

VIEW FROM STATION POINT 'A'  
- CENTER OF SHANNON ROAD.

**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF ADDING TO THE LOWER LEVEL AND ADDING A SECOND STORY BEDROOM WING TO THE REAR OF AN EXISTING SINGLE FAMILY RESIDENCE SITUATED ON A NON-CONFORMING PARCEL OF NARROW WIDTH. INCLUDED WILL BE THE DEMO OF A NON-CONFORMING TWO CAR GARAGE LOCATED IN THE REAR OF THE PARCEL AND THEN THE CONSTRUCTION OF A NEW CONFORMING TWO CAR GARAGE.

**DESIGN CRITERIA**

DUE TO THE CONSTRAINTS IMPOSED BY THE NARROWNESS OF THE PARCEL, A SECOND STORY ADDITION WAS CHOSEN IN ORDER TO MAINTAIN THE POSITIVE RELATIONSHIP OF THE LIVING AREAS WITH THE REAR YARD. THE SECOND STORY IS LOCATED TO REAR OF THE HOUSE TO MINIMIZE ANY VISUAL IMPACTS ALONG SHANNON ROAD. PLEASE SEE THE PERSPECTIVE VIEW DEPICTING A PERSON'S VIEW OF THE PROJECT FROM THE MIDDLE OF SHANNON ROAD ON SHEET A-1.0.

**COMPATIBILITY**

THE SCALE AND MASS OF THE PROPOSED ADDITION IS COMPATIBLE WITH THE NEIGHBORHOOD. TWO - 2-STORY HOMES EXIST ACROSS THE STREET AND A 2-STORY ACCESSORY BUILDING EXISTS NEXT DOOR AT 16735 SHANNON. A HOME WITH A 2-STORY FRONT FACADE APPROX. 3'-6" TALLER THAN THE PROPOSED ADDITION

**OWNERS**

GARY and TRACY JAMIESON  
16743 SHANNON ROAD  
LOS GATOS, CA 95032

**PROFILE**

APN 523 06 006  
ZONING R 1-8  
SETBACKS INDICATED ON SITE PLAN  
S = 1%+-

**AREA SUMMARY**

SITE AREA	8,050.0 sf
F.A.R. = .326	
ALLOWED FLOOR AREA (8050X.326)	2,621.0 sf
● EXISTING HOUSE FLOOR AREA	1,234.0 sf
● LOWER LEVEL ADDED FLOOR AREA	532.0 sf
● PROPOSED LOWER LEVEL FLOOR AREA	1,766.0 sf
● UPPER LEVEL ADDED FLOOR AREA	855.0 sf
● TOTAL PROPOSED FLOOR AREA	2,621.0 sf

**GARAGE**

F.A.R.GARAGE = .091 =	732.5 sf
15% NET SITE AREA =	591.5 sf
● ALLOWED GARAGE	591.5 sf
● PROPOSED NEW DETACHED GARAGE	591.5 sf

Print date:  
10.26.16  
10.7.16

**JAY PLETT**  
ARCHITECT

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**JAMIESON RES.**  
**ADDITION/RENOVEL**  
**16743 SHANNON ROAD LOS GATOS**

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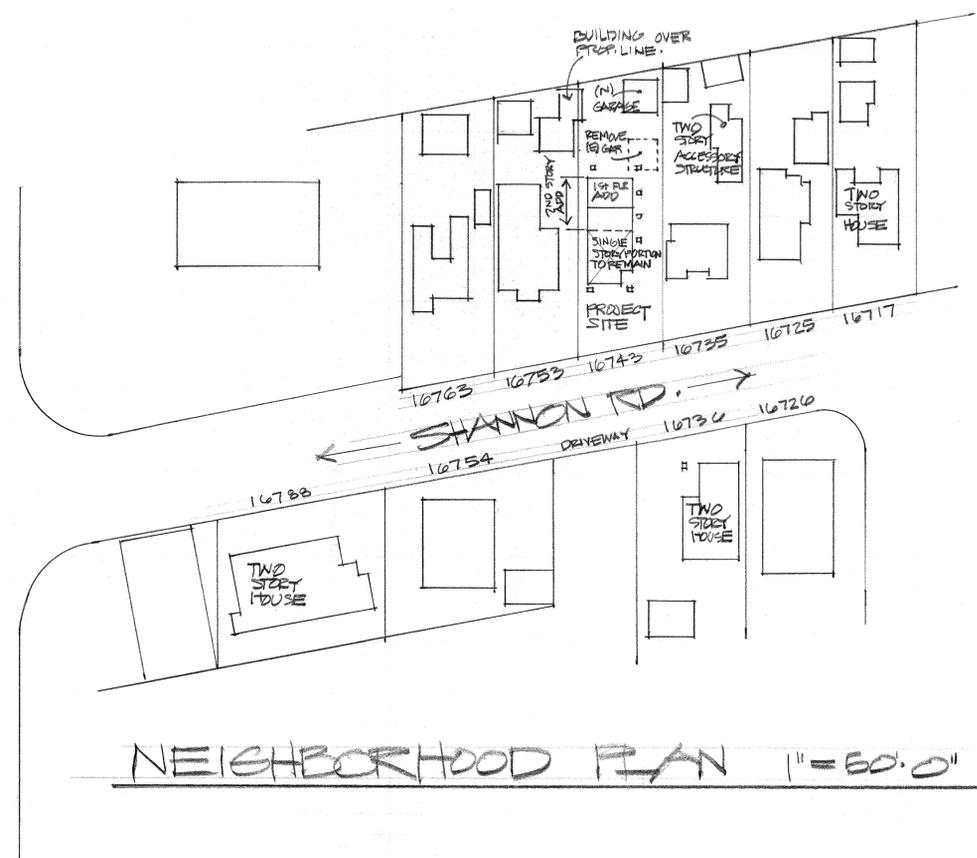
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**JAMESON RES.**  
**ADDITION/REMODEL**  
**16743 SHANNON ROAD HEADS**



**NEIGHBORHOOD PLAN 1"=50.0"**

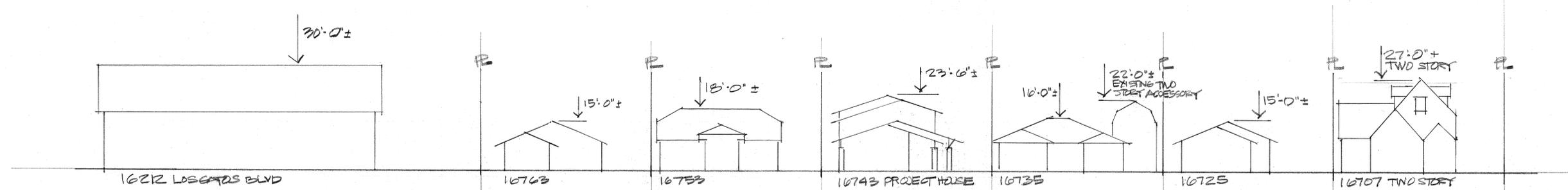
**FLOOR AREA / FAR COMPARISONS**

ADDRESS	LOT SIZE	FLOOR AREA	FAR
*16725 SHANNON	8,050	1,358 sf	.169
*16735	8,211	1,022	.124
*16736	8,060	1,104	.137
16726	8,680	1,814	.209
16753	8,050	2,336	.290
16763	8,694	1,234	.142
16788	8,986	2,683	.299
16754	10,000	1,807	.181

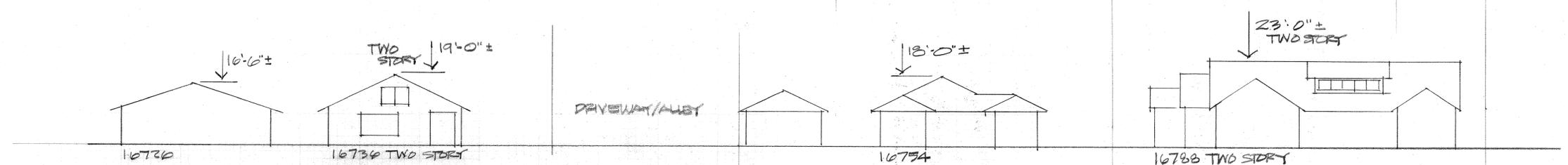
**PROJECT HOME SUMMARY**

16743 8,050 2,621 .326

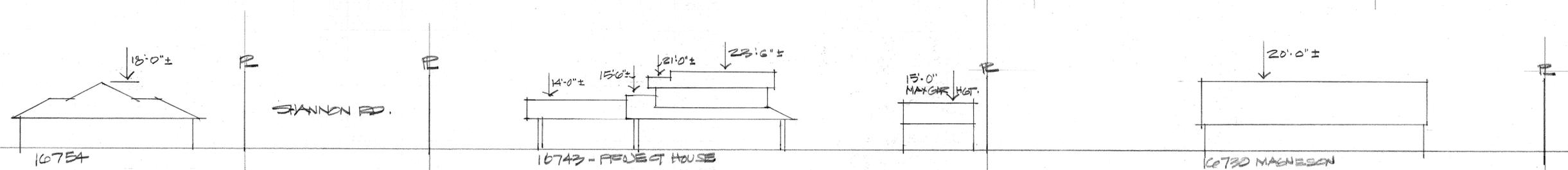
\*DENOTES SURROUNDING HOMES WITH APPARENT COUNTY RECORD INFORMATION NOT CONSISTENT WITH TOWN GIS/ DATA BASE MAPPING. THESE PARCELS CONTAIN MULTIPLE ACCESSORY BUILDINGS AND/OR BUILDING FOOTPRINTS THAT WOULD INDICATE LARGER FLOOR AREAS THAN COUNTY RECORDS.



**STREET ELEVATION LOOKING NORTH AT PROJECT HOUSE 1/16"=1'-0"**



**SOUTH STREET ELEVATION - ACROSS PROJECT SITE. 1/16"=1'-0"**



**SECTION FRONT TO BACK 1/16"=1'-0"**

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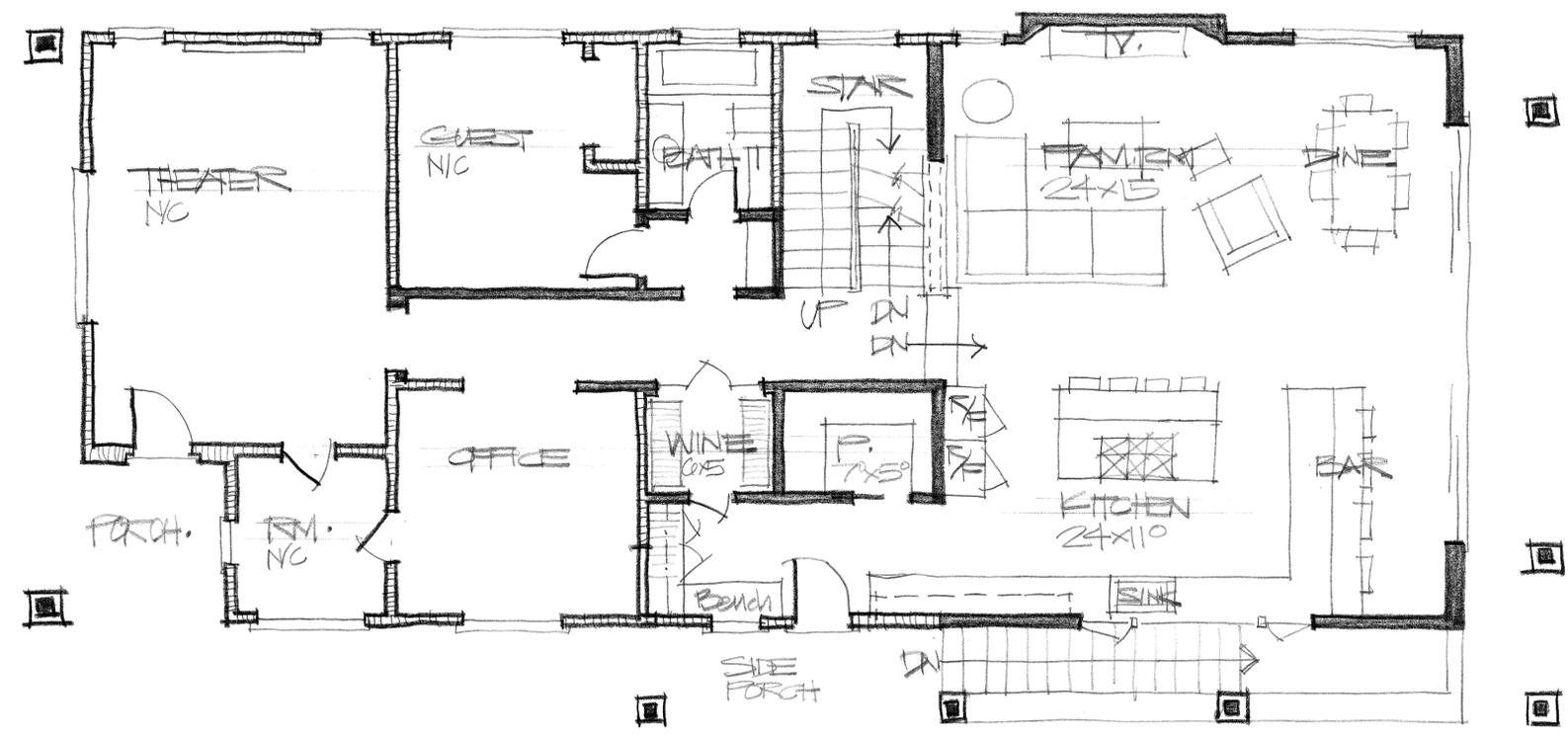
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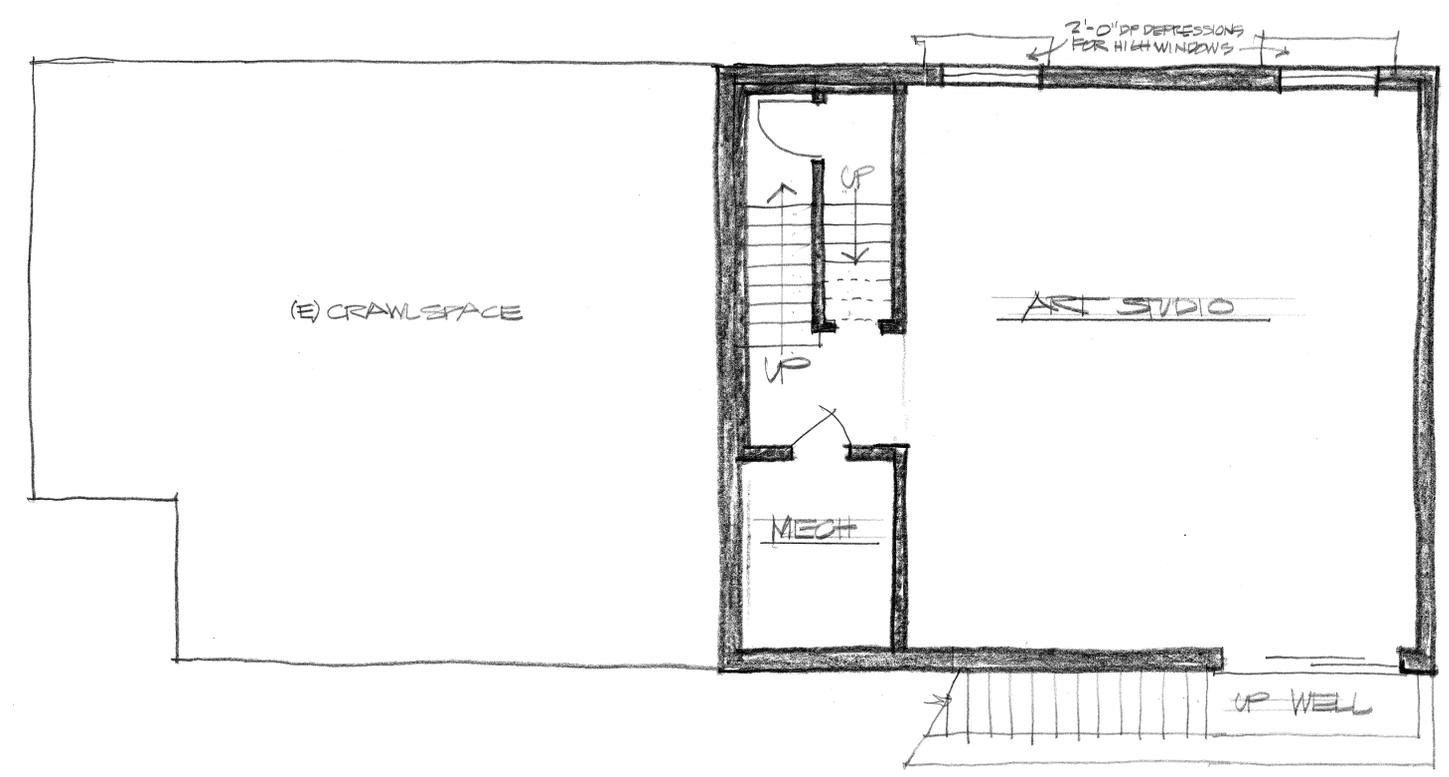
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GROUND LEVEL - JAMIESON  
 JAY PLETT ARCHITECT

**JAMIESON RES.**  
 ADDITION/REMODEL  
 10745 SHANNON ROAD LEADS



CELLAR PLAN  
 1/4" = 1'-0"

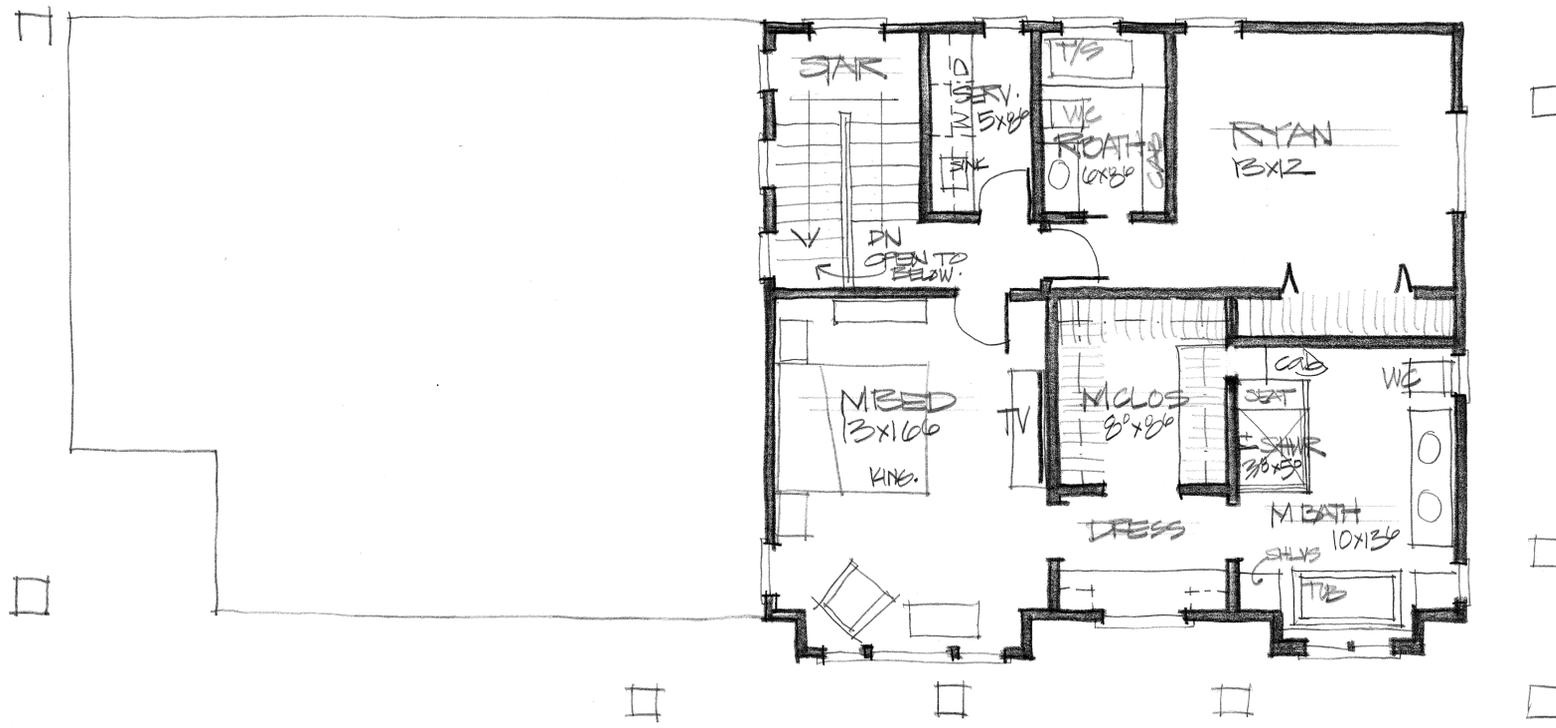
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UPSTAIRS - JAMESON 9.19.16  
 JAY PLETT ARCHITECT



EYE LEVEL VIEW FROM CENTER  
 OF SHANNON ROAD

Print date:

10.20.16  
 10.7.16

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JAMESON RES.  
 ADDITION/REMODEL  
 10743 SHANNON ROAD LEASE

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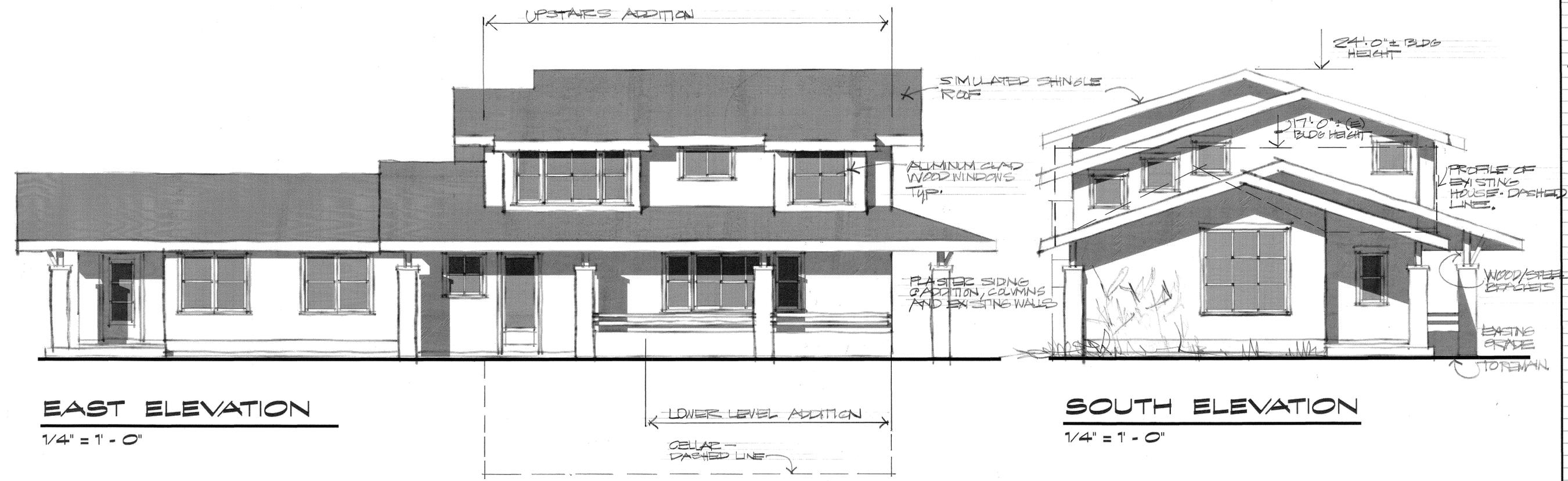
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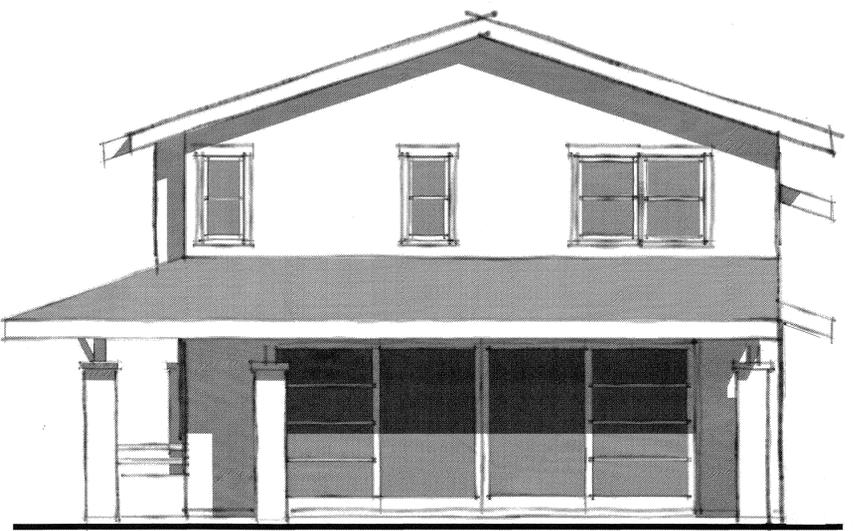


**EAST ELEVATION**

1/4" = 1'-0"

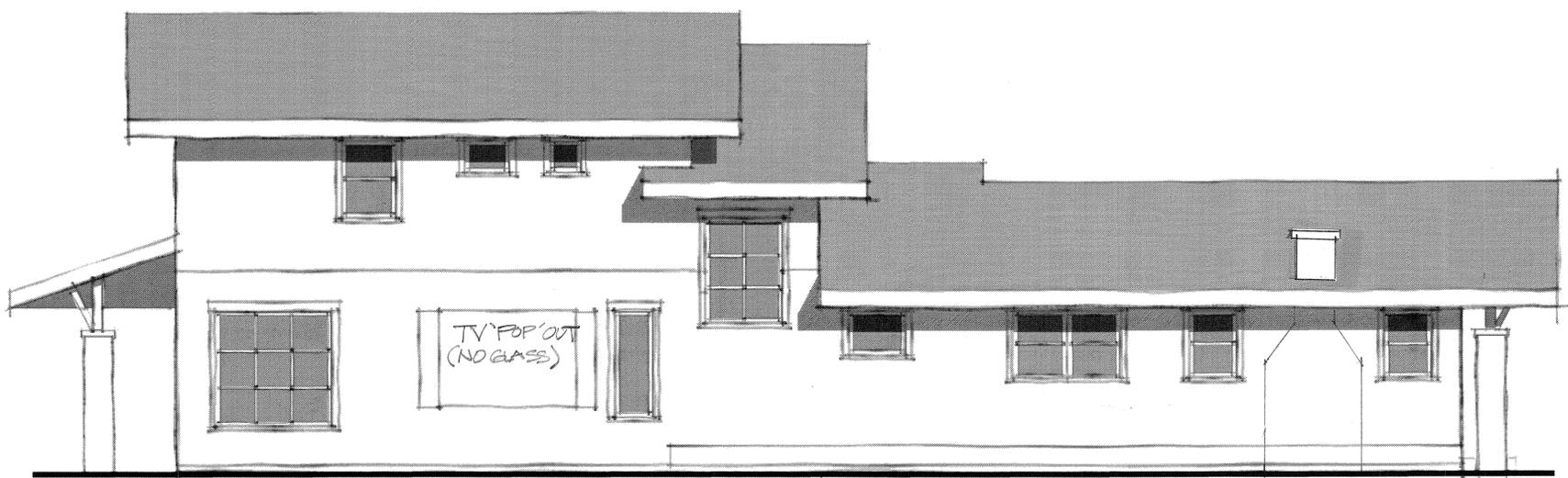
**SOUTH ELEVATION**

1/4" = 1'-0"



**NORTH ELEVATION**

1/4" = 1'-0"



**WEST ELEVATION**

1/4" = 1'-0"

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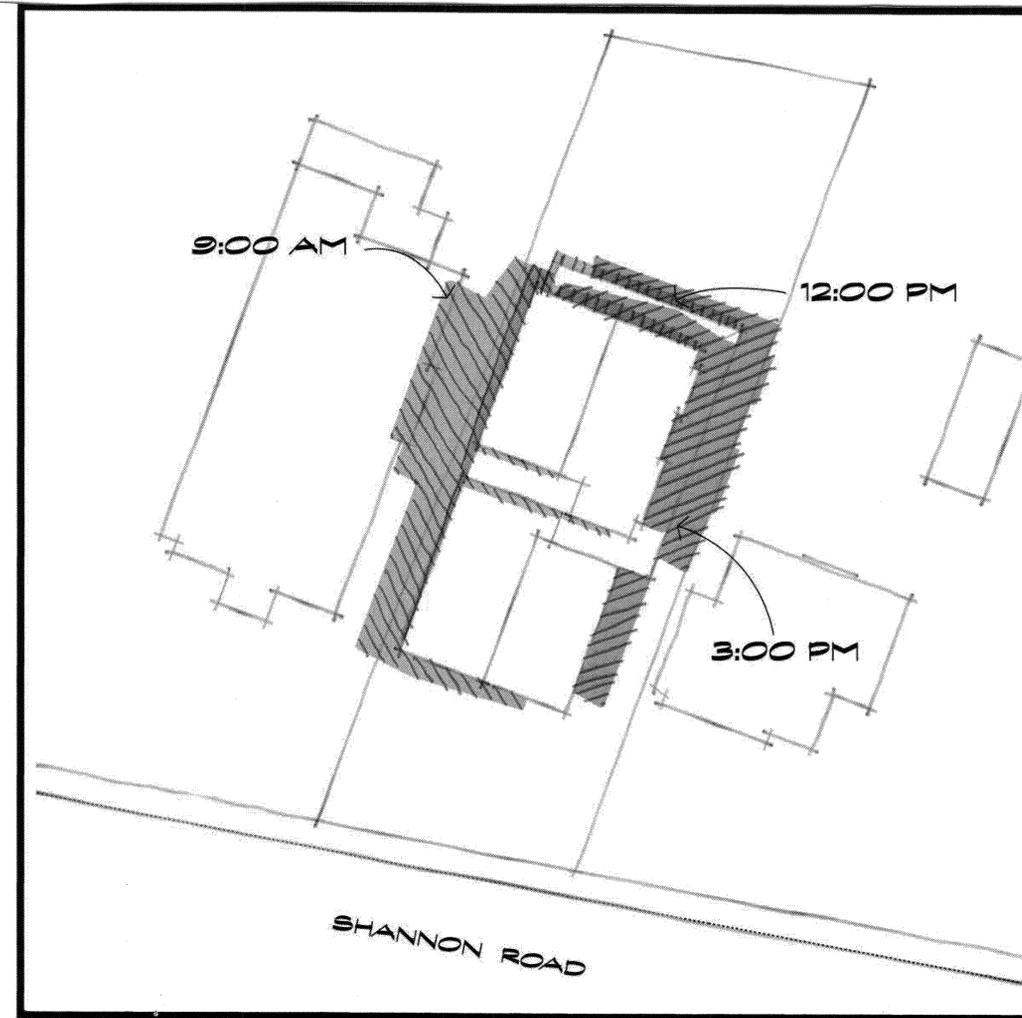
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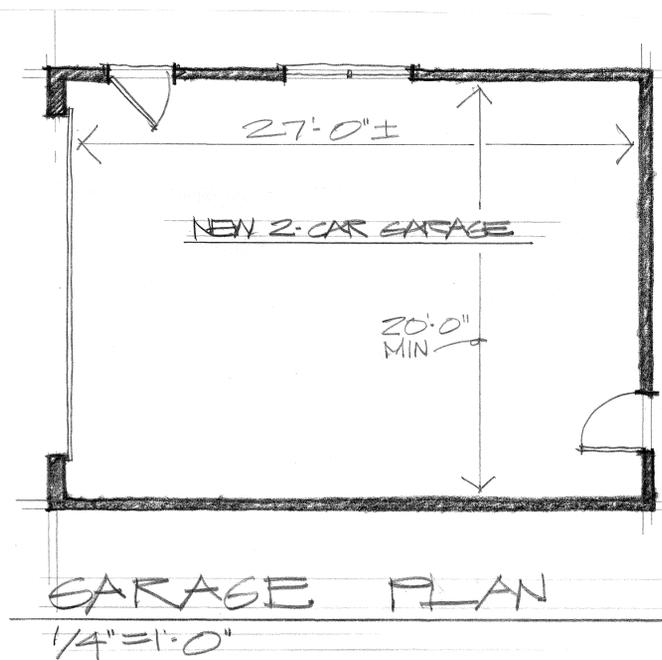
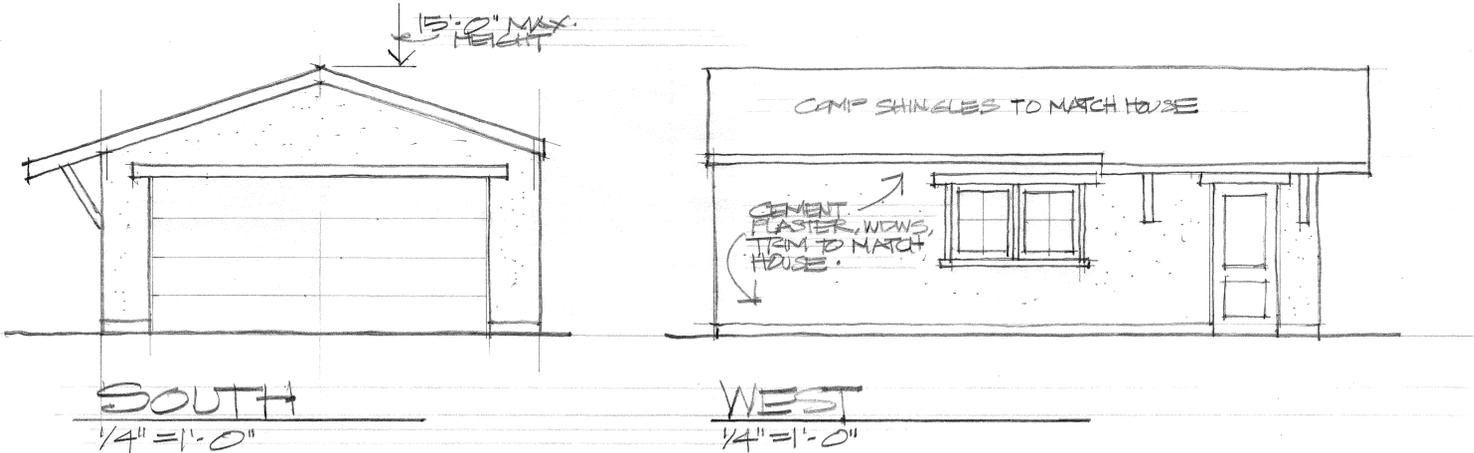
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SHADOW STUDIES DECEMBER 21



SHADOW STUDIES JUNE 21



GARAGE PLAN

Print date:

10.24.16  
10.17.16

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JAMIESON RES.  
ADDITION/REMODEL  
16743 SHANNON ROAD LEAVES

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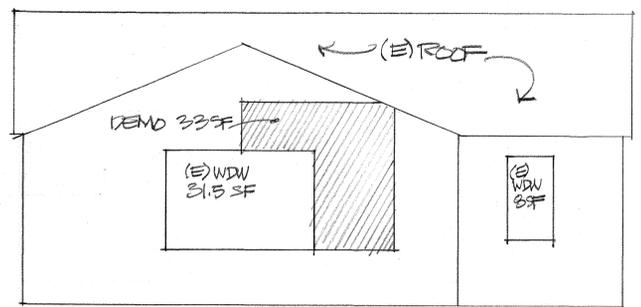
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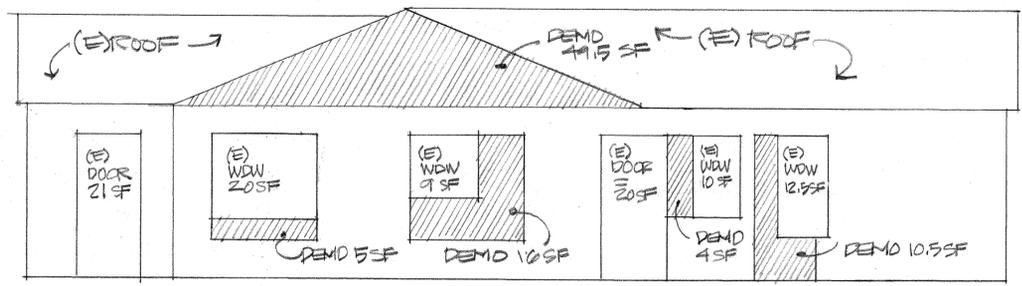
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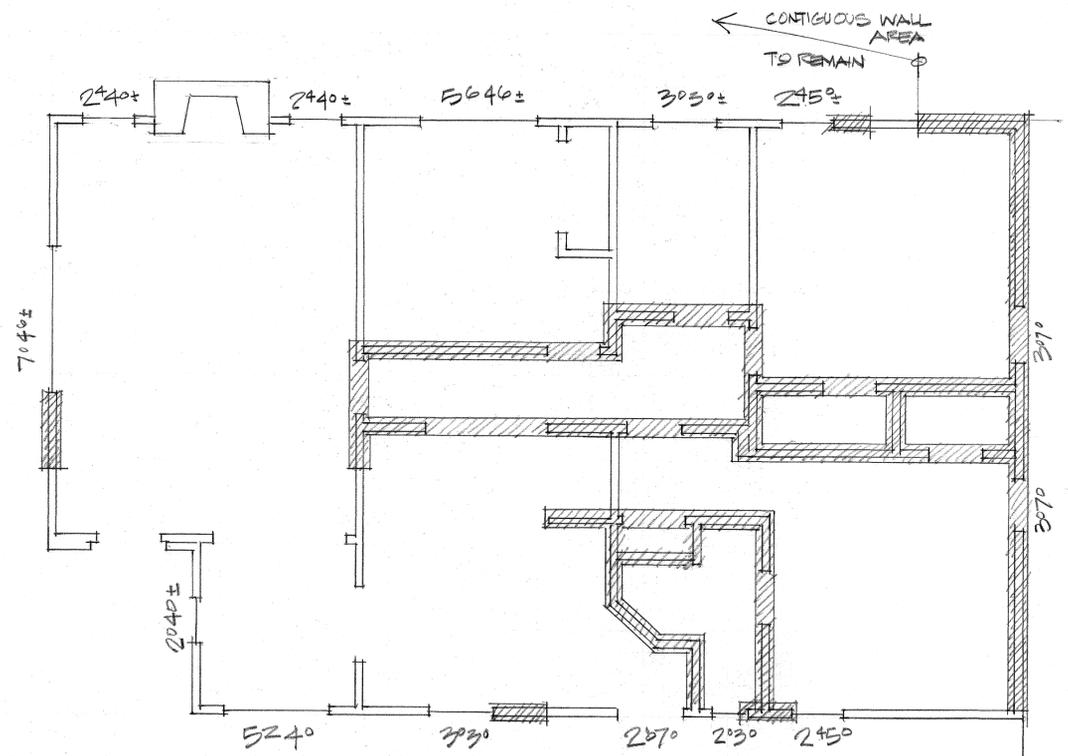
**DEMO ELEV - SOUTH**

EXISTING WALL AREA	230.5 SF
EXISTING WALL AREA DEMO'D	35.5 SF
EXISTING REMAINING CONTIGUOUS WALL AREA	195.0 SF



**DEMO ELEV - EAST**

EXISTING WALL AREA	322.0 SF
EXISTING WALL AREA DEMO'D	85.0 SF
EXISTING CONTIGUOUS WALL AREA TO REMAIN	237.0 SF



**AS BUILT / DEMO PLAN**  
 1/4" = 1'-0"

**LEGEND**

EXISTING WALL TO BE DEMOLISHED  
 EXISTING WALL TO REMAIN. EXTERIOR WALLS SHOWN TO REMAIN MAY NOT BE DEMOLISHED FOR ANY REASON WITHOUT PRIOR APPROVAL OF THE LOS GATOS PLANNING DEPT.

NOTE THE FOLLOWING TOWN DEFINITION OF DEMOLITION:

**Non-Historic Structures (Not in an historic district or on a historic site and/or constructed after 1941)**  
**Demolition:** The definition of demolition as set forth in Section 29.10.020 is attached.

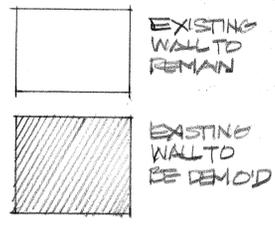
Demolition of a structure means:

- Demolition of more than fifty (50) percent of all exterior wall areas OR
- Failure to maintain a contiguous (connecting without a break) portion of existing exterior wall area that is 50% or more of the total exterior wall area.
- The remaining exterior wall area must maintain either the existing interior or existing exterior wall covering.

**Additional Information:**

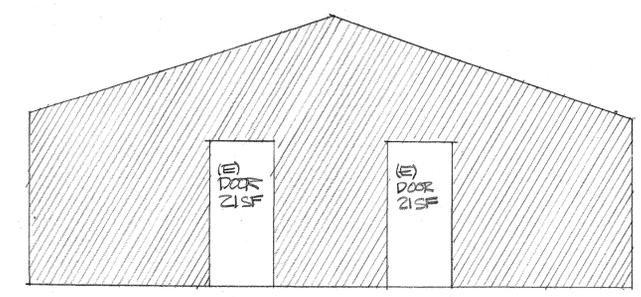
- When a section of an exterior wall has both the interior and exterior wall covering removed, this section of wall is considered demolished, even if the structural components (i.e. studs or sheathing) of the wall remain, except for historical structures.
- Dry rot or any other damage does not exempt the project from any provision set forth by Section 29.10.09030. If you find dry rot and need to repair it, STOP WORK and contact the Planning Department at (408) 354-6872 to discuss the changes BEFORE YOU PROCEED.
- If you encounter an unanticipated situation that changes the scope of work, STOP WORK and contact the Planning Department at (408) 354-6872 to discuss the changes BEFORE YOU PROCEED.
- Exterior wall covering means the finished surface of an exterior wall (i.e. stucco, siding or shingles)
- Interior wall covering means the finished surface of an interior wall (i.e. sheetrock or plaster)
- Exterior wall means the side of a building connecting foundation and roof. A wall encompasses the total height and width of the side of the building, the exterior or interior wall covering and studs/structural elements used in framing the wall.
- Existing wall area does not include existing door and window openings.
- If the connection from the roof all the way to the foundation is broken, contiguity is broken. A one foot minimum connection is typically required to qualify as contiguous.

**ELEVATION LEGEND**



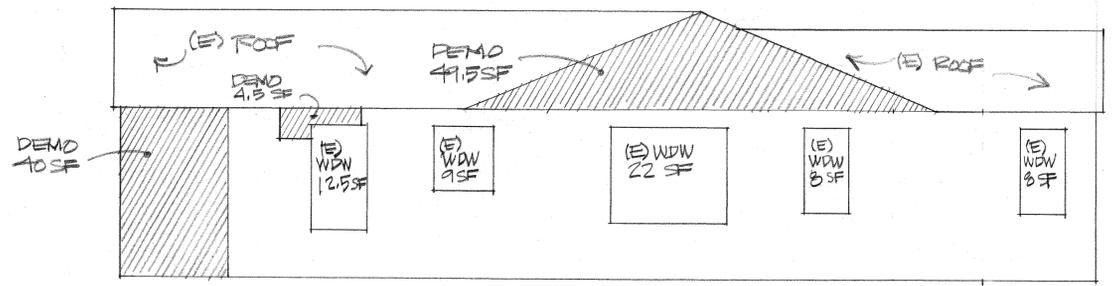
**REMAINING CONTIGUOUS WALL AREA CALC.**

TOTAL EXISTING WALL AREA	1,155.5 SF
TOTAL REMAINING CONTIGUOUS WALL AREA	694.0 SF
	= 60%



**DEMO ELEV - NORTH**

EXISTING WALL AREA	245 SF
EXISTING WALL AREA DEMO'D	245 SF



**DEMO ELEV - WEST**

EXISTING WALL AREA	258 SF
EXISTING WALL AREA DEMO'D	74 SF
EXISTING CONTIGUOUS WALL AREA TO REMAIN	204 SF

JAMIESON TREB.  
 ADDITION / REMODEL  
 16743 SHANNON ROAD LEADS

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