not-sprinklered

Zoning: R-1:8

Lot Size: 6,111 SQ FT

Allowable Floor Area:
 $FAR = 0.35 - ((6.111 - 5)/25 \times 0.2) = .341112$
 $.341112 \times 6,111 = 2,085$

	(E) Sq Ft	Added SQ FT	Total SQ FT
1st Floor	1,510.3	25.1	1,535.4
2nd Floor	0.0	529.8	529.8
Total	1,510.3	554.9	2,065.2
Garage	431.1	0.0	431.1

GENERAL NOTES

The contractor shall furnish all material, labor, scaffolding, utensils, and apparatus required for the work shown on these plans and pay for the full freightage cartage, taxes, and handling of material associated with the work.

All work shall comply and conform to all codes and regulations, including the 2013 California Residential Building, Mechanical, Plumbing, Electrical, Energy, and Green Building Standards Codes (i.e., 2012 IRC, IBC, UMC, UPC, and 2010 NEC, as amended but the state of CA and the town of Los Gatos) and all local, state and federal requirements, codes and regulations, unless otherwise noted.

Verification of replacement of all non-complaint plumbing fixtures with water-conservation plumbing fixtures as specified in CPC Section 40 shall be provided to the Town Building inspector, prior to final inspection. This requirement applies to all plumbing fixtures located within the structure under the scope of this permit.

All plumbing fixtures shall have maximum flow rates in accordance with CGBS Section 4.303.1.3.1 as flows:

- i. 1.28 gallons per flush for water closets
- ii. 2.0 gpm for showers
- iii. 1.5 gpm for lavatory faucets
- iv. 1.8 fpm for kitchen faucets

Contractor shall be solely responsible for job and worksite safety.

All work is to be performed in accordance with these plans and specifications and to the satisfaction of the owner.

Bidders shall visit the site and familiarize themselves with all existing conditions, and be prepared to carry out the work within the existing limitations.

Verify all dimensions in the field, written dimensions have precedence over scaled dimensions. Any discrepancies between drawings and/or specifications and actual conditions shall be brought to the attention of the architect for immediate clarification prior to proceeding with the work.

Change orders shall be in writing.

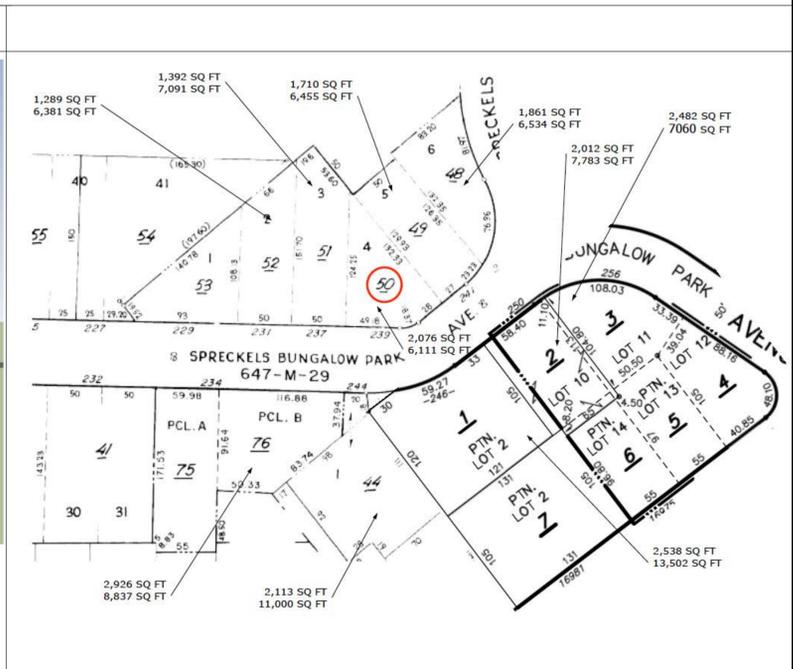
Substitutions will be considered, but do not substitute materials, equipment, or methods without specific advanced approval by the architect.

Contractor shall notify the architect of all modifications to drawing by the building department and of all changes requested by the inspector.

Follow manufacturer's instructions carefully. Manufacturer's operating instructions and guarantees shall be given to the owner at the end of the job.

All features of construction not fully shown shall be of the same type and character as that shown for similar conditions. For special conditions or discrepancies, notify the architect before bidding or proceeding with work.

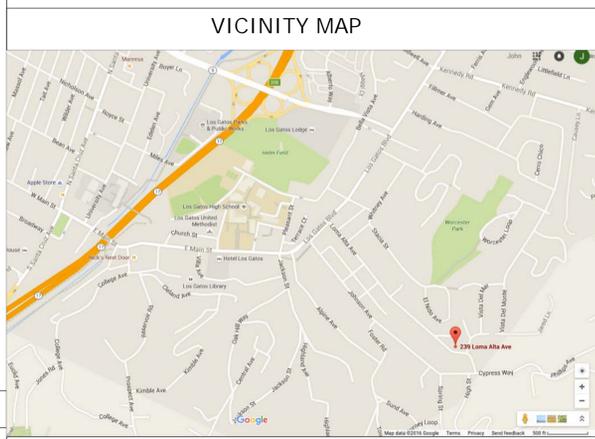
All material shall be of the best of their respective kinds, new, and subject to the approval of the owner. All work is to be performed in the best manner by skilled workmen.



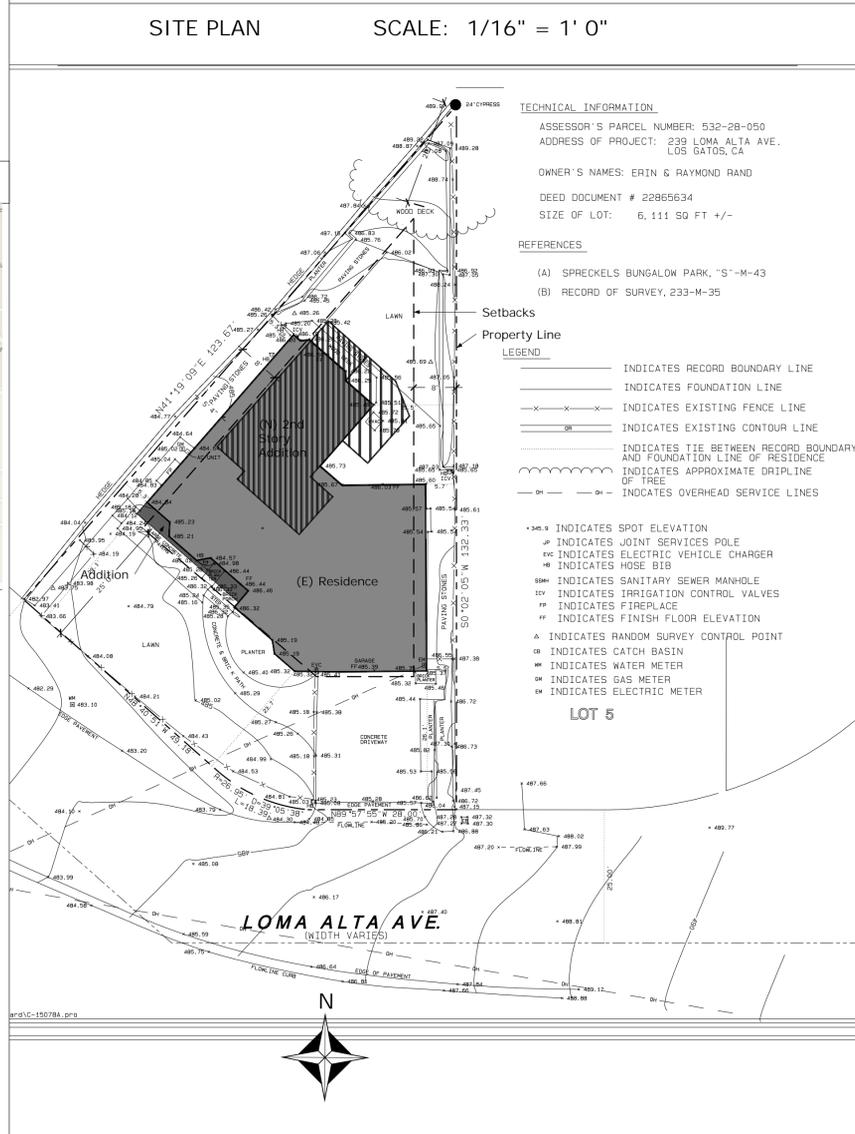
SITE PLAN SCALE: 1/16" = 1' 0"

SHEET INDEX

A1 Site plan, general notes, project data, vicinity map, T24 Form MF-1R
 A2 Existing floor plans, existing elevations and demo plan
 A3 New Floor Plans: X-section
 A4 Electrical/Mechanical Plan (In Progress)
 A5 New Elevations
 A6 Streetscape; Shadow Study; Roof Plan
 A7 Neighbor Comments



Contractor to verify a backwater valve is installed, if needed. An approved backwater valve is required on drainage piping serving fixtures that have flood level rims less than 12-inches above the elevation of the next upstream manhole.





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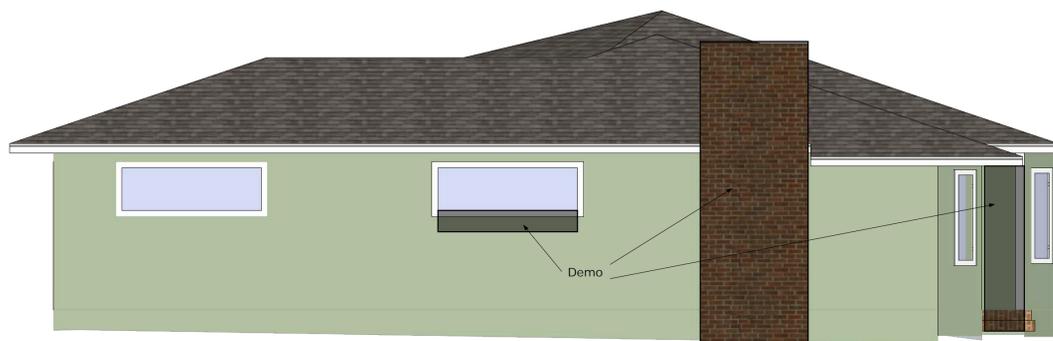
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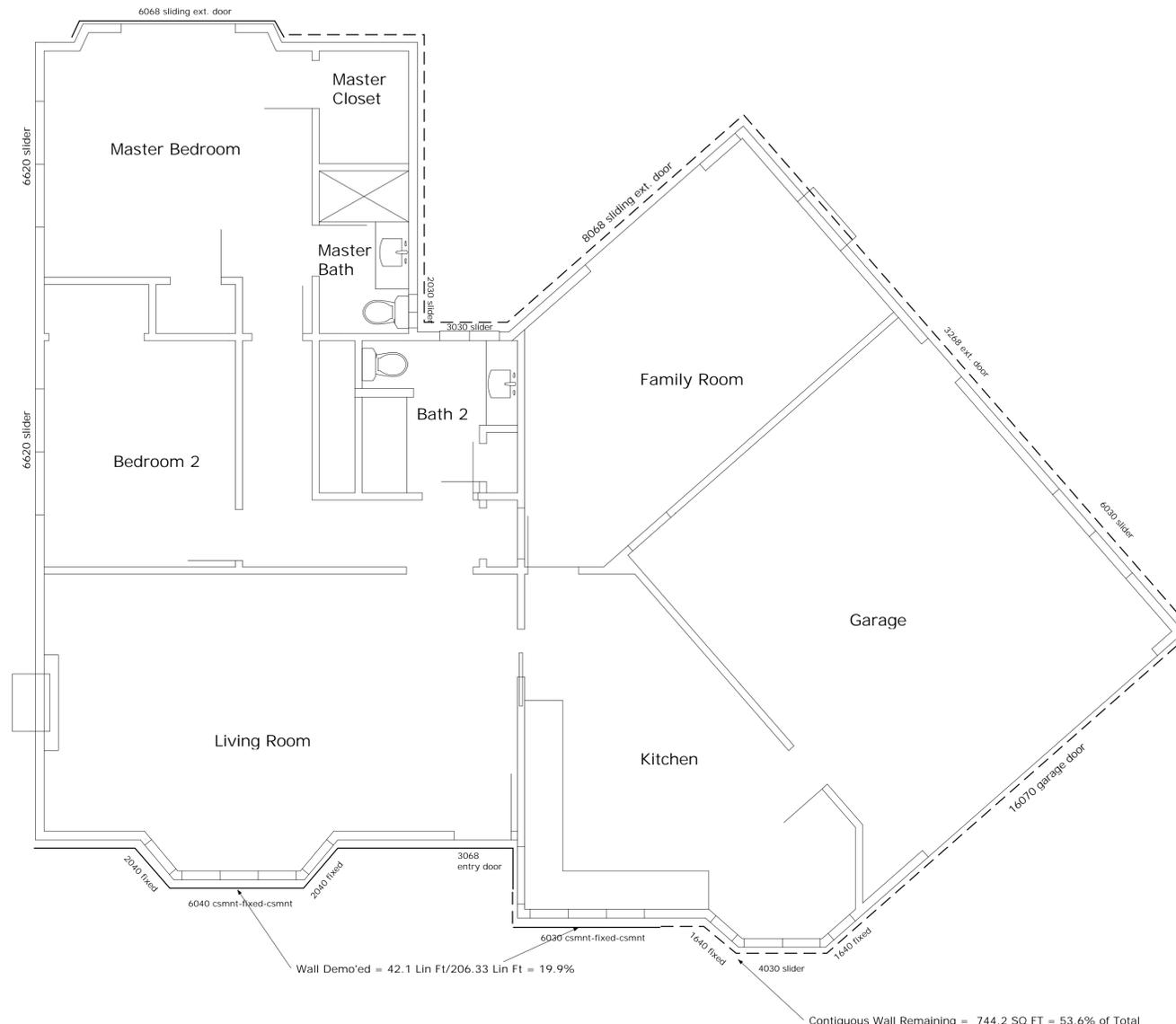
(E) Left Elevation; Wall Area = 384.3 SQ FT, Demo = 66.5 SQ FT = 17.3%



(E) Right Elevation; Wall Area = 410 SQ FT, Demo = 9 SQ FT = 2.2%

Total Existing Wall Area = 1,387.7 SQ FT
Total Wall Area to be demo'ed = 351.4 SQ FT
Total Wall Remaining = 1036.3 SQ FT = 74.7%
Contiguous Wall Remaining = 744.2 = 53.6%

Do not demo any areas not shown shaded.



(E) Floor Plan

Contiguous Wall Remaining = 744.2 SQ FT = 53.6% of Total



(E) Rear Elevation; Wall Area = 208.9 SQ FT, Demo = 67 SQ FT = 32.1%



(E) Front Elevation; Wall Area = 384.5 SQ FT, Demo = 235.9 SQ FT = 61.4%

Existing Floor Plan, Elevations; Demo Plan

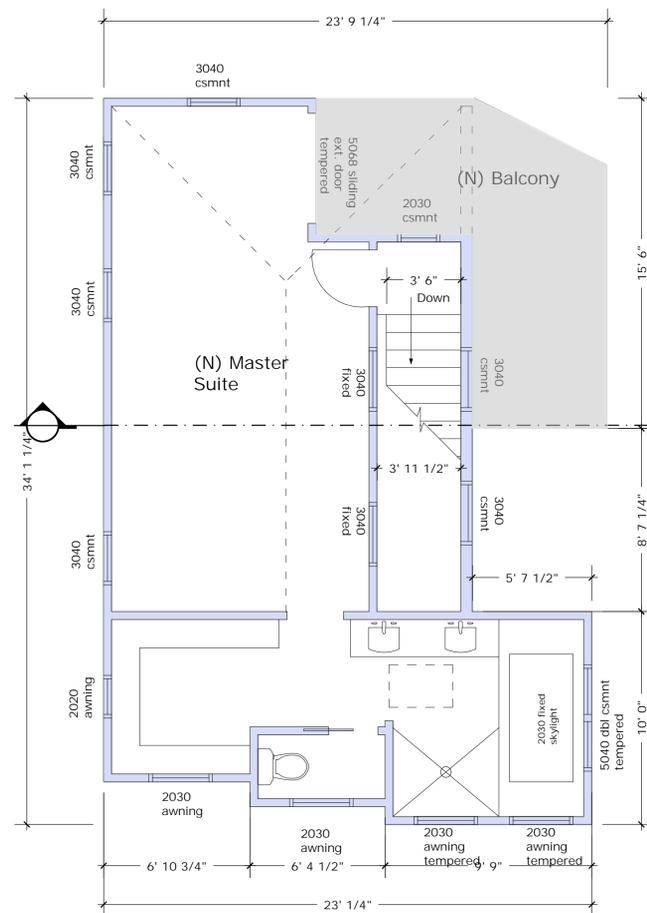
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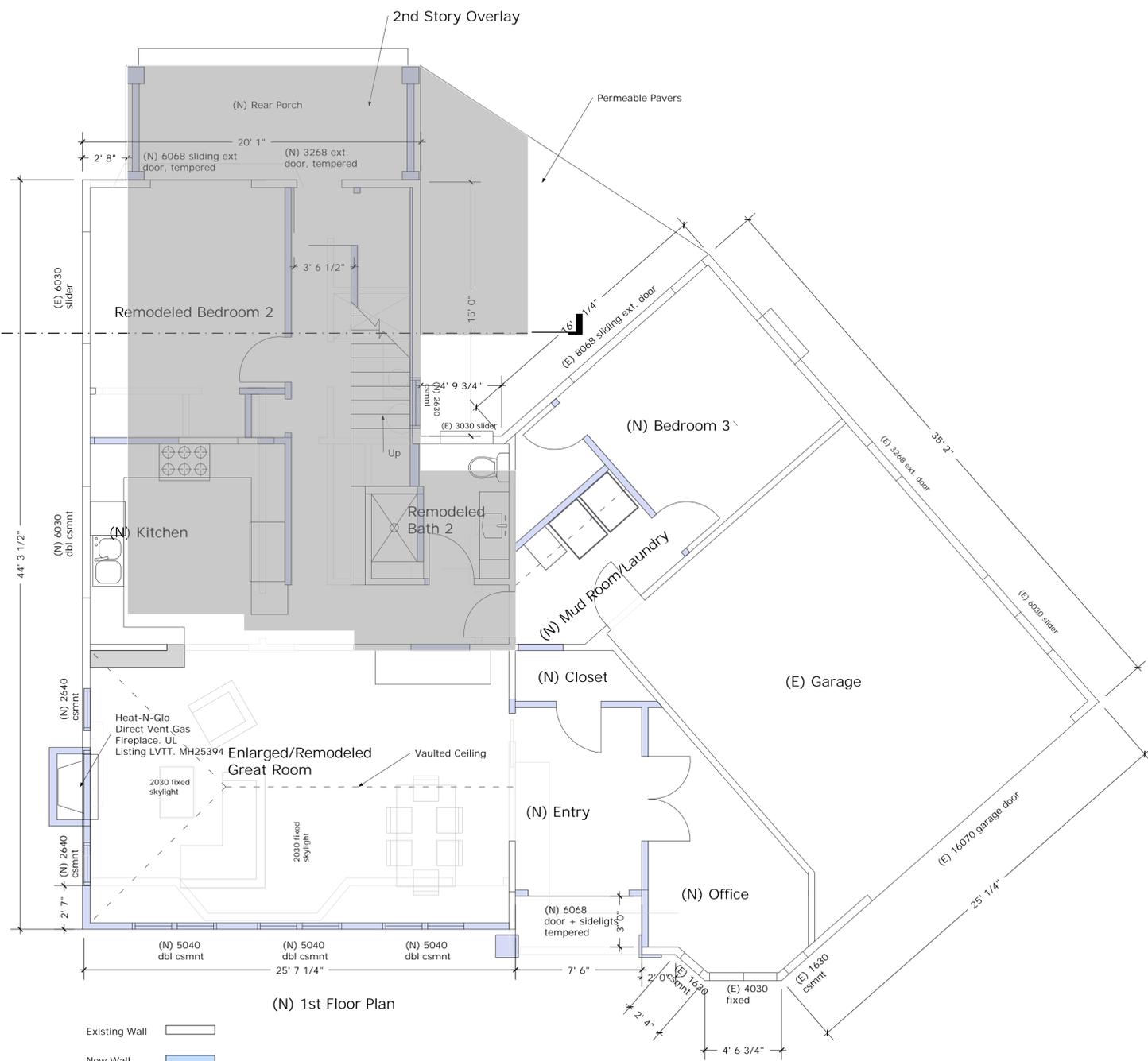
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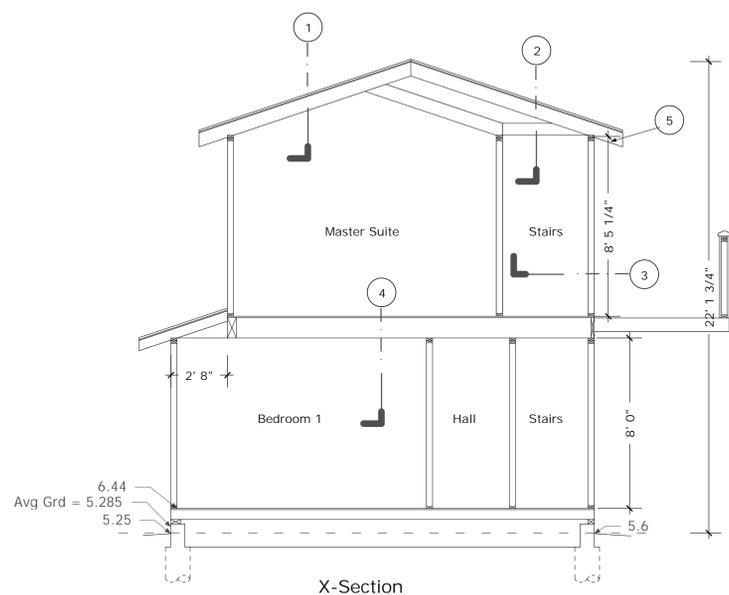


(N) 2nd Floor Plan



(N) 1st Floor Plan

SECTION NOTES	
1	Typical new roof framing at flat ceiling - composition shingle roofing to match existing - 30# felt - 1.2" CDX plywood sheathing w/w radiant barrier - 2 x rafters @ 24" o.c. - vented attic (1" minimum clear - install insulation baffles as required) - ceiling joists per structural drawings - R-30 batt insulation - 5/8" gypsum board
2	Typical new roof framing at vaulted ceiling (no attic) - composition shingle roofing to match existing - 30# felt - 1.2" CDX plywood sheathing w/w radiant barrier - 2 x rafters @ 24" o.c. - ceiling joists per structural drawings - R-30 rigid insulation - 5/8" gypsum board
3	Typical wall framing - 3-coat stucco w/ self-furring wire lath over 2 overs type D paper, painted to match existing color - CDX plywood - 2x studs @ 16" o.c. - R-13 ro -19 insulation - 1/2" gypsum board
4	Typical 2nd floor - 3/4" 5-ply T&G plywood subfloor - 11 7/8" TJI 230 trus joists @ 16" o.c. - R-19 insulation - 5/8" gypsum board
5	Typical eaves - Angled GSM gutters and downspouts - 2x6 fascia - 1x6 T&G - rafter tails ripped to match fascia - 2x structural blocks w/ (3) 2" holes drilled in each block (9.42 sq in venting per block) - insulation baffle



X-Section



Proposed Floor Plans Scale: 1/4" = 1' 0"

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Please sign and put the letter into our mailbox by Saturday (6/26/16) if you have no questions or concerns.

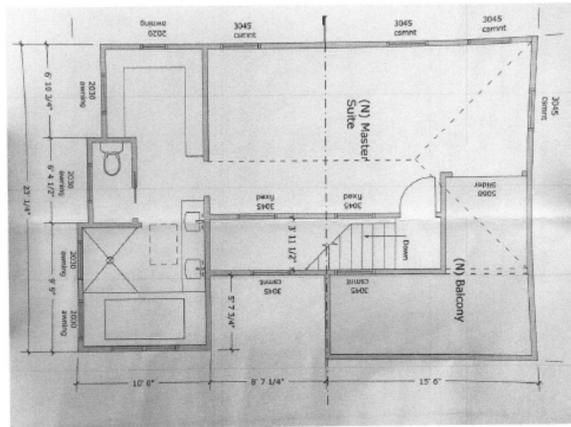
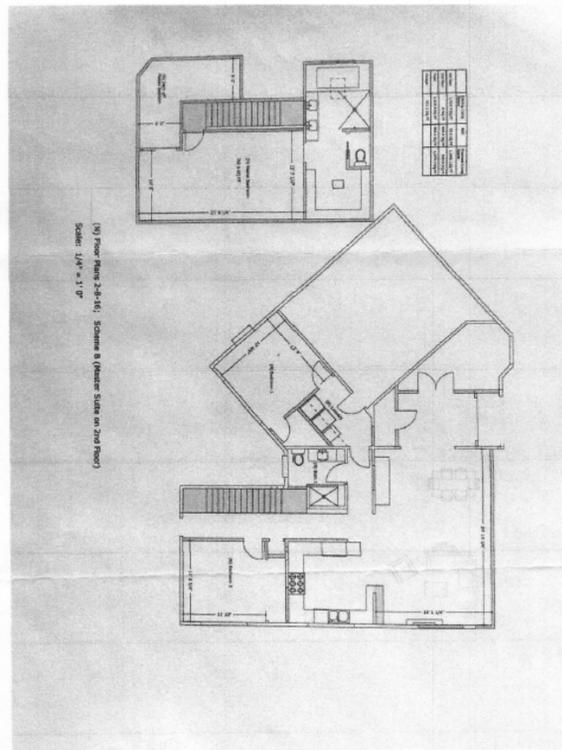
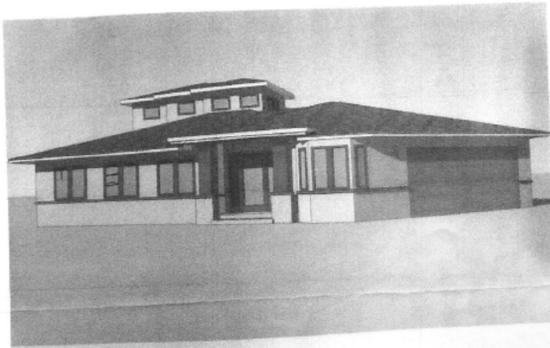
Thanks very much,

Erin and Ray
Erin and Ray Rand

Raymond & Erin Rand
239 Loma Alta Avenue
Los Gatos, CA
95030

To whom it may concern:

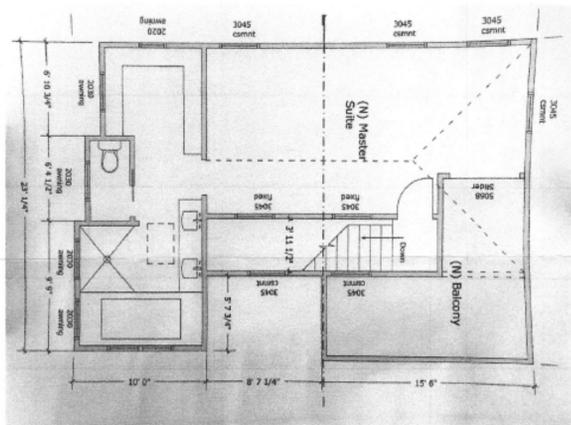
This signed letter is to state that I have reviewed the proposed addition to 239 Loma Alta Avenue, Los Gatos, CA, 95030 and I support and think the new design will enhance the looks of the house and the neighborhood.



Name STEVE DECK

Address 256 LOMA ALTA AVE
LOS GATOS, CA 95030

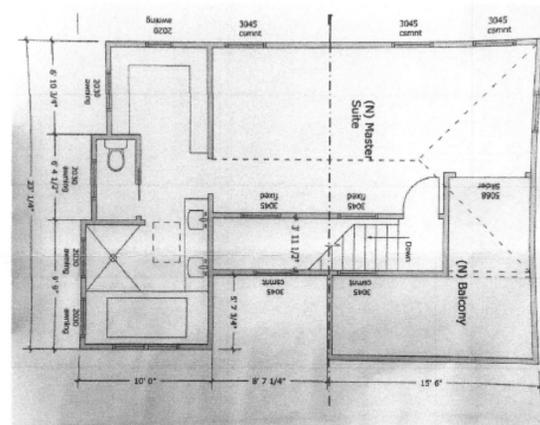
Signed *[Signature]*



Name John Cleveland *Genivick Cleveland*

Address 238 Loma Alta Ave
Los Gatos CA 95030

Signed *[Signature]*
6/22/2016



Name Craig Leiker

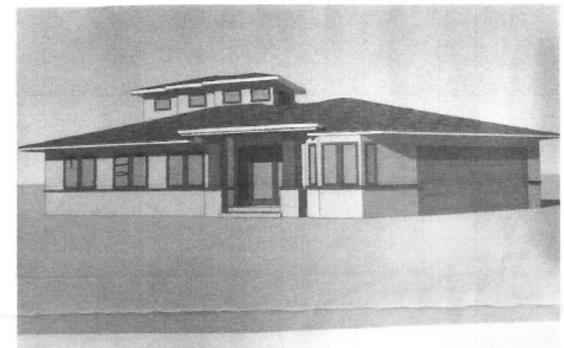
Address 246 Loma Alta

Signed *[Signature]*

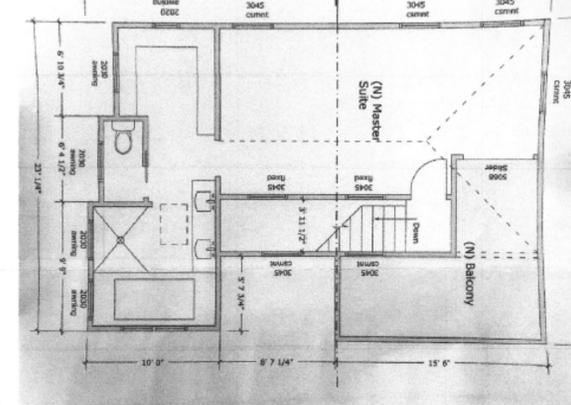
Raymond & Erin Rand
239 Loma Alta Avenue
Los Gatos, CA
95030

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[Signature]
(JONSON RANWINE)
271 LOMA ALTA AVE



Name Earl + Florence Bell (owners) 241 LOMA ALTA AVE
LOS GATOS CA 95030

Address 15170 Lester Lane, Los Gatos, 95032

Signed Florence M. Bell (owner) Regine Mayes (renter)
We have a request regarding the fence between our houses. We would like you to remove the drain that were placed there by the previous owner. JMB.



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Electrical Notes

1. The required two small appliance branch circuits for the kitchen are limited to supplying wall and counter space outlets (note they cannot serve the dining room, outside plugs, range hoods, disposals, dishwashers, or microwaves- only the required countertop/wall outlets including the refrigerator.)
2. Light fixtures in tub and shower enclosures shall be listed and labeled as "suitable for damp locations."
3. A dedicated 30 amp branch circuit shall be provided to supply the laundry receptacle outlet.
4. A dedicated 20-amp circuit is required to serve bathroom outlets. This circuit cannot supply any other receptacles, lights, fans, etc. (exception: where the circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied).
5. All branch circuits that supply outlets installed in a dwelling unit family rooms, dining rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, living rooms, or similar rooms or areas shall be protected by an arc-fault circuit interrupter.
6. All 15-amp and 20-amp dwelling unit receptacle outlets shall be listed tamper-resistant receptacles.
7. All carbon monoxide devices must be approved and listed by the state Fire Marshall and that evidence of approval and listing must be provided to the Town Building inspector prior to installation.
8. A completed CF-6R-LTG-01 form must be provided to the Town Building Inspector, prior to final inspection. CA Energy Code Section 150(k) for lighting.

Lighting Notes

1. Permanently installed luminaires in kitchens shall be high efficacy luminaires. Up to 50% of the total rated wattage of permanently installed luminaires (based on nominal rated wattage of high efficacy lamps) in kitchens may be in luminaires that are not high efficacy luminaires, provided that these luminaires are controlled by switches separate from those controlling the high efficacy luminaires.
2. Permanently installed luminaires in bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires OR are controlled by an occupant sensor(s) that does not turn on automatically or have an always on option.
3. Permanently installed luminaires located other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires (except closets less than 70 sq. ft.): OR controlled by a dimmer switch OR are controlled by an occupant sensor(s) that does not turn on automatically or have an always on option.
4. Luminaires providing outdoor lighting and permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy luminaires (not including lighting around swimming pools/water features or other Article 680 locations) OR are controlled by occupant sensors with integral photo control.
5. Vacancy sensors shall allow the occupant to manually turn the luminaires on and off, be capable of turning off the luminaires within 30 minutes or less, have a visible status signal that the device is operating properly, shall not automatically turn on the luminaires, and shall not have an override switch.
6. Luminaires that are recessed into insulated ceilings shall be rated for insulation contact (IC-rated) and airtight.
7. Recessed luminaires w/ fluorescent lamps shall have electronic ballasts that operate the lamp at a frequency of 20kHz or more and shall be certified to the Energy Commission.

Shower Valves

1. Showers and tub-shower combinations shall be provided with individual pressure balance or thermostatic mixing control valves.
2. The maximum mixed water setting shall be 120 degrees Fahrenheit.
3. Water heater thermostat shall not be considered as suitable for meeting this requirement.

Notes

1. All plumbing fixtures shall have maximum flow rates in accordance with CGBSC Section 4.303.1.3.1 as flows:
 - i. 1.28 gallons per flush for water closets
 - ii. 2.0 gpm for showers
 - iii. 1.5 gpm for lavatory faucets
 - iv. 1.8 lpm for kitchen faucets
2. All showers to have tile wall protection to a minimum or 84" above the floor-mount tile on full mortar bed or 1/2" cement backer board.
3. Wooden backing (2X8 min.) shall be provided in all bathroom walls at toilet, shower and bathtub-- locate at 34" from the floor to the center of the backing, suitable for the addition of grab bars.
4. Fixtures in clothes closets shall be surface-mounted or recessed incandescent fixture with a completely enclosed lamp, or a surface-mounted or recessed fluorescent fixture.

Mechanical and Plumbing Notes

1. Installation instructions for all listed equipment shall be provided to the field inspector at time of inspection.
2. Dryer exhaust shall be smooth metal duct extending to exterior with backdraft damper.
3. Provide a minimum 3" working space along each side (with a total of at els at 12" on both sides combined", back and top of furnace.
4. All building water supply systems in which quick-acting valves are installed shall be provided with devices to absorb high pressures resulting from the quick closing of these valves (e.g., clothes washers and dishwashers).
5. Termination of all environmental air ducts shall be a minimum of 3 feet from any openings into the building (i.e., dryers, bath and utility fans, etc., must be 3 feet away from doors, windows, opening skylights or attic vents).
6. Bathroom exhaust fans shall be capable of providing five air changes per hour.

Ventilation requirements for Indoor Air Quality

1. Kitchens and bathrooms shall have local exhaust systems vented to the outdoors.
2. Clothes dryers shall be vented to the outdoors.
3. Combustion appliances shall be properly vented and air systems shall be designed to prevent back drafting.



Legend	
	Incandescent
	LED Striplight
	Directional Light
	Pendant Light
	Recessed High Efficacy
	Fan
	Outlet
	GFI Outlet
	220v Outlet
	Switch
	Dimmer Switch
	Surface Mount Fixture
	Pendant/Hanging Fixture
	Gas
	TV
	Phone
	Smoke/CO Alarm
	Smoke Detector

VS Interior lighting fixtures with vacancy sensors shall turn off automatically when no occupants are present and shall not turn on automatically or have an always-on option

HE Indicates high efficacy fixture

Electrical Mechanical Plan

Scale: 1/4" = 1' 0"



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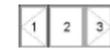
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Windows and Sliding Doors to be Andersen 400 series (or equivalent):

Composite Unit, White/Clear Pine, High Performance Low-E4 Glass, No Grille(s), Perimeter Extension Jamb 4 9/16" Clear Pine Complete Unit, Factory (Direct) Applied, Mulling Location: Factory (Direct), Mull Type: Narrow Mull, Mull Priority: Vertical
Insect Screen, White
Hardware Pack, PSC, Contemporary Folding - White
Perimeter Extension Jamb, Clear Pine, 4 9/16", Factory (Direct) Applied, Complete Unit

Unit	U-Factor	SHGC
1	0.29	0.32
2	0.29	0.32
3	0.29	0.32



Velux deck-mounted venting skylight, typical (not to scale)
APMO-ES report # 0199
ICC-ES Legacy Report NER-216



530 SQ FT of attic space @ 2nd story roof:
530/300 = 1.77 SQ FT attic venting required.
Install (4) 0.5 SQ FT eyebrow vent (placed near ridge line) + eave venting per page A3.
Eyebrow vent shall be installed min. 3' vertically above eave vents.

1,467 SQ FT of attic space @ 1st story roof:
1,467/300 = 4.89 SQ FT attic venting required.
Install (10) 0.5 SQ FT eyebrow vent (placed near ridge line) + eave venting per page A3.
Eyebrow vent shall be installed min. 3' vertically above eave vents.

This space to be < 6"

(N) Decorative Trellis

(N) Rear Porch

(N) Decorative Chimney for (N) gas fireplace

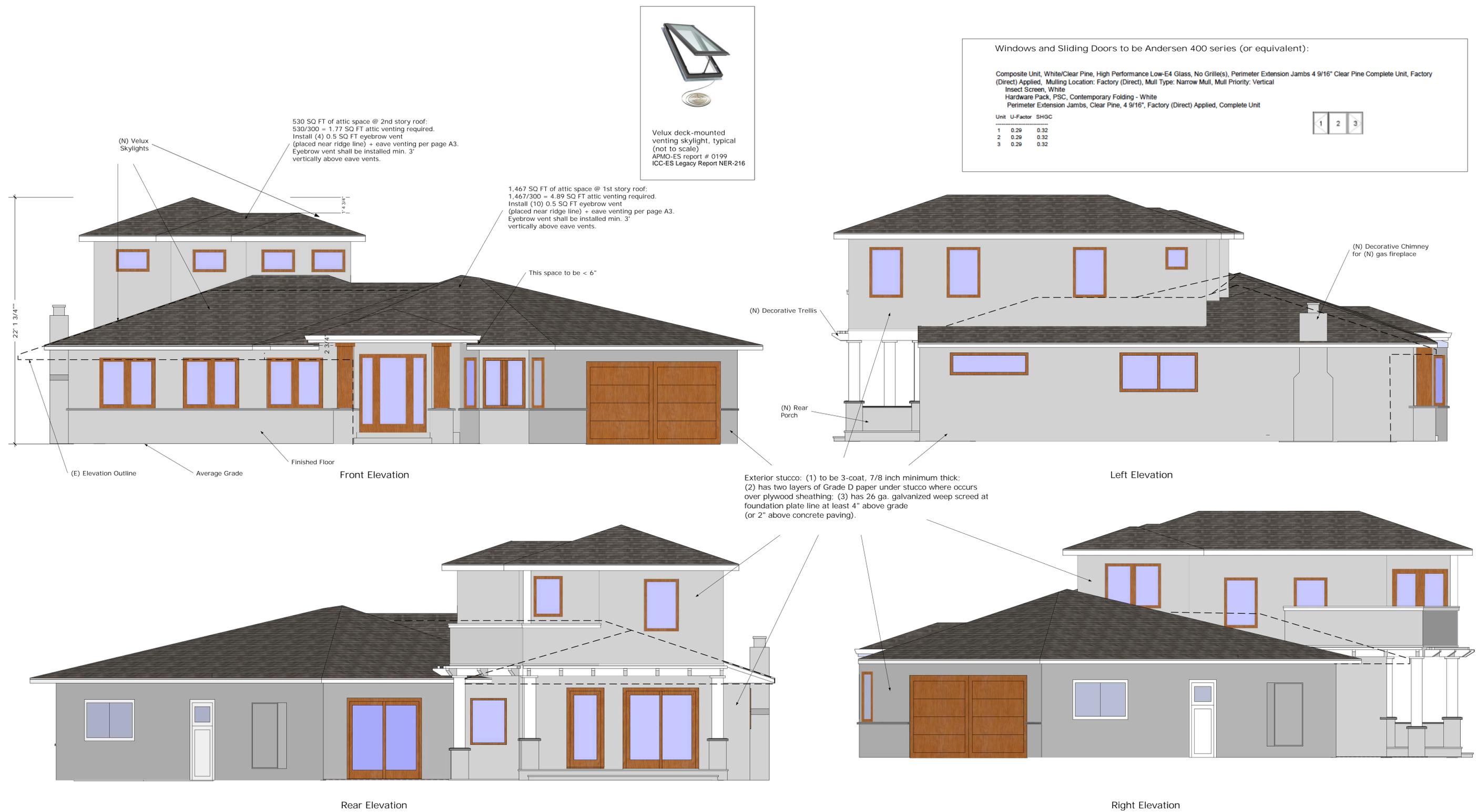
Exterior stucco: (1) to be 3-coat, 7/8 inch minimum thick;
(2) has two layers of Grade D paper under stucco where occurs over plywood sheathing; (3) has 26 ga. galvanized weep screed at foundation plate line at least 4" above grade (or 2" above concrete paving).

Guard @ ext. Porch Landing Detail (not to scale)

42" high wrought iron guardrail capable of withstanding a 200# load applied at the top from any direction and w/ pickets spaced such that a 4-3/8" diameter sphere cannot pass through

Continuous handrail welded to newel posts, capable of withstanding a 200# load applied at the top from any direction, typical

Proposed Elevations Scale: 1/4" = 1' 0"



Rear Elevation

Right Elevation

Front Elevation

Left Elevation

(E) Elevation Outline

Average Grade

Finished Floor

Front Elevation



239 Loma Alta (Existing)



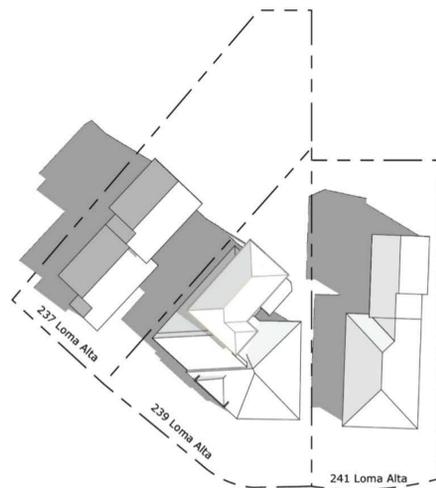
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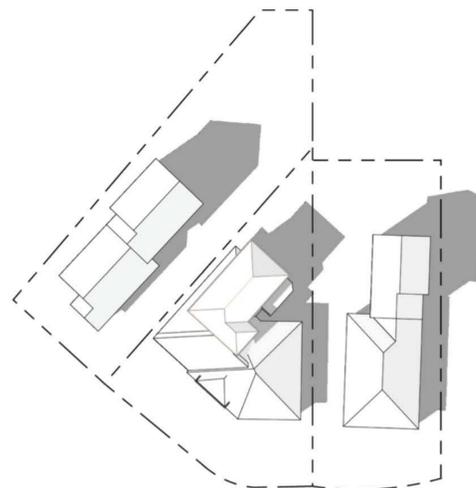
239 Loma Alta (Proposed)



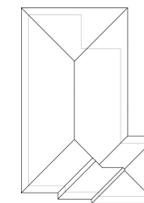
Street Scape; Scale: 1/16" = 1' 0"



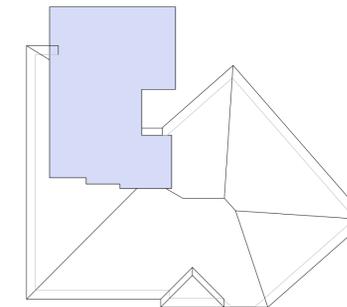
March 21 9AM Scale: 1" = 10' 0"



March 21 3PM Scale: 1" = 10' 0"

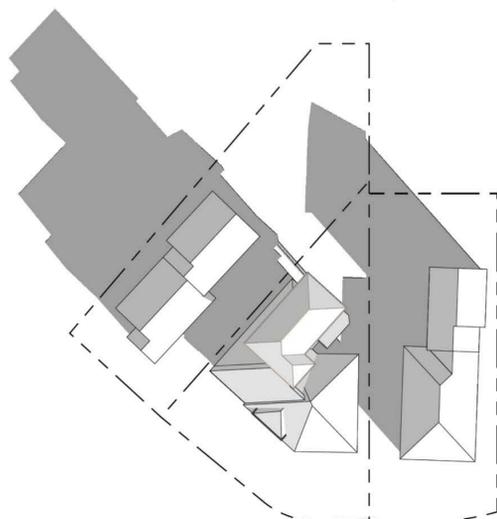


2nd Story

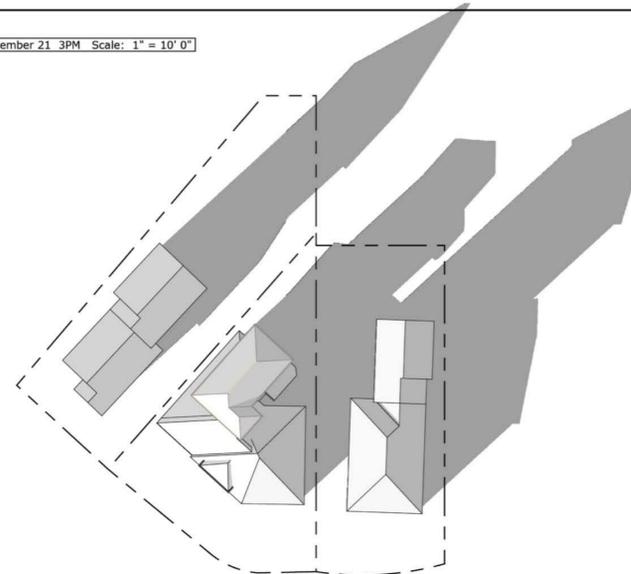


1st Story

(N) Roof Plan; Scale: 1/16" = 1' 0"



December 21 9AM Scale: 1" = 10' 0"



December 21 3PM Scale: 1" = 10' 0"



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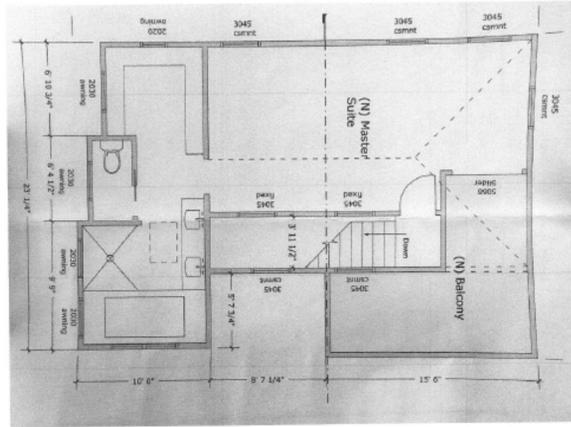
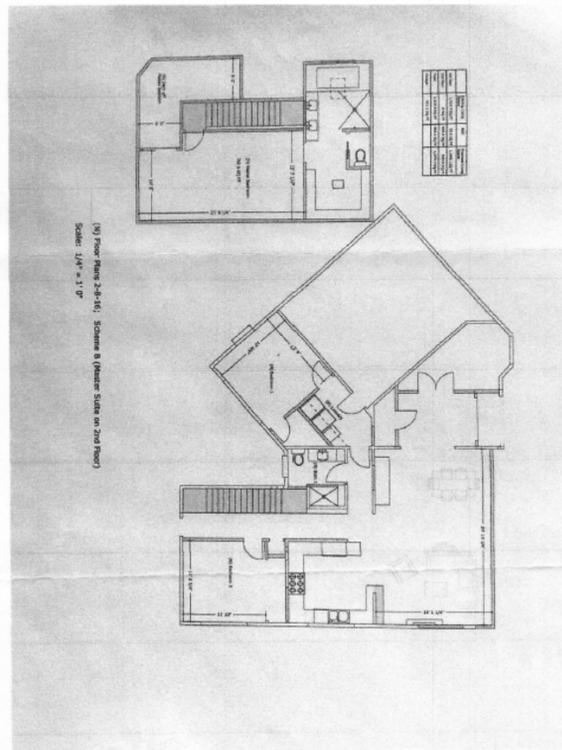
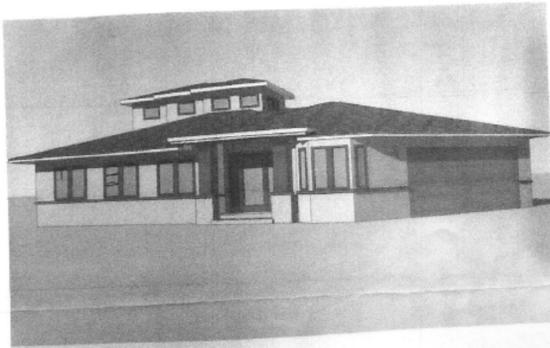
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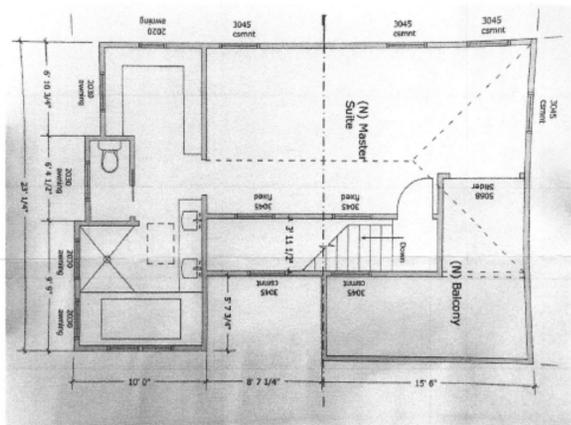
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Name STEVE DECK

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LOS GATOS, CA 95030

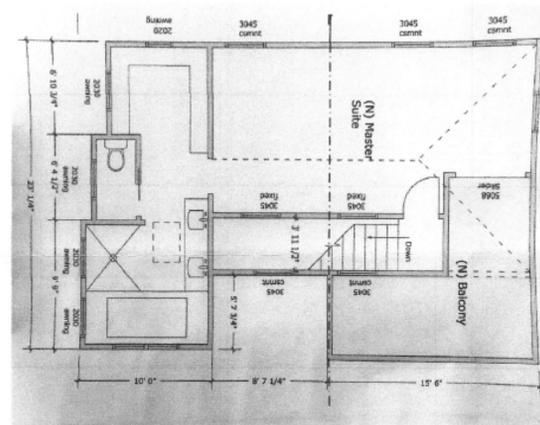
Signed *[Signature]*



Name John Cleveland *Genivick Cleveland*

Address 238 Loma Alta Ave
Los Gatos CA 95030

Signed *[Signature]* 6/22/2016
Genivick Cleveland



Name Craig Leiker

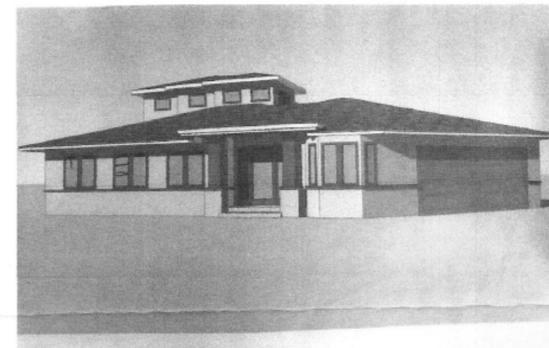
Address 246 Loma Alta

Signed *[Signature]*

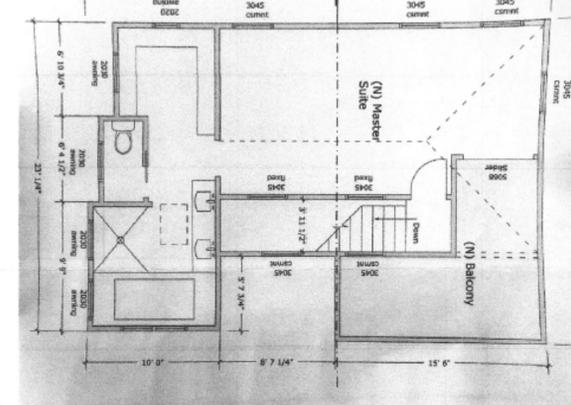
Raymond & Erin Rand
239 Loma Alta Avenue
Los Gatos, CA
95030

To whom it may concern:

This signed letter is to state that I have reviewed the proposed addition to 239 Loma Alta Avenue, Los Gatos, CA, 95030 and I support and think the new design will enhance the looks of the house and the neighborhood.



[Signature]
(JONSON RANWINE)
271 LOMA ALTA AVE



Name Earl + Florence Bell (owners) 241 LOMA ALTA AVE
LOS GATOS CA 95030

Address 15170 Lester Lane, Los Gatos, 95032

Signed Florence M. Bell (owner) Regine May's (renter)
We have a request regarding the fence between our houses. We would like you to remove the drain that were placed there by the previous owner. JMB.



102 Massol Ave
Los Gatos, CA 95030
Jon Mingo
408-309-5138
JonMingo@Verizon.Net

A Proposed Addition and Remodel for:

Ray and Erin Rand
239 Loma Alta Ave
Los Gatos, CA 95030

Date: 9/15/16

Rev: 2.0

Drawn by: JM

Sheet:

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