

KENNEDY ROAD

16982 KENNEDY ROAD, LOS GATOS, CA 95032

JULY 27, 2016



Owner
GSJ LLC
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408.674.5123

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July 27, 2016

D and C DEVELOPMENT

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SDG Architects, Inc.

STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE TOWN OF LOS GATOS GRADING ORDINANCE, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE DEPARTMENT OF PARKS AND PUBLIC WORKS PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT 408.399.5771 AT LEAST 48 HOURS PRIOR TO ANY GRADING OR ON-SITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAILED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF 48 HOURS BUT NOT MORE THAN 14 DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - RETAINING WALL--TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DEPARTMENT).
 - TOE AND TOP OF CUT AND FILL SLOPES
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVE-ABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: _____ PHONE: _____
- GENERAL CONTRACTOR (IF AVAILABLE): _____ PHONE: _____
- GRADING CONTRACTOR (IF AVAILABLE): _____ PHONE: _____
- A. CUT: $\frac{830}{5}$ CY EXPORT: $\frac{825}{0}$
B. FILL: _____ CY IMPORT: _____
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORM WATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN, THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ONSITE AT ALL TIMES. NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR ONTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONNECT SANITARY SEWER AND WATER LINE TO EXISTING STREET SERVICES.
- CONNECT GAS AND ELECTRIC LINES TO EXISTING GAS AND POWER SERVICES, PER PG&E STANDARDS.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- USE A COMBINATION OF BATTERY OPERATED/GENERATOR AND POWER OPERATED SUMP PUMPS TO ASSURE THEIR OPERATION IN CASE OF POWER FAILURE.

GENERAL NOTES:

- EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL-OSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSH'S LOCAL OFFICE: (510) 794-2521.
- PRIOR TO REQUESTING A FOUNDATION INSPECTIONS BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
 - THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
 - THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.

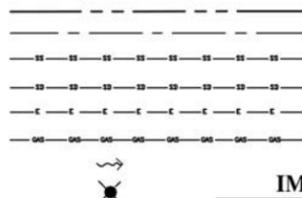
STANDARD GRADING PLAN NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION ION MEETING. THE MEETING SHALL INCLUDE THE CITY OF SARATOGA GRADING INSPECTOR (408-868-1202), THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTHWORK/GRADING ACTIVITIES.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. ANY PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER PERMITS/APPROVALS SHALL BE OBTAINED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE SHALL MAINTAIN ALL STREETS, SIDEWALKS AND OTHER PUBLIC RIGHT-OF WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM PUBLIC PROPERTY. ALL ADJACENT PROPERTY, BOTH PUBLIC AND PRIVATE, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- ALL KNOWN WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL 408-265-2600 x2600 TO ARRANGE FOR DISTRICT OBSERVATION OF WELL ABANDONMENT.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF ANY TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- THE PROJECT CIVIL ENGINEER, NNR ENGINEERING, 535 WEYBRIDGE DRIVE, SAN JOSE, CA. HAS DEIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY BAY AREA GEOTECHNICAL GROUP, 950 INDUSTRIAL AVENUE, PALO ALTO, CA.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNOBSERVED OR UNPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
- ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
- GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.

DESCRIPTION

- PROPERTY LINE
- CENTERLINE
- SANITARY SEWER
- STORM DRAIN LINE
- ELECTRICAL LINE
- GAS LINE
- DRAINAGE FLOW
- REMOVE TREE

LEGEND



IMPERVIOUS COVERAGE

	EXISTING	PROPOSE	DELTA
BUILDINGS	1688	2688	997
PORCHES	725	17	-708
DRIVEWAY/WALKS	112	0	-112
TOTAL	2,525	2,702	177

ABBREVIATION

- AD AREA DRAIN
- CO CLEANOUT
- (E) EXISTING
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SLAB
- INV INVERT
- (N) NEW
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SD STORM DRAIN

SHEET INDEX

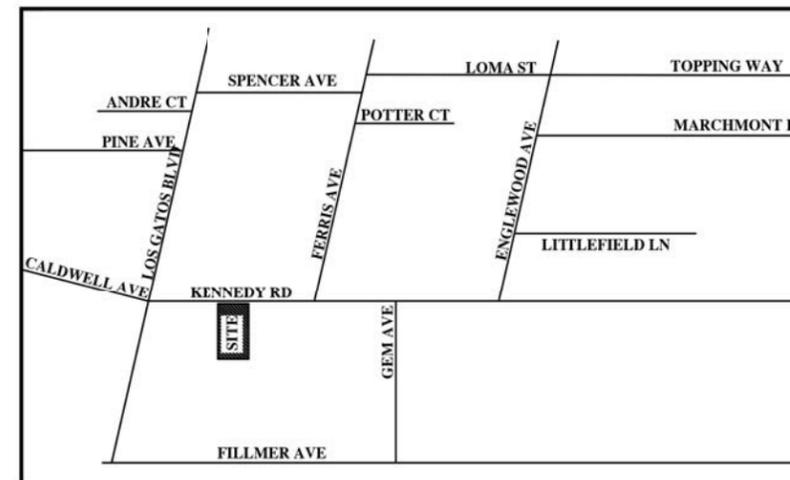
COVER SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2
CROSS SECTIONS AND MISC. DETAILS	C-3

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.

SITE ACREAGE

7,340± S.F.
0.168± ACRES



VICINITY MAP

EARTH WORK NOTE:

THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

NOTE:

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE TOWN OF LOS GATOS PUBLIC WORKS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

NOTE: NO GRADING REQUIRED EXCEPT FOR CRAWLSPACE & FOUNDATION EXCAVATION & FOR SHAPING FINAL GRADES FOR PROPER DRAINAGE

APPROXIMATE GRADING QUANTITIES (cu. yds.)

LOCATION	CUT	DEPTH	FILL	DEPTH	TOTAL
HOUSE/ BASEMENT	830	12'	0	0	
SITE	0	0	5	0.5'	
TOTAL	830		5		825

STANDARD GRADING NOTES

- GRADING SHALL CONFORM TO THE TOWN OF LOS GATOS GRADING REQUIREMENTS, TO THE ATTACHED SPECIFICATIONS AND TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT BY THE SOIL ENGINEER.
- DRIVEWAY SURFACING SHALL CONFORM TO THE PLAN AND DETAILS SHOWN HEREON AND AS REQUIRED BY THE TOWN OF LOS GATOS.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE TO THE DRIVEWAY OR TO A CLOSE PIPE DRAINAGE SYSTEM. IT SHALL BE THE OWNERS RESPONSIBILITY TO INSURE THAT THE DRAINAGE FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS. THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES OR RE-GRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2% FOR AT LEAST 3 FEET. MINIMUM SLOPE IN ALL OTHERS CASES SHALL BE 1%.
- EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES ARE REQUIRED IN GRADED AREAS. SEE PLAN FOR DETAILS. EROSION CONTROL AND SILT RETENTION FACILITIES SHALL BE IN PLACE BY NOVEMBER 1st.
- GRADING SHALL BE PERMITTED ONLY FROM APRIL 1st TO NOVEMBER 1st.
- THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS FOR ADDITIONAL DETAILS AND DIMENSIONS.

BENCHMARK

TOWN OF LOS GATOS
BM NO. LG43

LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42' (NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 2.72 FEET TO BE ON NAVD 1988.



NNR ENGINEERING
CIVIL ENGINEERS
535 WEYBRIDGE DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 348-7813

16982 KENNEDY ROAD

LOT 0

LOS GATOS, CALIFORNIA

A.P.N. 532-35-060

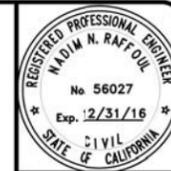
COVER SHEET

REVISIONS	BY

JOB NO:
DATE: 7-27-2016
SCALE: N.T.S.
DRAWN BY: NR
SHEET NO:

C-1

OF 3 SHEETS



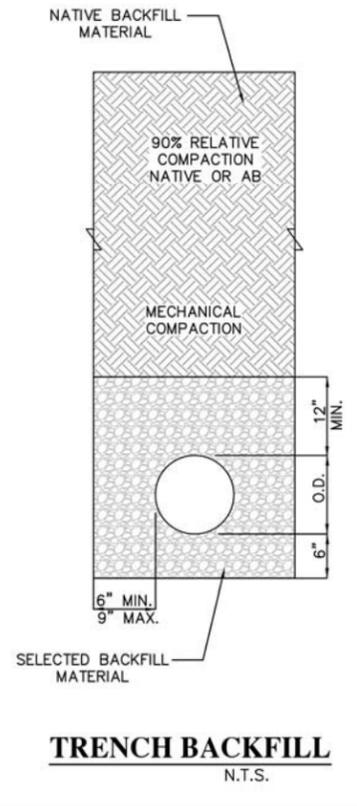
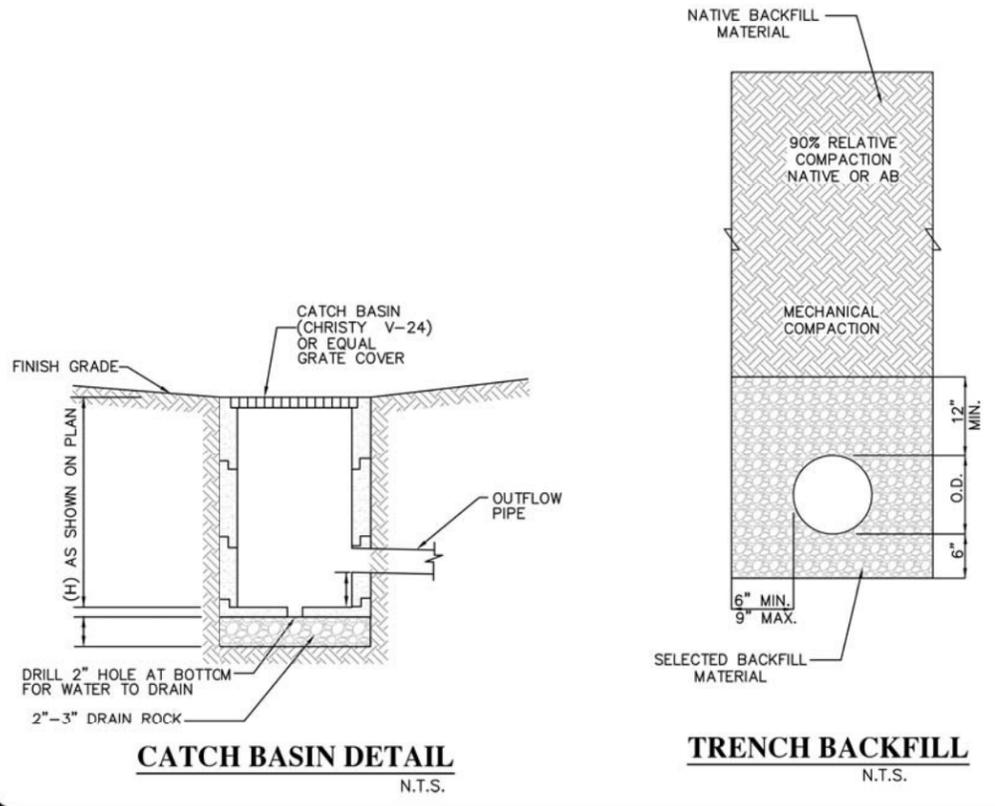
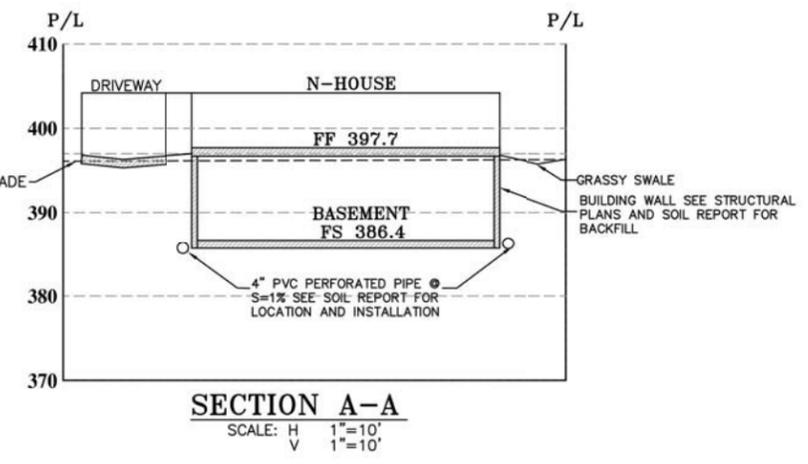
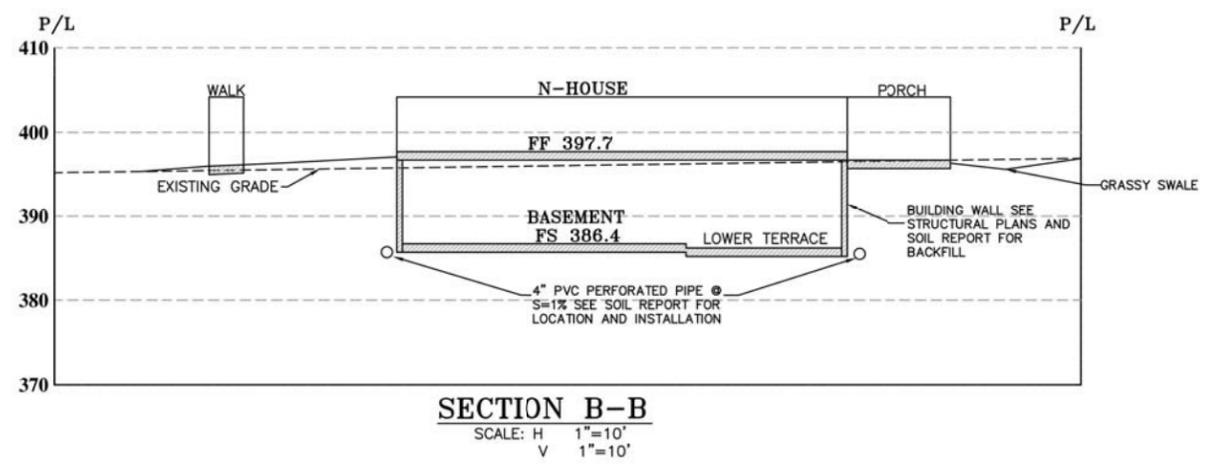
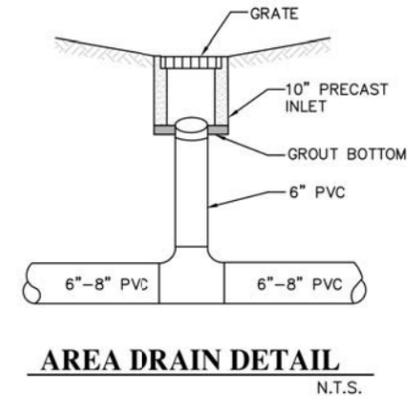
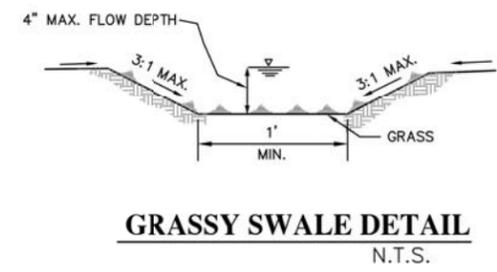
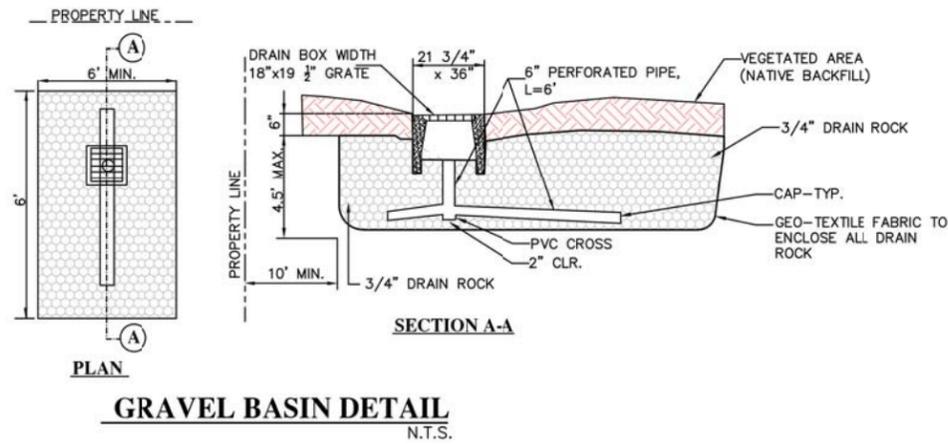
NMR ENGINEERING
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 (408) 348-7813

16982 KENNEDY ROAD
LOT 8
LOS GATOS, CALIFORNIA
A.P.N. 532-35-060

DRAINAGE AND MISC. DETAILS

REVISIONS	BY

JOB NO:
 DATE: 7-27-2016
 SCALE: AS SHOWN
 DRAWN BY: NR
 SHEET NO:
C-3
 OF 3 SHEETS





NMR ENGINEERING
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 535 WEYBRIDGE DRIVE
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 (408) 348-7813

16982 KENNEDY ROAD
 LOT 9
 LOS GATOS, CALIFORNIA
 A.P.N. 532-35-060

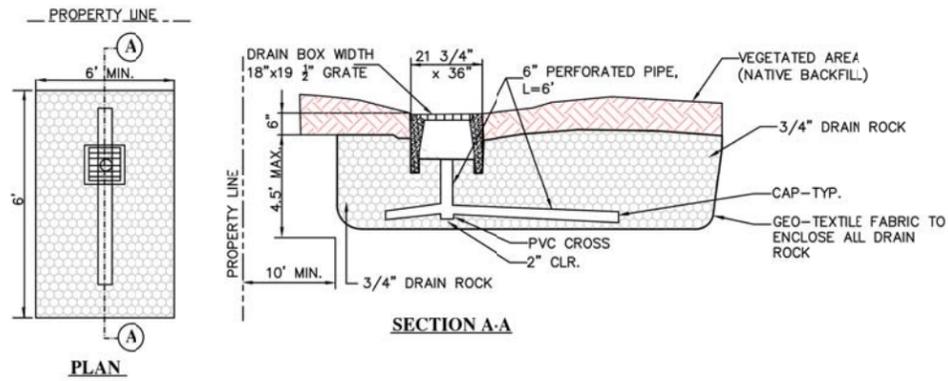
**DRAINAGE AND
 MISC. DETAILS**

REVISIONS	BY

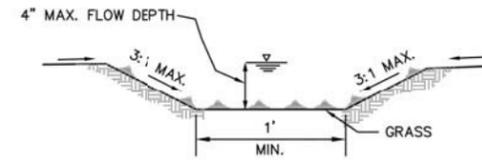
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C-3

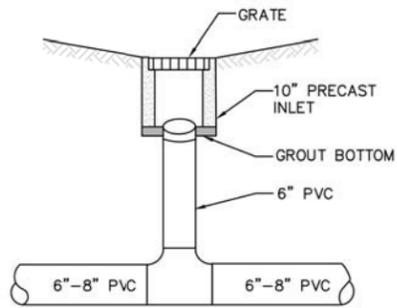
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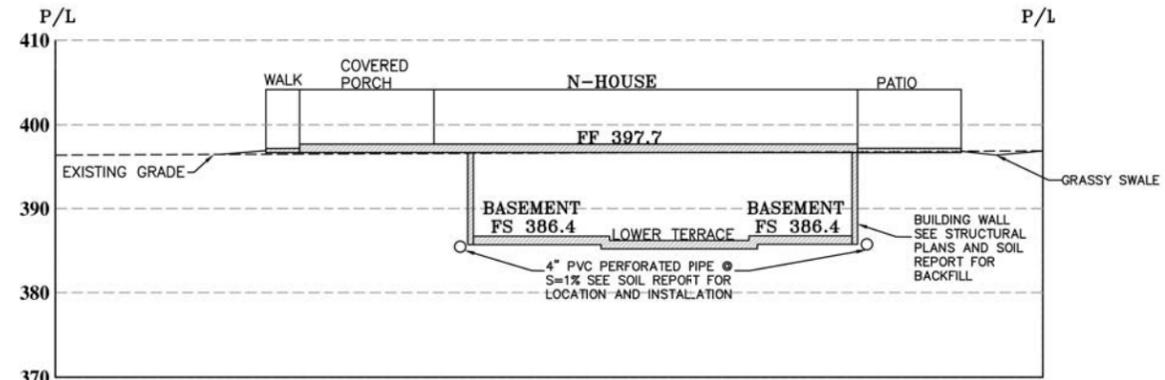
GRAVEL BASIN DETAIL
 N.T.S.



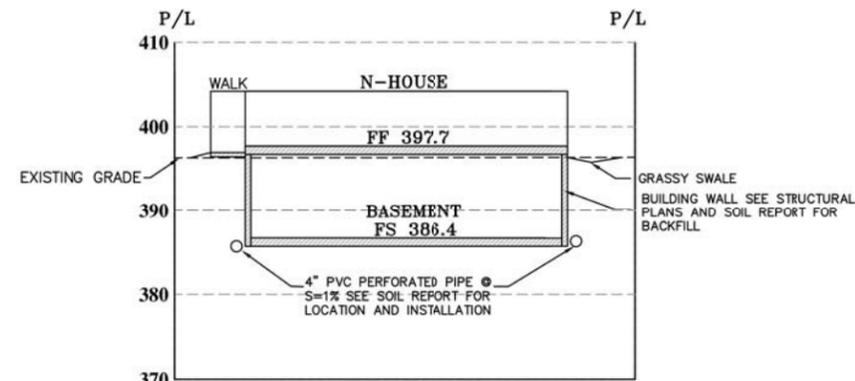
GRASSY SWALE DETAIL
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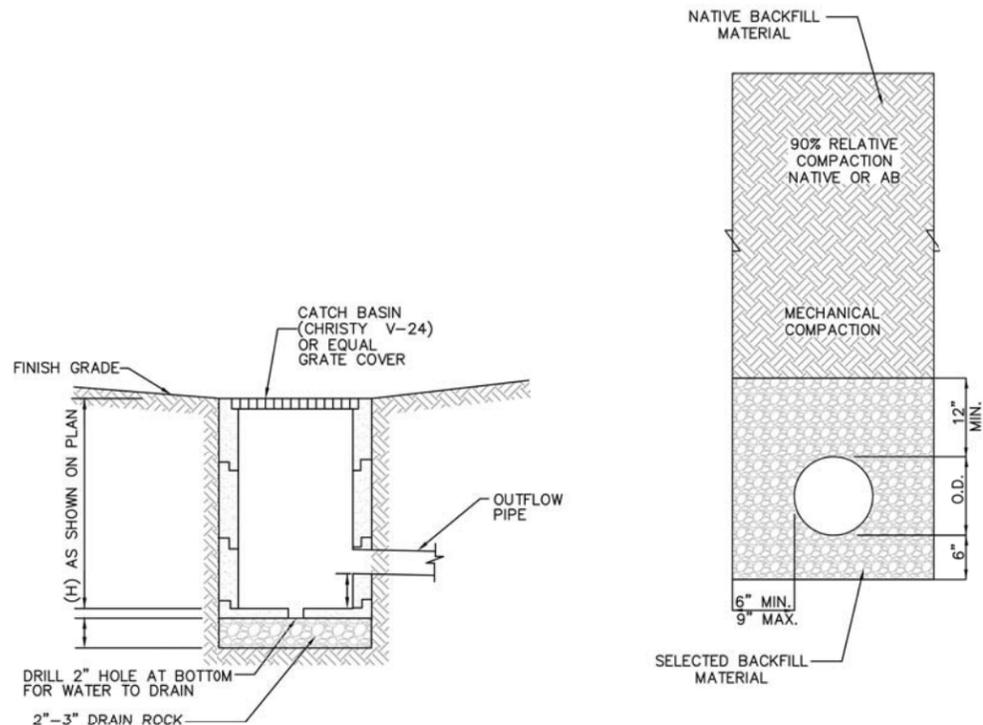
AREA DRAIN DETAIL
 N.T.S.



SECTION B-B
 SCALE: H 1"=10'
 V 1"=10'



SECTION A-A
 SCALE: H 1"=10'
 V 1"=10'



CATCH BASIN DETAIL
 N.T.S.

TRENCH BACKFILL
 N.T.S.



Plant Legend

KEY	SIZE	BOTANICAL NAME	COMMON NAME
TALL SHRUB			
WF	5	Westringia fruticosa	
PI	5	Pittosporum tenuifolium	
FS	5	Feijoa sellowiana	Pineapple Guava
PT	5	Pittosporum tobira	Myrtle
MEDIUM SHRUBS			
RC	5	Rhapholepis minor	India Hawthorne
DV	5	Dielsia vegeta	Fortnight Lily
LB	5	Lamandra Breeze	
CC	5	Myrtus communis compacta	Dwarf Myrtle
LC	5	Loropetalum Razzeberry	
GROUND COVERS			
LM	1	Lantana montevidensis purple	Purple Lantana
LW	1	Lantana montevidensis white	White Lantana
SL	1	Salvia leucantha	Mexican Sage
BT	1	Berberis thunbergii Crimson Pygmy	Barberry
T	1	Teucrium chamaedrys	Germander

Existing Trees

See Arbotist Report by Kelly Arbotist Services LLC (650) 515-9783 for more detailed information

KEY	COMMON NAME (BOTANICAL NAME)	DBH	HT/SP	
1P	Deodar cedar (Cedrus deodara)	35.1	85/40	Save
6	Tulip magnolia (Magnolia silangeana)	7.7	20/15	Remove
7	Magnolia (Magnolia grandiflora)	11.7	25/20	Remove
8	Orange (Citrus spp.)	6.7	12/12	Remove
9	Queen palm (Syagrus romanoffiana)	8 est.	40/15	Remove
10P	Sweet bay (Laurus nobilis)	4.3,2.2	35/15	Remove
11P	Redwood (Sequoia sempervirens) in neighbors yard	35 est.	120/45	Save

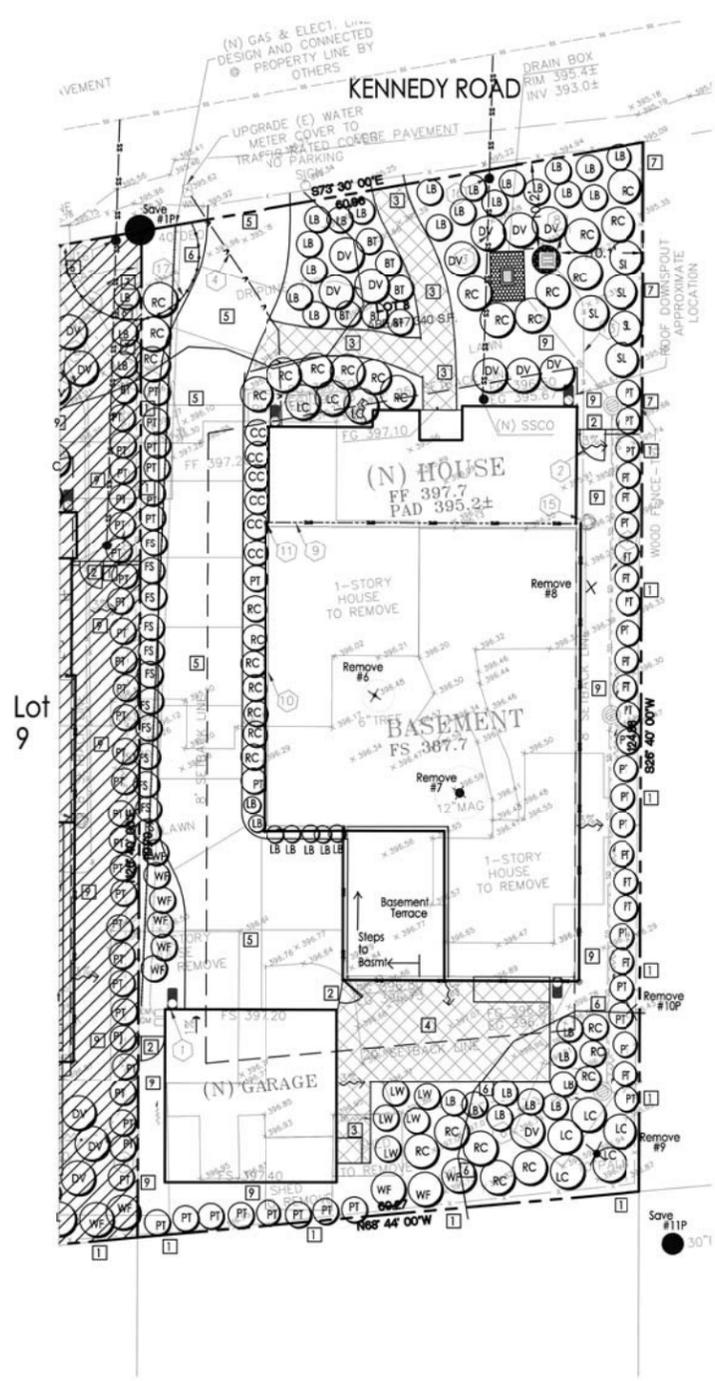
P = Protected tree

Landscape Notes

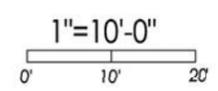
- Final landscape construction drawings will include and irrigation Plan, Details, and Specifications that meet the requirements of the Water Efficient Landscape Rules.
- Exact location of plants on site to be adjusted so as to best coordinate with irrigation component locations, lights, drainage features, and swales.
- Use 3 inch deep mulch in all planting areas. Provide owner with different mulch samples and prices including Redwood Chip from Reuser in Cloverdale, and Mahogany colored Wonder Mulch from Vision Recycling in Fremont.
- Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle scaled less than 8" wide is 5 gal. size and any circle scaled larger is 15 gal. size.
- The plan is schematic. Don't install plants too close to edges of paving or buildings. Keep valves and quick couplers away from trees.
- The plants will do much better if efforts to uncompact soil that has compacted during building construction.
- See specs. concerning soil amendments and fertilizer. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of BFI Organics Super Humus Compost 16 pounds of 12-12-12 fertilizer filled into the top 6" to 8" of soil after ripping soil to 12" deep, except on steep slopes. Some of the planting areas are so narrow that it will need to be dug in by hand.
- There are no lawn areas.
- No utility trench shall be allowed within 15 foot radius of an existing mature tree. Boring, air spade, or other excavation method as approved by the City Arbotist shall be considered to protect existing mature tree. Consult with the City Arbotist prior to adjusting locations of utility lines.
- Read the project arbotist's tree report and tree protection plan concerning the protection of all existing trees to be saved during construction.
- Check to see if a Soil Management Report has been done. Proof will be required that all recommendations have been done. If the Soil Management Report has not been done by the time the bid for landscape construction has been awarded the landscape contractor is responsible for the cost of it and getting the sample collected and to the lab. There is so much grading being done on the site that the Soil Management report needs to be done after most of the grading is done but soon enough to be able to make changes to plant material or soil amendments if necessary.

Landscape Site Legend

- 6'-0" tall wood fence
 - 6'-0" tall wood gate to match fence
 - Interlocking conc. paver path - color and pattern TBD
 - Interlocking conc. paver patio - color and pattern TBD
 - Concrete driveway and walkways - color and score joint pattern TBD
 - Tree protection fence - 6 foot tall chain link with metal poles pounded into soil as per the project arbotist's report
 - 3'-0" tall wood fence in front yard setback
 -
 - Informal wood chip/mulch path
- Fences step down slopes



Cover Sheet & Planting Plan



Plant Legend

KEY	SIZE	BOTANICAL NAME	COMMON NAME
TALL SHRUB			
WF	5	Westringia fruticosa	
PI	5	Pittosporum tenuifolium	
FS	5	Feijoa sellowiana	Pineapple Guava
PT	5	Pittosporum tobira	Myrtle
MEDIUM SHRUBS			
RC	5	Rhapholepis minor	India Hawthorne
DV	5	Diospyros virginiana	Common Fig
LB	5	Lamandra Breeze	Fortnight Lily
CC	5	Myrtus communis compacta	Dwarf Myrtle
LC	5	Loropetalum Razzeberry	
GROUND COVERS			
LM	1	Lantana montevidensis purple	Purple Lantana
LW	1	Lantana montevidensis white	White Lantana
SL	1	Salvia leucantha	Mexican Sage
BT	1	Berberis thunbergii Crimson Pygmy	Berberis
T	1	Teuclium chamaedrys	Germander

Existing Trees

See Arbotist Report by Kelly Arbotist Services LLC (450) 515-9783 for more detailed information

KEY	COMMON NAME (BOTANICAL NAME)	DBH	HT/SP	
1P	Deodar cedar (Cedrus deodara)	35.1	85/40	Save
2P	Deodar cedar (Cedrus deodara)	37.2	85/40	Save
3	Colorado blue spruce (Picea pungens)	10.9	35/15	Remove
4P	Arbutifae (Thuja occidentalis)	12.2	30/25	Remove
5P	Birch (Betula pendula)	7.0,7.7,6.7	50/20	Remove
12P	Deodar cedar (Cedrus deodara) in neighbors yard	35 est.	85/45	Save

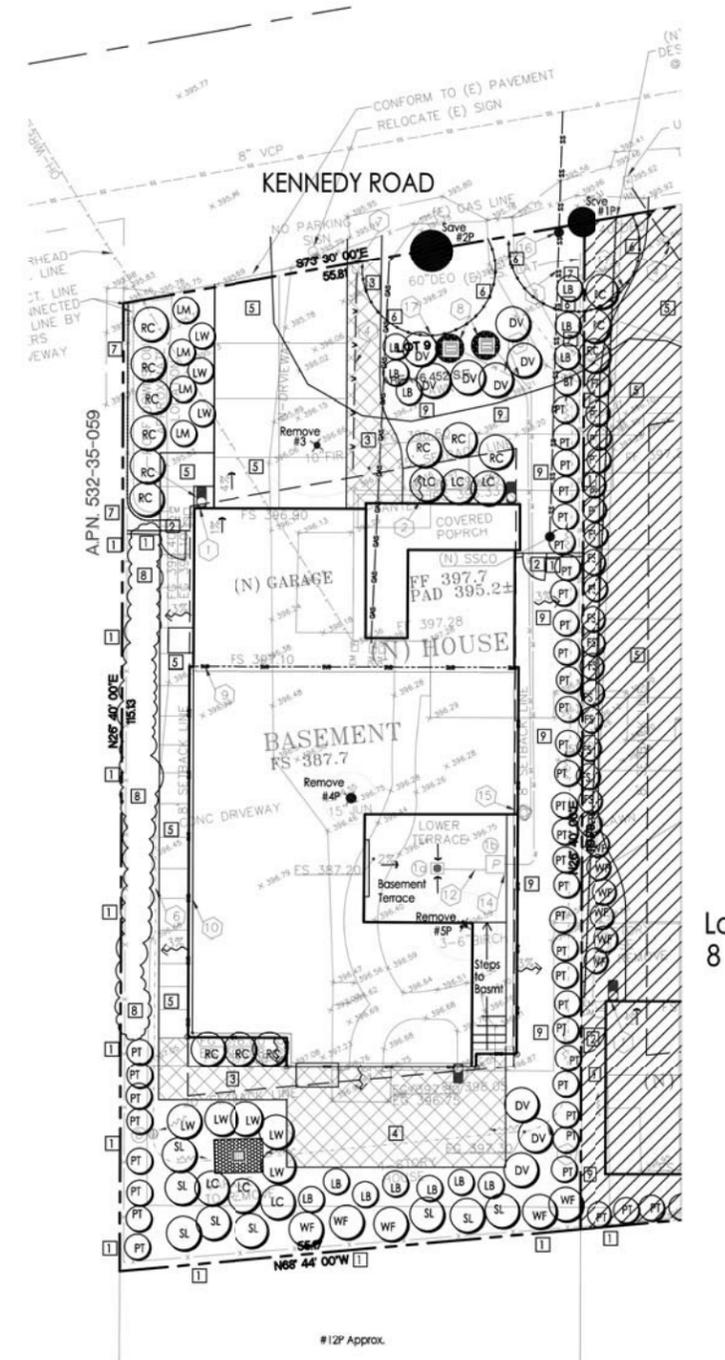
P = Protected tree

Landscape Notes

- Final landscape construction drawings will include and Irrigation Plan, Details, and Specifications that meet the requirements of the Water Efficient Landscape Rules.
- Exact location of plants on site to be adjusted so as to best coordinate with irrigation component locations, lights, drainage features, and swales.
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- The plan is schematic. Don't install plants too close to edges of paving or buildings. Keep valves and quick couplers away from trees.
- The plants will do much better if efforts to uncompact soil that has compacted during building construction.
- See specs. concerning soil amendments and fertilizer. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of BFI Organics Super Humus Compost 16 pounds of 12-12-12 fertilizer filled into the top 6" to 8" of soil after ripping soil to 12" deep, except on steep slopes. Some of the planting areas are so narrow that it will need to be dug in by hand.
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 - Concrete driveway and walkways - color and score joint pattern TBD
 - Tree protection fence - 6 foot tall chain link with metal poles pounded into soil as per the project arbotist's report
 - 3'-0" tall wood fence in front yard setback
 - Existing hedge of Pittosporum tobira, Privet, and Prunus lusitanica to remain and be protected with chain link fence
 - Informal wood chip/mulch path
- Fences step down slopes



Cover Sheet &
Planting Plan

1"=10'-0"



Revision

GREGORY LEWIS LANDSCAPE ARCHITECT
#2176
738 Park Way Santa Cruz, CA 95065 (831) 425-4747
lewislandscape@sbcglobal.net



Lot 9
16982 Kennedy Rd., Los Gatos, CA
APN 532-35-060

Date 7/19/16
Scale As Noted
Drawn Greg

Joo
Sheet

of 1



Kennedy Road
Los Gatos
July 27, 2016

D and C DEVELOPMENT

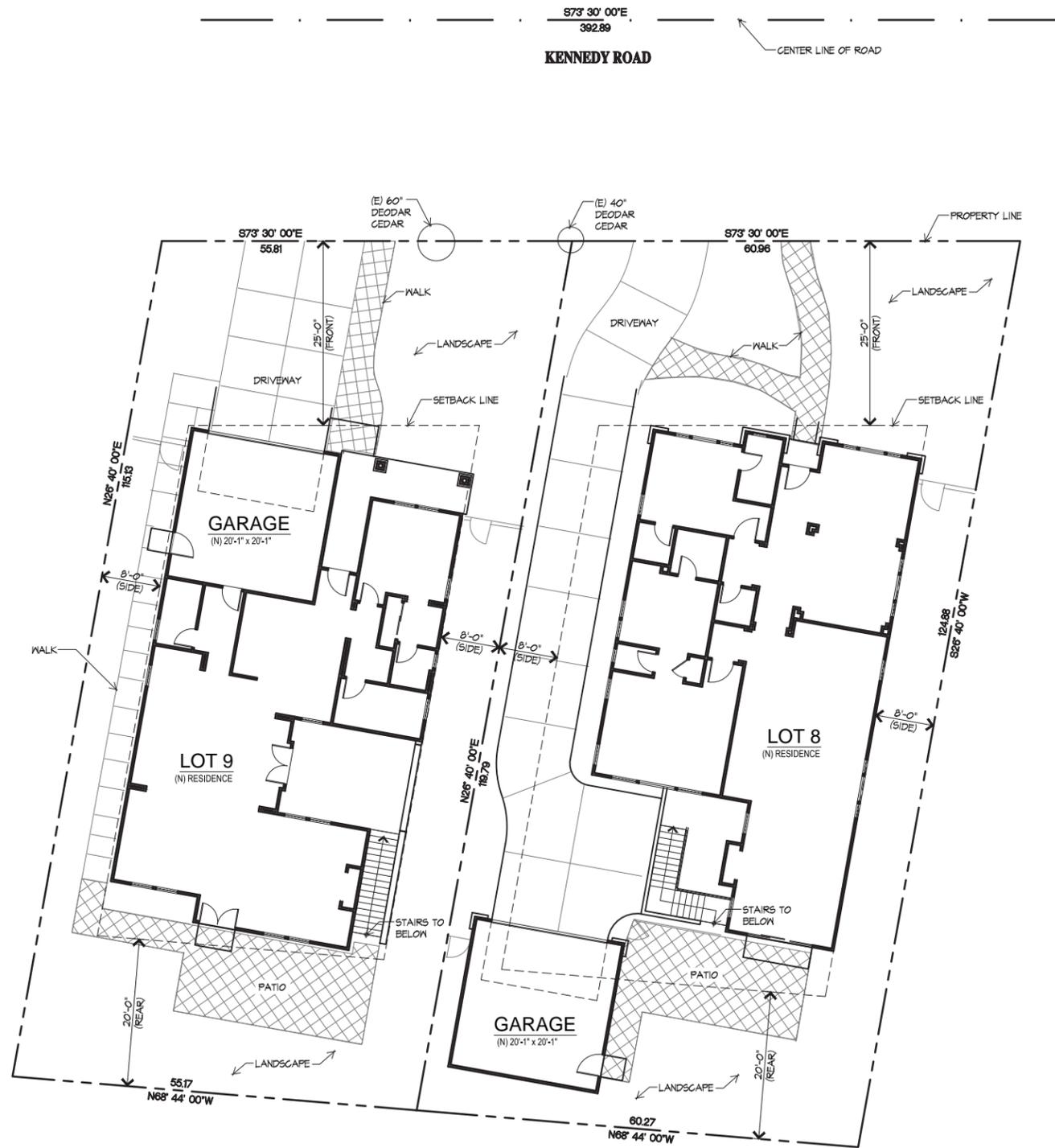
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831-588-7989

STREETSCAPE EXHIBIT
A1

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SDG Architects, Inc.



16982 KENNEDY ROAD - LOT AREA COVERAGE SUMMARY

	LOT 8	LOT 9
SITE AREA	7,340	6,452
1ST FLOOR LIVING AREA	2,000	1,607
2ND FLOOR LIVING AREA	N/A	530
LOWER LEVEL LIVING AREA	1,427	1,297
GARAGE AREA	427	420
PAVING AREA (DRIVEWAYS, PATIOS, FLATWORK)	1,942	1,698
SETBACKS	SEE ARCHITECTURAL SITE PLAN	

LOT 8

PROVIDED BUILDING COVERAGE:

FIRST FLOOR (INCLUDING GARAGE) : 2,427 SQ. SF. = TOTAL BUILDING COVERAGE : 2,427 SQ. FT. / 7,340 SQ. SF. = .33

PROVIDED LOT COVERAGE:

FIRST FLOOR (INCLUDING GARAGE) : 2,427 SQ. SF. + DRIVEWAY, PATIOS, FLATWORK : 1,942 SQ. FT. = 4,369 SQ. SF.

LOT 9

PROVIDED BUILDING COVERAGE:

FIRST FLOOR (INCLUDING GARAGE) : 2,027 SQ. SF. = TOTAL BUILDING COVERAGE : 2,027 SQ. FT. / 6,452 SQ. SF. = .31

PROVIDED LOT COVERAGE:

FIRST FLOOR (INCLUDING GARAGE) : 2,027 SQ. SF. + DRIVEWAY, PATIOS, FLATWORK : 1,698 SQ. FT. = 3,725 SQ. SF.

16982 KENNEDY ROAD - FAR COMPARISON

ADDRESS	BUILDING S.F.	GARAGE S.F.	TOTAL S.F.	SITE S.F.	BUILDING FAR	NO. OF STORIES
16983 KENNEDY RD	1,389	296	1,685	11,050	0.13	1
16995 KENNEDY RD	1,402	320	1,722	8,000	0.18	1
400 LOS GATOS BLVD	1,388	396	1,784	7,800	0.18	1
380 LOS GATOS BLVD	1,634	280	1,914	8,911	0.18	1
16998 KENNEDY RD	1,235	315	1,550	7,895	0.16	1
16964 KENNEDY RD	1,584	440	2,024	7,939	0.20	1
16952 KENNEDY RD	2,275	240	2,515	8,113	0.28	2
16621 FERRIS AVE	1,472	480	1,952	7,800	0.19	2
16982 KENNEDY RD (E) - BUILT 1939	1,546		1,546	14,127	0.11	1

LOT 8 FAR

LOT AREA: 7,340 SQ. FT.

ALLOWABLE FLOOR AREA:

F.A.R. = .35 - ((7.34 - 5) / 25 x .20) = .331 7,340(.331) = 2,430 SQ. FT. (2,000 SQ. FT. ACTUAL AREA PROVIDED) = .27 BUILDING F.A.R.

ALLOWABLE GARAGE AREA:

F.A.R. = .1 - ((7.34 - 5) / 25 x .07) = .094 7,340(.094) = 690 SQ. FT. (427 SQ. FT. GARAGE AREA PROVIDED) = .058 GARAGE F.A.R.

LOT 9 FAR

LOT AREA: 6,452 SQ. FT.

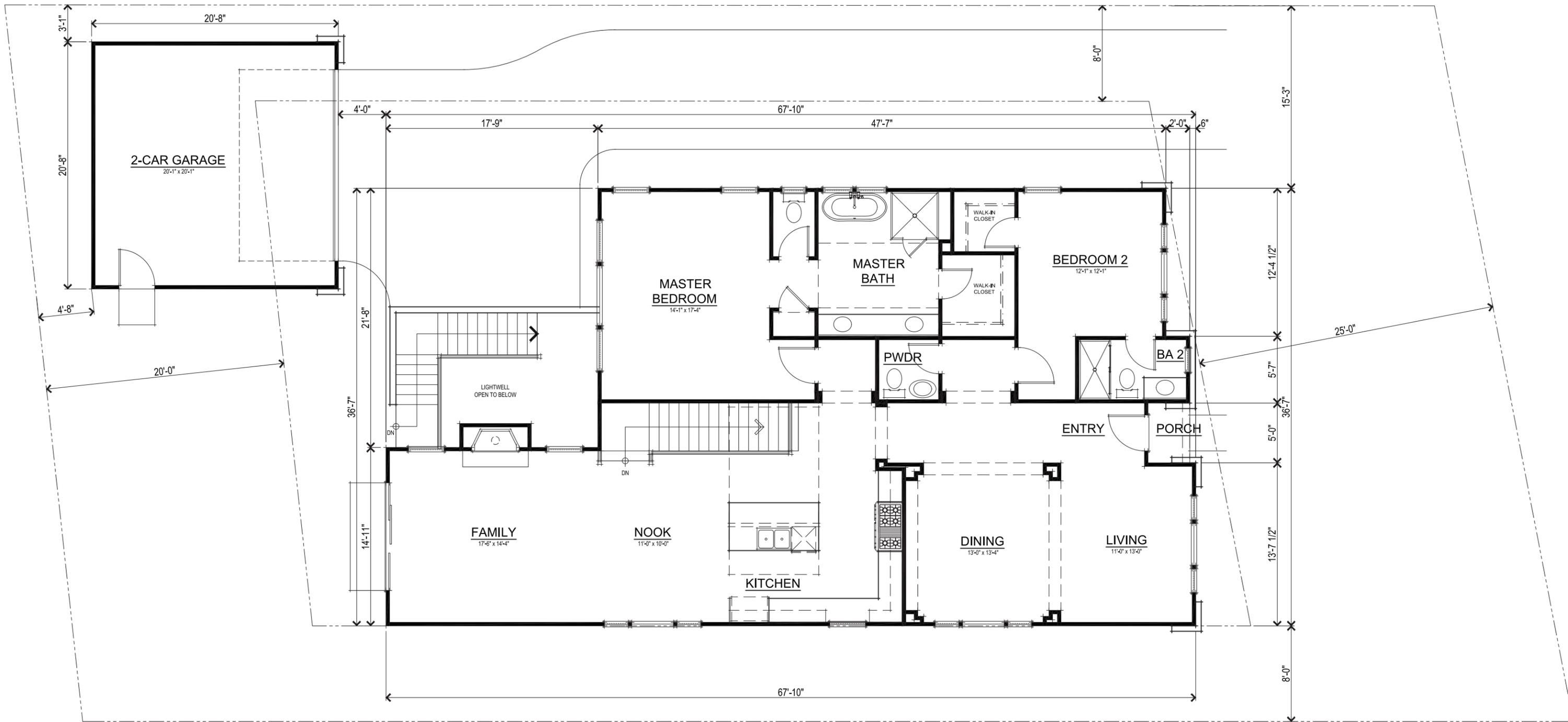
ALLOWABLE FLOOR AREA:

F.A.R. = .35 - ((6.45 - 5) / 25 x .20) = .338 6,452(.338) = 2,183 SQ. FT. (2,137 SQ. FT. ACTUAL AREA PROVIDED) = .331 BUILDING F.A.R.

ALLOWABLE GARAGE AREA:

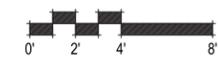
F.A.R. = .1 - ((6.45 - 5) / 25 x .07) = .0946 6,452(.096) = 619 SQ. FT. (420 SQ. FT. GARAGE AREA PROVIDED) = .065 GARAGE F.A.R.





LOT 8 SQUARE FOOTAGES	
LOWER LEVEL	1427 SQ. FT.
MAIN LEVEL	2000 SQ. FT.
TOTAL LIVING	3427 SQ. FT.
2-CAR GARAGE	427 SQ. FT.

MAIN LEVEL FLOOR PLAN



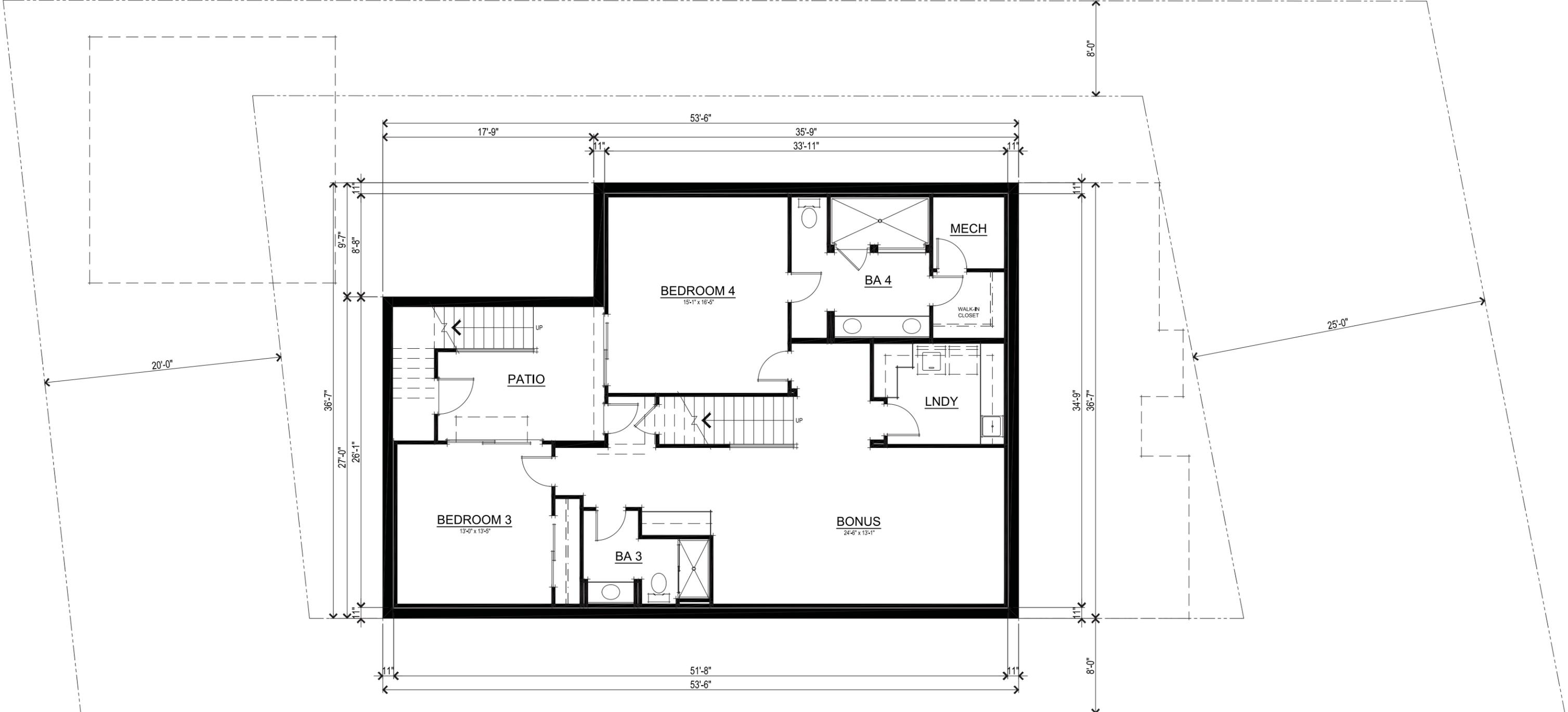
Kennedy Road
Los Gatos
July 27, 2016

LOT 8 MAIN LEVEL FLOOR PLAN
A3

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831-588-7989

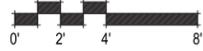
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LOWER LEVEL	1427 SQ. FT.
MAIN LEVEL	2000 SQ. FT.
TOTAL LIVING	3427 SQ. FT.
2-CAR GARAGE	427 SQ. FT.

LOWER LEVEL FLOOR PLAN



LOT 8 LOWER LEVEL FLOOR PLAN
A4

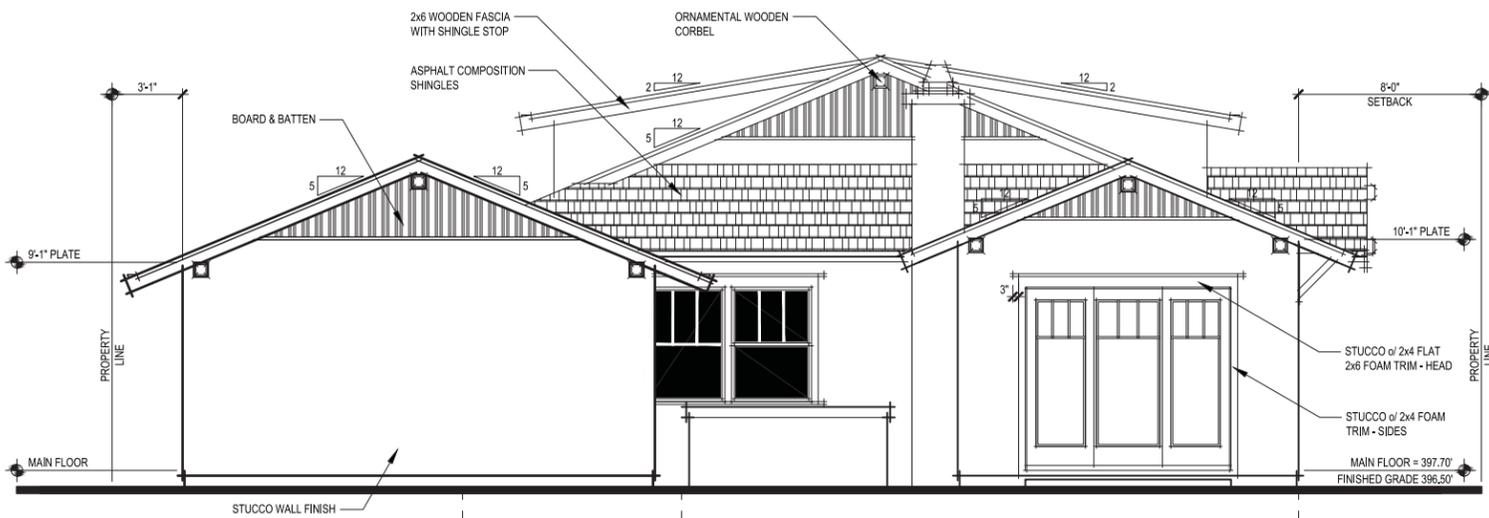
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Los Gatos
July 27, 2016

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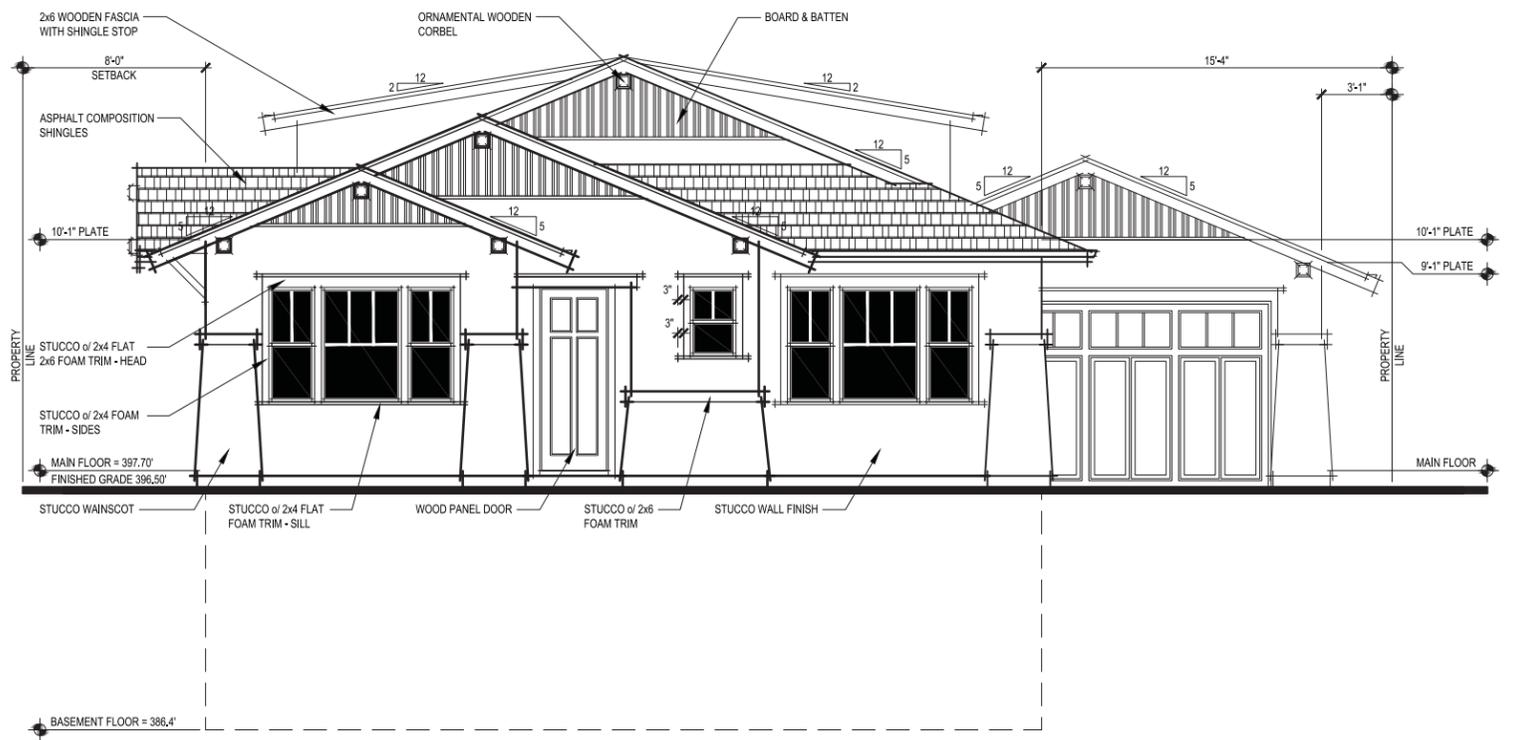
MAXIMUM HEIGHT = 30'-0" (426.50')



REAR ELEVATION

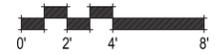
BASEMENT FLOOR = 386.4'

MAXIMUM HEIGHT = 30'-0" (426.50')



FRONT ELEVATION

BASEMENT FLOOR = 386.4'



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July 27, 2016

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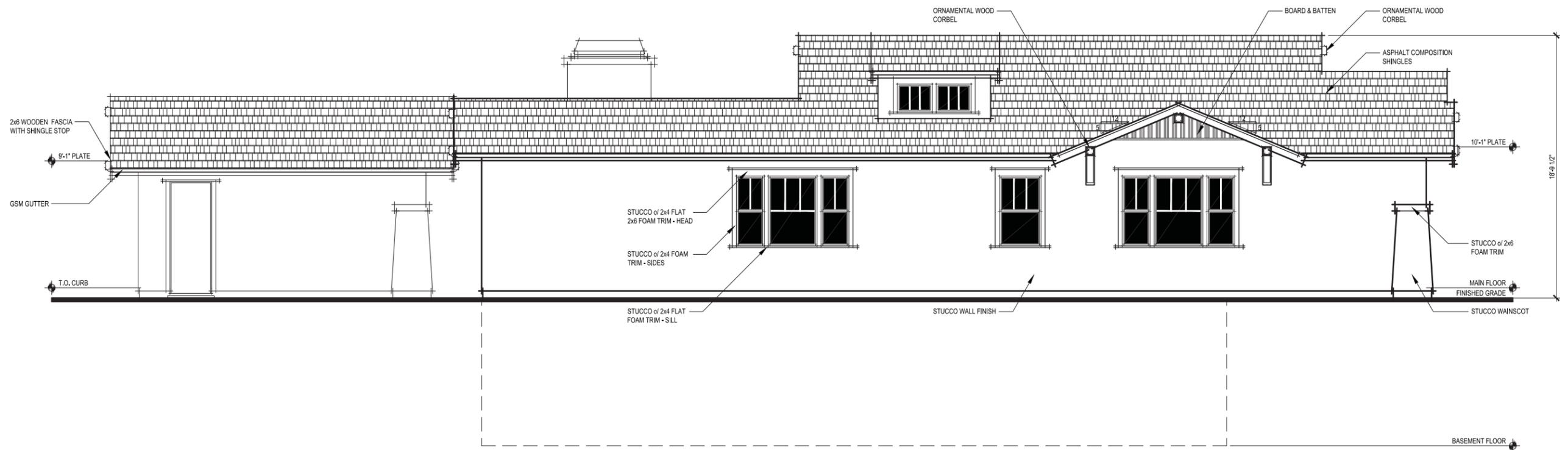
LOT 8 FRONT & REAR ELEVATIONS

A5

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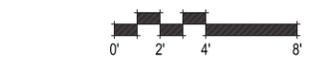


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LEFT ELEVATION

Kennedy Road
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 July 27, 2016



LOT 8 LEFT ELEVATION
 A6

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RIGHT ELEVATION



LOT 8 RIGHT ELEVATION
A7

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July 27, 2016

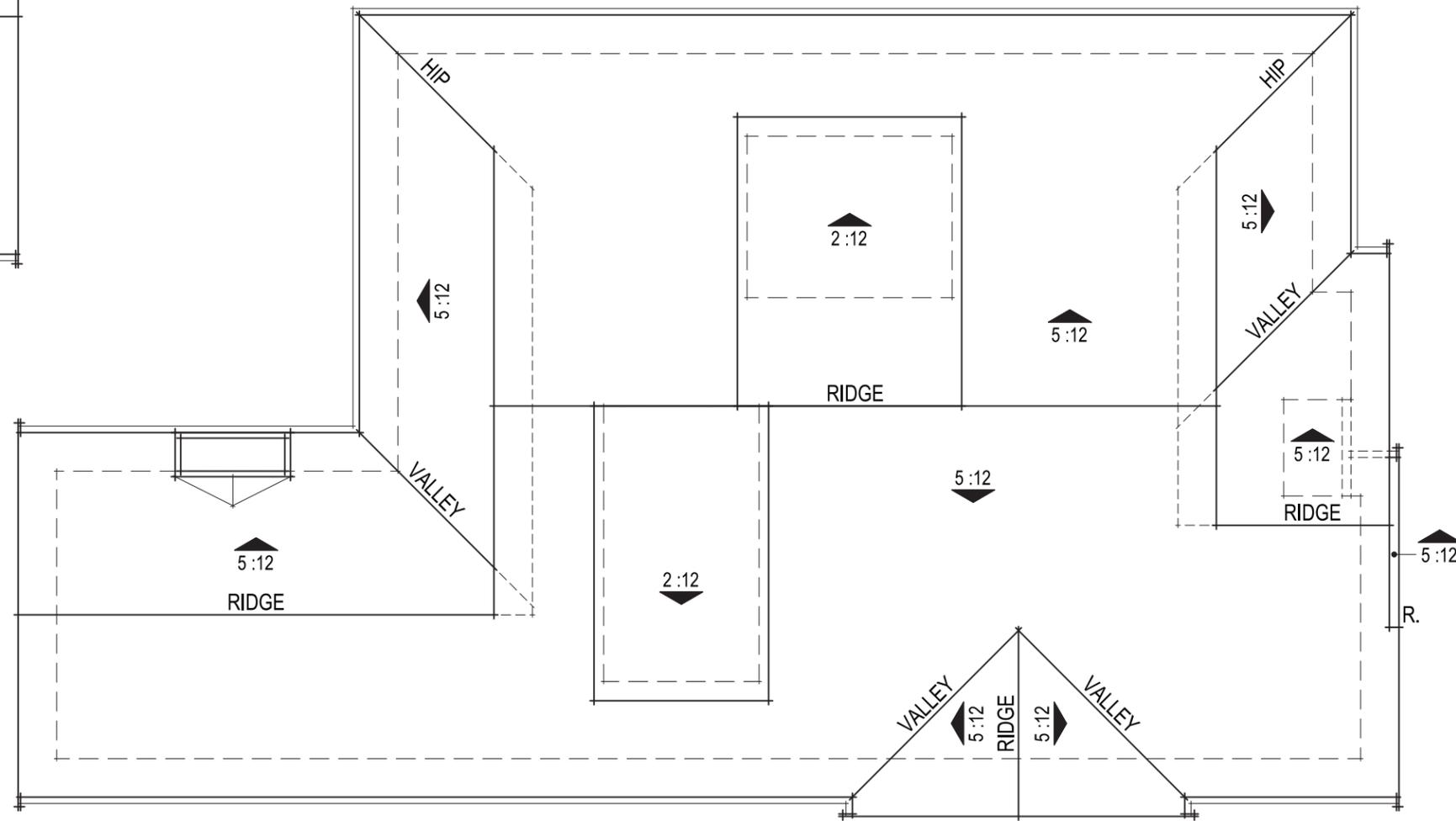
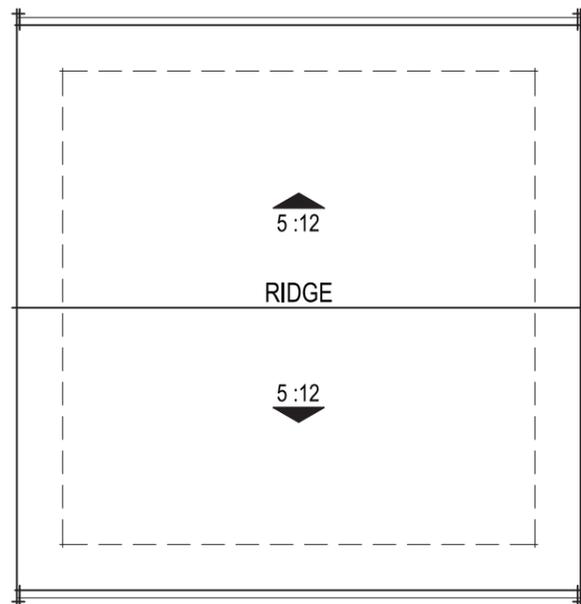
D and C DEVELOPMENT

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831-588-7989

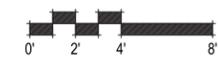
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ROOF PLAN



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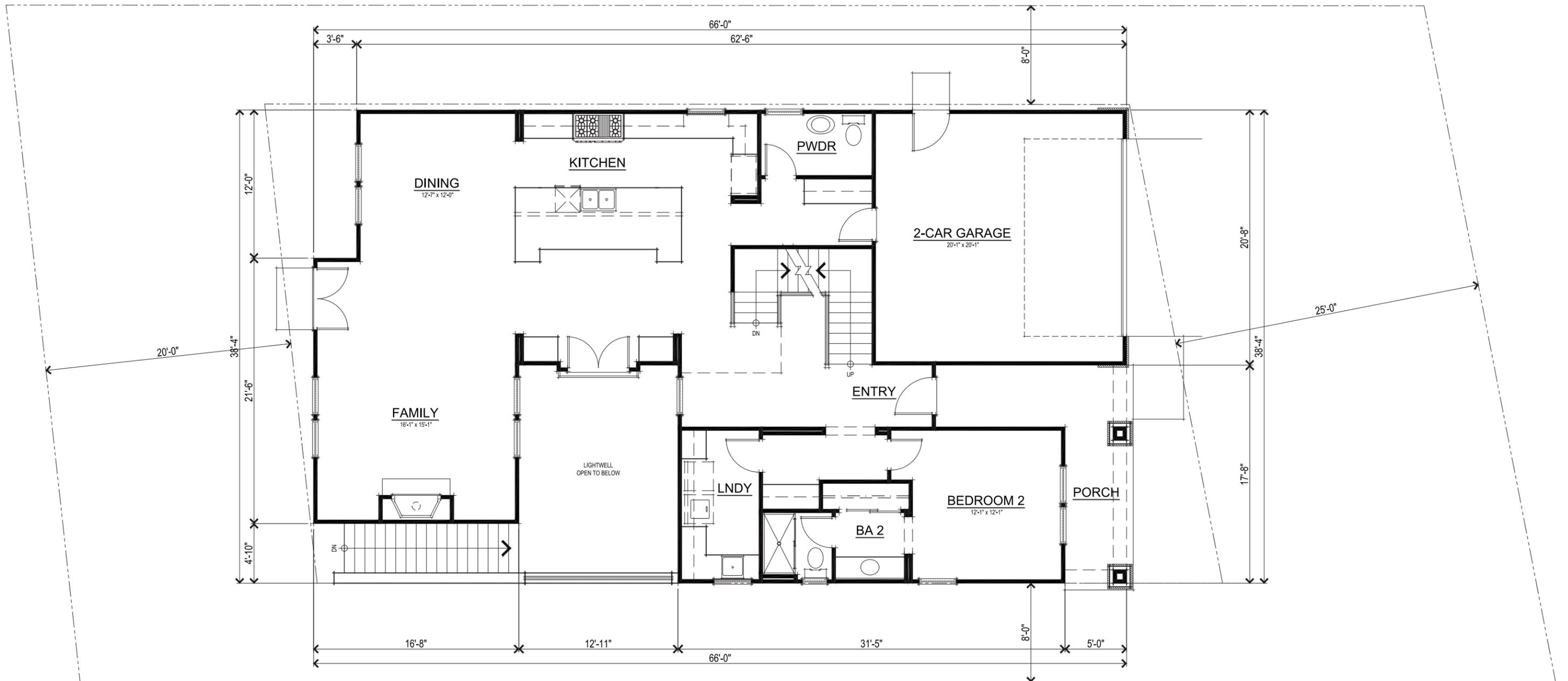
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LOT 8 ROOF PLAN
A8

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LOT 9 SQUARE FOOTAGES	
LOWER LEVEL	1297 SQ. FT.
MAIN LEVEL	1607 SQ. FT.
UPPER LEVEL	530 SQ. FT.
TOTAL LIVING	3434 SQ. FT.
2-CAR GARAGE	420 SQ. FT.

MAIN LEVEL FLOOR PLAN



Kennedy Road
Los Gatos
July 27, 2016

D and C DEVELOPMENT

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LOT 9 MAIN LEVEL FLOOR PLAN
A9

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LOT 9 SQUARE FOOTAGES	
LOWER LEVEL	1297 SQ. FT.
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UPPER LEVEL	530 SQ. FT.
TOTAL LIVING	3434 SQ. FT.
2-CAR GARAGE	420 SQ. FT.

LOWER LEVEL FLOOR PLAN



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Los Gatos
July 27, 2016

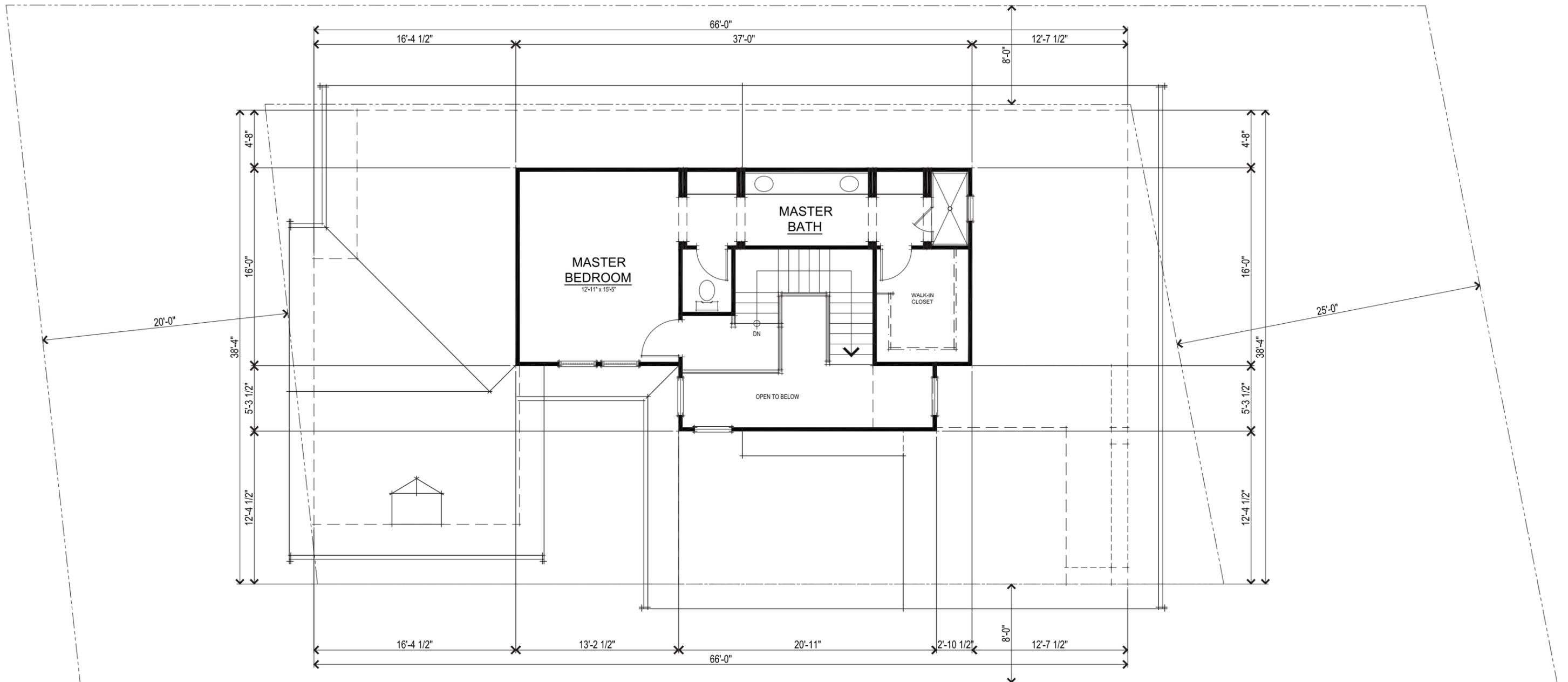
D and C DEVELOPMENT

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**LOT 9 LOWER LEVEL FLOOR PLAN
A10**

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LOT 9 SQUARE FOOTAGES	
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UPPER LEVEL FLOOR PLAN



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July 27, 2016

D and C DEVELOPMENT

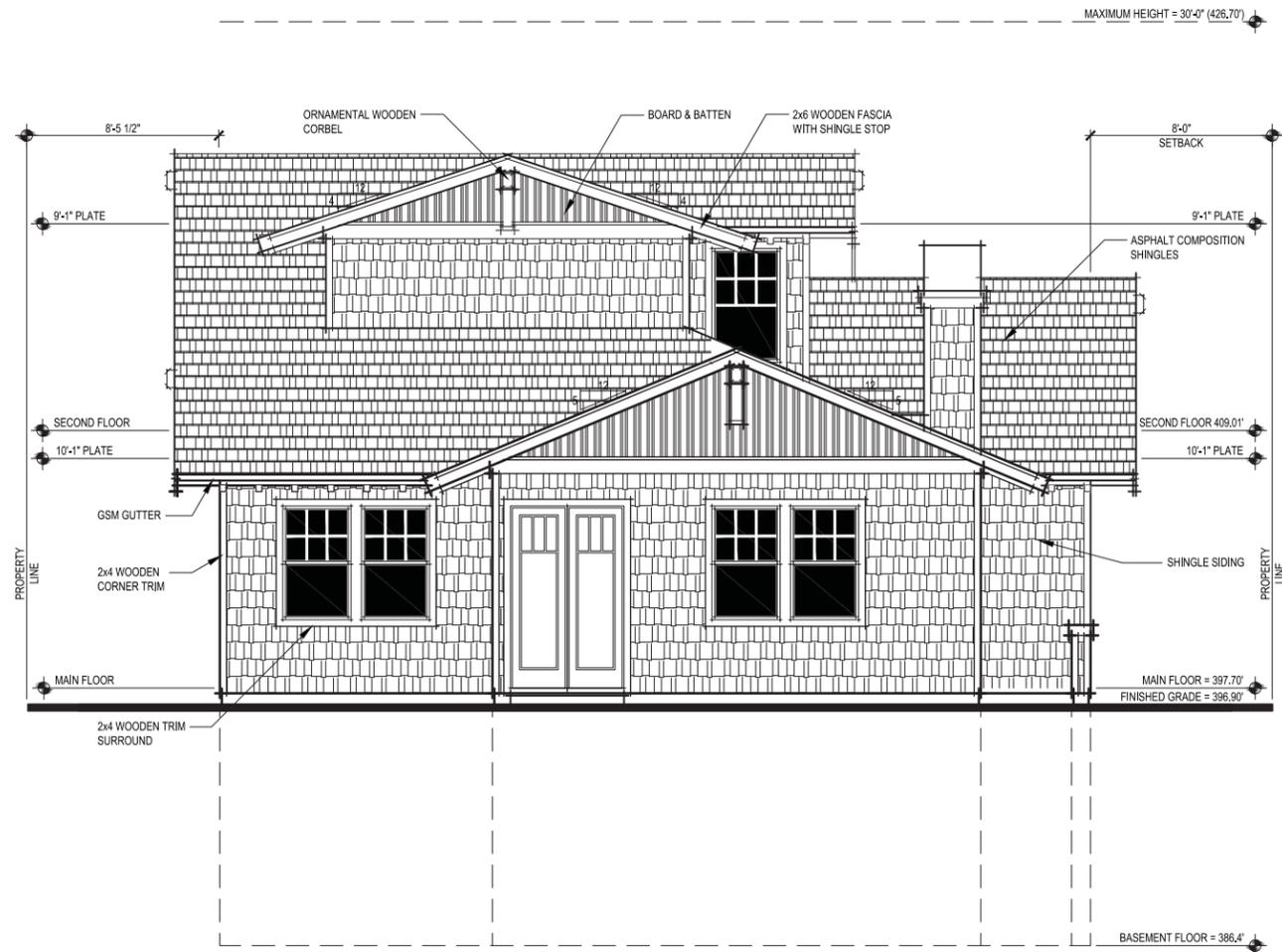
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LOT 9 UPPER LEVEL FLOOR PLAN
A11

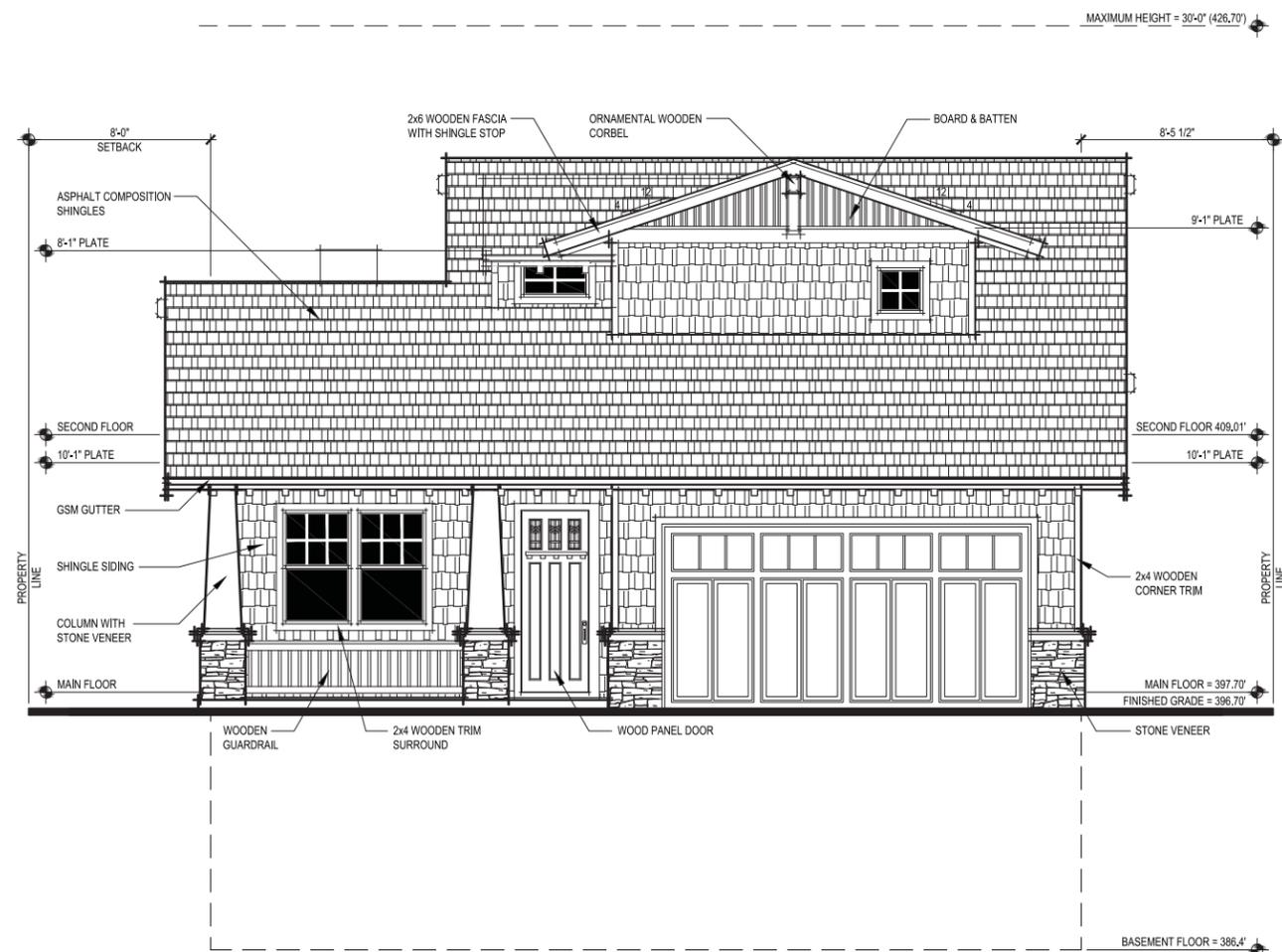
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REAR ELEVATION



FRONT ELEVATION



LOT 9 FRONT & REAR ELEVATIONS
A12

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Los Gatos
July 27, 2016

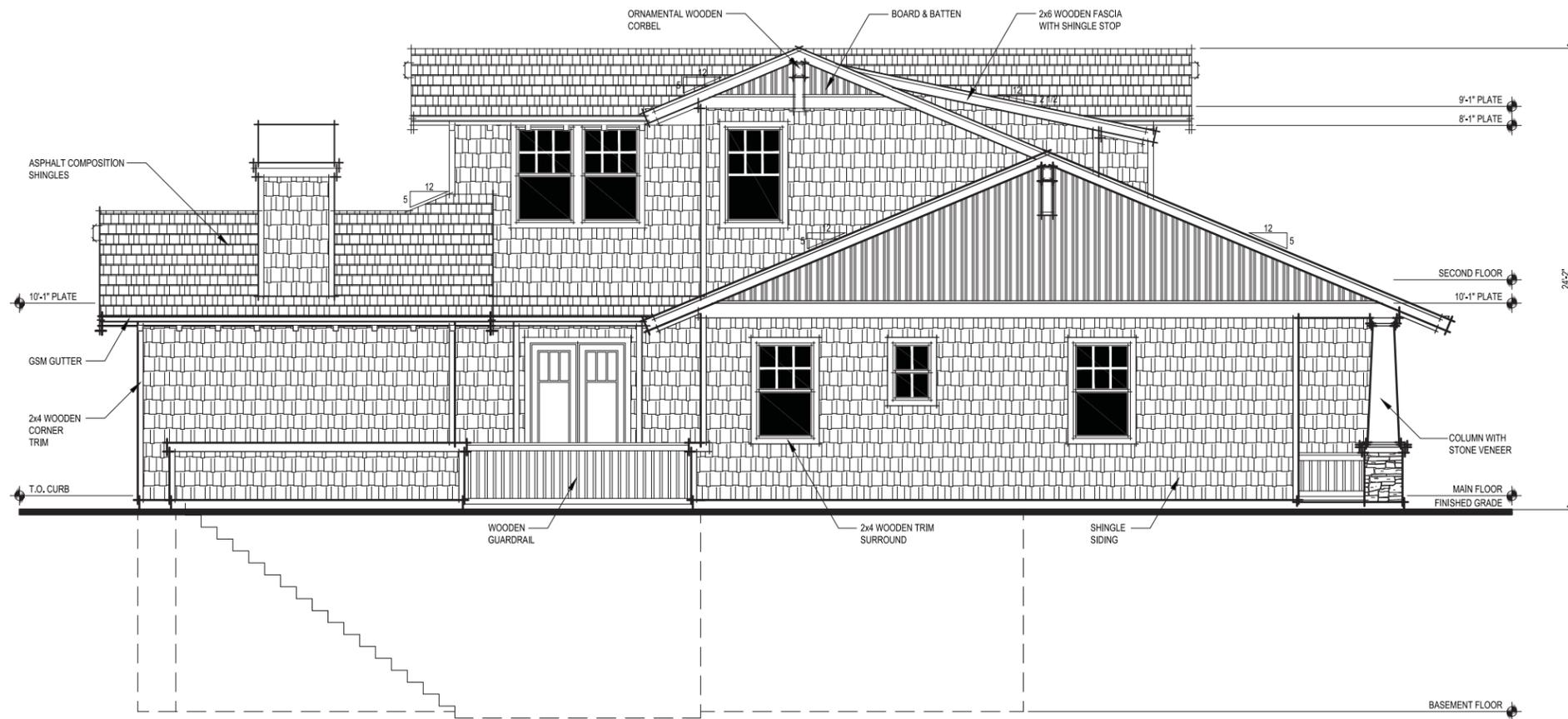
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LEFT ELEVATION



LOT 9 LEFT ELEVATION
A13

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Los Gatos
July 27, 2016

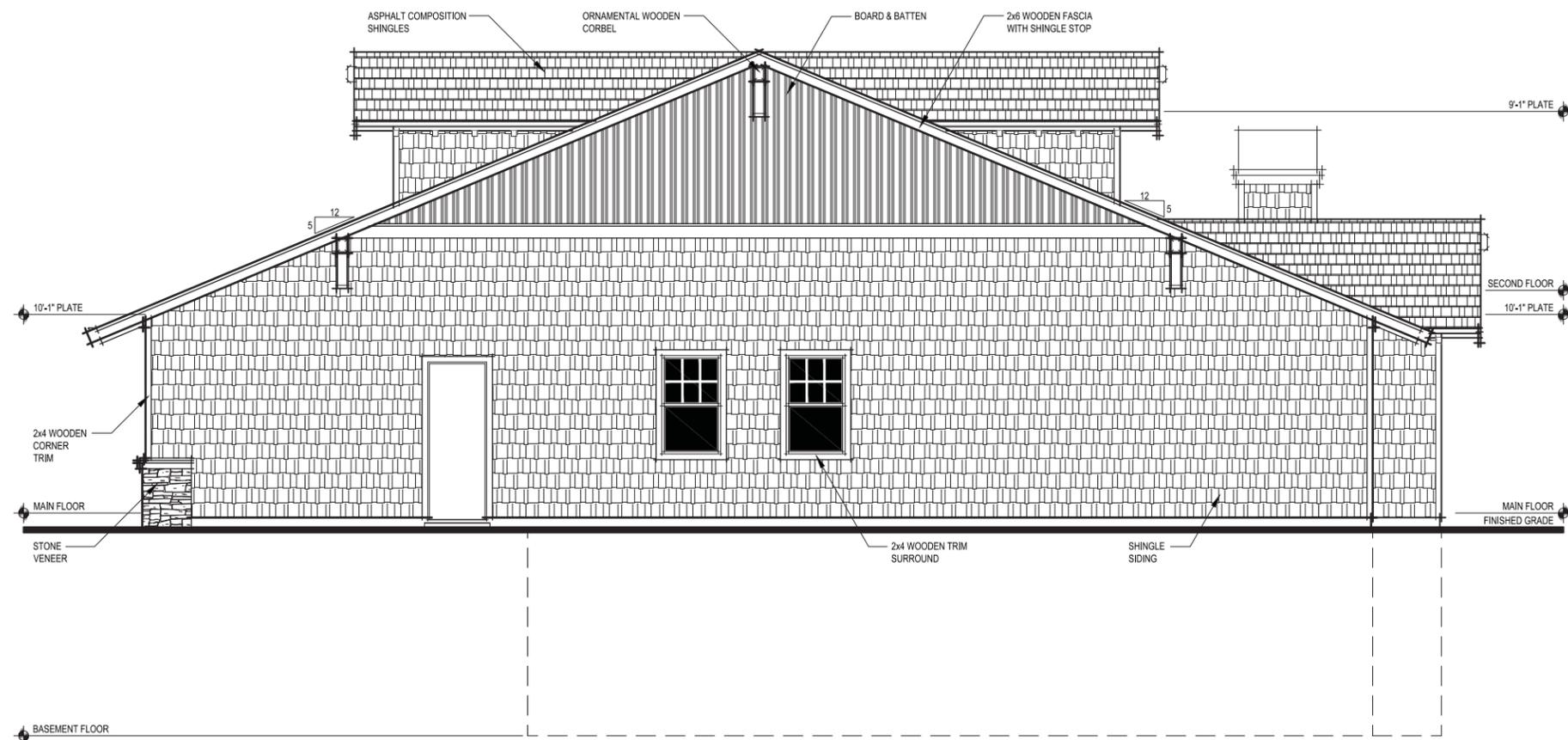
D and C DEVELOPMENT

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RIGHT ELEVATION

Kennedy Road
 Los Gatos
 July 27, 2016

D and C DEVELOPMENT

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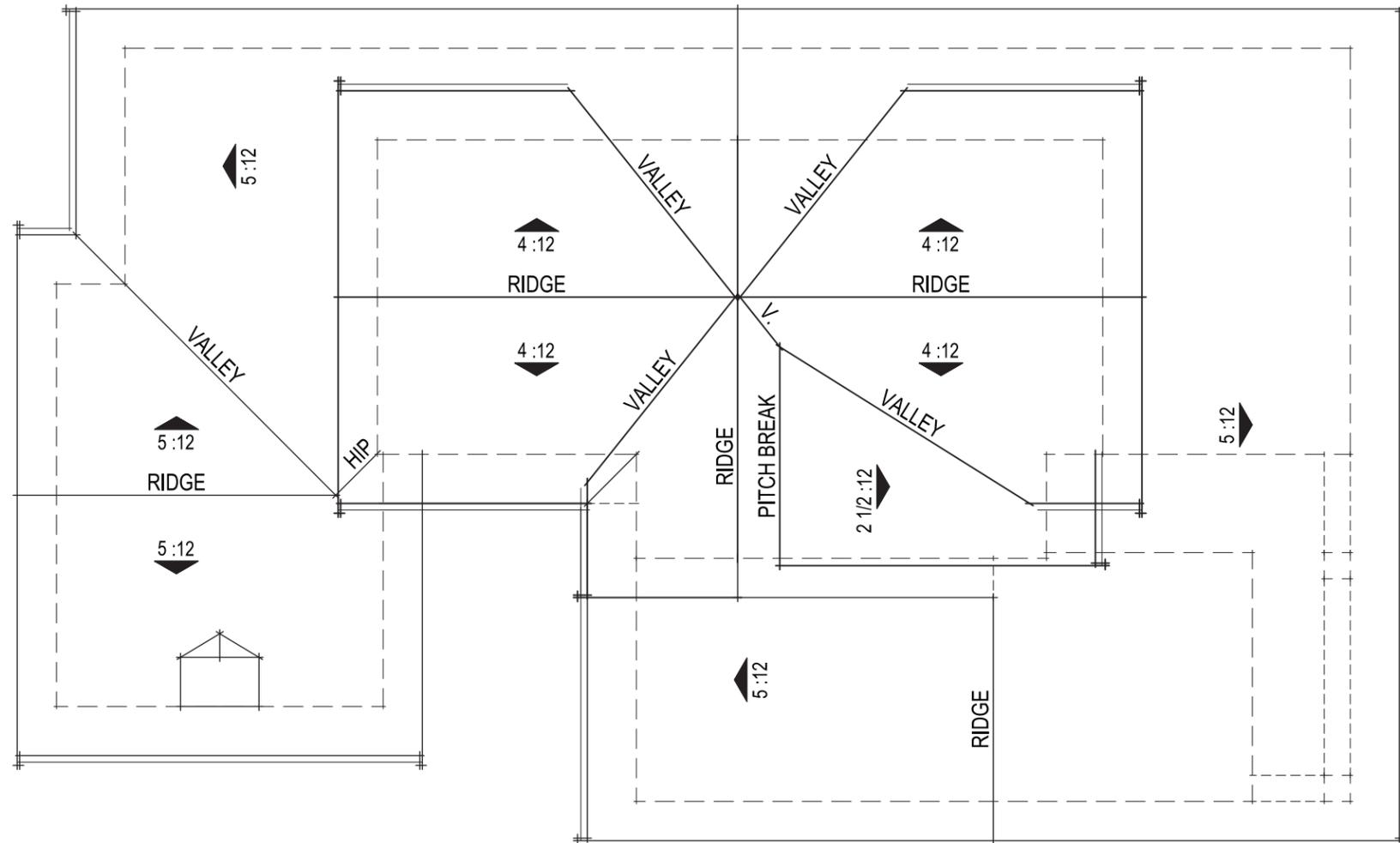


LOT 9 RIGHT ELEVATION
 A14

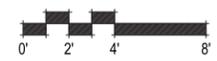
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ROOF PLAN



Lot 8 Color Scheme

GAF ROOFING
Weathered Wood



Body 1
SW 7043 Wordly Gray

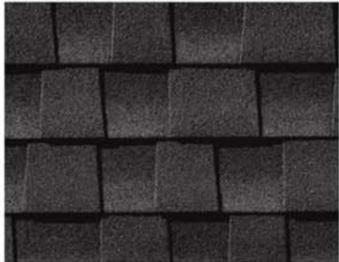
Body 2 & Garage Door
SW 0037 Moris Room Gray

Trim & Fascia
SW 7011 Natural Choice

Accent
SW 7591 Red Barn

Lot 9 Color Scheme

GAF ROOFING
Charcoal



Body 1
SW 7514 Foothills

Trim & Fascia
SW 7517 China Doll

Accent
SW 9106 El Caramelo

Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.